



AGENDA

REGULAR MEETING OF THE DEVELOPMENT AUTHORITY OF THE TOWN OF TABER, TO BE HELD IN THE COUNCIL CHAMBERS, ADMINISTRATION BUILDING, ON APRIL 20, 2020 AT 1:30 PM.

MOTION

1. CALL TO ORDER

ITEM No.1.1 CALL TO ORDER

2. ADOPTION OF THE AGENDA

ITEM No.2.1 ADOPTION OF THE AGENDA **X**

3. ADOPTION OF THE MINUTES

ITEM No.3.1 Meeting Minutes of the March 16, 2020 Municipal Planning Commission **X**

ITEM No.3.2 Meeting Minutes of April 2, 2020 Special Meeting of the Municipal Planning Commission **X**

4. BUSINESS ARISING FROM THE MINUTES

ITEM No.4.1 BUSINESS ARISING FROM THE MINUTES

5. ACTION ITEMS

ITEM No.5.1 DP 20-017 - Pinnacle Metal Shop **X**

ITEM No.5.2 Subdivision TT 20-0-004 **X**
5030 Westview Gate

ITEM No.5.3 Building Permit Statistics March 2020 **X**

ITEM No.5.4 Standing Items

6. DELEGATIONS

ITEM No.6.1 DELEGATIONS

7. MEDIA INQUIRIES

ITEM No.7.1 MEDIA INQUIRIES

8. CLOSED SESSION

ITEM No.8.1 Land Use Bylaw Update

9. OPEN SESSION

ITEM No.9.1 OPEN SESSION

10. CLOSE OF MEETING



TOWN OF
TABER

ITEM No.10.1
ITEM No.

CLOSE OF MEETING

X

A - 4900 50 ST TABER, ALBERTA, CANADA T1G 1T1

TELEPHONE: (403) 223-5500 FAX: (403) 223-5530



Development Authority Request for Decision

Meeting Date: April 20, 2020

Subject:

Meeting Minutes of the March 16, 2020 Municipal Planning Commission

Recommendation:

That the Municipal Planning Commission adopts the minutes of the regular Municipal Planning Commission meeting held on March 16^h 2020, as presented.

Background:

The minutes if the regular Municipal Planning Commission meeting held on March 16th 2020 are attached.

Legislation / Authority:

Section 203 of the Municipal Government Act allows the Municipal Planning Commission to adopt the minutes and perform other duties as delegated by Council.

Strategic Plan Alignment:

N/A

Financial Implication:

There is no financial implication for the creation of the minutes.

Service Level / Staff Resource Implication:

Time was required by Administration to record the minutes of the Municipal Planning Commission's regular meeting.

Justification:

Adoption of the minutes will provide a record of the regular meeting of the Municipal Planning Commission meeting held on March 16^h, 2020.

Alternative(s):

Alternative #1: That the Municipal Planning Commission adopts the minutes of the regular Municipal Planning Commission meeting held on March 16th, 2020 with amendments.



Attachment(s): Meeting Minutes - March 16, 2020

APPROVALS:

Originated By:
Rob Janzen

Chief Administrative Officer (CAO) or Designate: _____

MINUTES OF THE REGULAR MEETING OF THE DEVELOPMENT AUTHORITY OF
THE TOWN OF TABER, IN THE PROVINCE OF ALBERTA, HELD IN THE COUNCIL
CHAMBERS, ADMINISTRATION BUILDING, ON MARCH 16, 2020, AT 1:30 PM.

Chairperson

Roger Miles

Members

Mark Garner

Ron Hadden

Ron Levagood

Joe Strojwas

Staff

Rob Janzen

Phyllis Monks

Kattie Schlamp

Ben Young

1. CALL TO ORDER

CALL TO ORDER

Meeting called to order by R. Miles at 1:32pm.

2. ADOPTION OF THE AGENDA

ADOPTION OF THE AGENDA

RES 18/2020 M. Garner moved that the Agenda for March 16, 2020 be accepted by the Municipal Planning Commission as presented.

CARRIED UNANIMOUSLY

3. ADOPTION OF THE MINUTES

Meeting Minutes of the February 18, 2020 Municipal Planning Commission Meeting

RES 19/2020 J. Strojwas moved that the Municipal Planning Commission adopts the minutes of the regular meeting of the Municipal Planning Commission held on February 18, 2020, as presented.

CARRIED UNANIMOUSLY

4. BUSINESS ARISING FROM THE MINUTES

BUSINESS ARISING FROM THE MINUTES

None.

5. ACTION ITEMS

PS 20-004 - Portable Sign: Purple Cow

RES 20/2020 R. Hadden moved that the Municipal Planning Commission renews the Portable Sign located at 5103 47th Avenue, Lot 26, Block 2, Plan 5638L for a period of one year.

CARRIED UNANIMOUSLY

PS 20-005 - Portable Sign Renewal: Kirk's Tire

RES 21/2020 R. Levagood moved that the Municipal Planning Commission approves the renewal of the Portable Sign located at 5705 64th Street, Lot 15, Block 7, Plan 0612098 for a period of one year.

CARRIED UNANIMOUSLY

PS 20-006 - Portable Sign Renewal: Taber Motel

RES 22/2020 J. Strojwas moved that the Municipal Planning Commission approves the renewal of the portable sign located at 5402 46th Avenue, Lot 1, Block 20, Plan 6390L for a period of one year.

CARRIED UNANIMOUSLY

PS 20-007 - Portable Sign Renewal: Osho's

RES 23/2020 R. Levagood moved that the Municipal Planning Commission approves the renewal of the portable sign located 5114 46th Avenue, Lot 6, Block 18, Plan 6390L.

CARRIED UNANIMOUSLY

DP 20-012 - 12 Fairway Village Variances

RES 24/2020 M. Garner moved that the Municipal Planning Commission approves the following two variances for DP 20-012 located at 12 Fairway Village, Plan 9410343:

- 1) Waive the 3 metre minimum separation required between residential buildings within the R-4 district for this development. All setback requirements must still be met unless otherwise approved by the Municipal Planning Commission.
- 2) A rear setback variance of 2.43 metres, reducing the required rear setback from 6 metres to 3.57 metres.

CARRIED UNANIMOUSLY

DP 20-013 - Change of Use at 6306 50th Street

RES 25/2020 M. Garner moved that the Municipal Planning Commission approved the proposed Change of Use for Indoor Storage to be located in an existing building at 6306 50th Street, Lot 11, Block 61, Plan 0414391, with the following conditions:

- 1) The development conforms to the attached district requirements of the Comprehensive Commercial District (CC),

109/2016

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2020-03-16

- 2) The applicant must obtain a Building Permit to ensure the development complies with the Alberta Fire Code and Alberta Building Code. It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits,
- 3) A Fire Inspection must be conducted by the Town of Taber Fire Department,
- 4) The applicant must obtain a valid Business License from the Town of Taber,
- 5) A maximum of one service vehicle associated with this business can be stored on-site,
- 6) All storage must be inside the building,
- 7) Given the proximity of the location to a residential district, the owner and/or operator must not cause any continuous sounds exceeding 65 decibels,
- 8) The applicant must ensure no off-site impacts as a result of the operations on site. This includes maintaining dust control to the satisfaction of the Development Authority,
- 9) Any new developments or changes of use within Lot 11, Block 61, Plan 0414391, whether or not they are related to this proposed development, will require a development permit application.

CARRIED UNANIMOUSLY

Subdivision TT 20-0-002

RES 26/2020 J. Strojwas moved that the Development Authority recommend that the Subdivision Authority approve Subdivision Application TT 20-0-002, Part of Lot 10, Block 2, Plan 071 2404 within SE ¼ Sec. 8, Twp. 10, Rng. 16, W4M, civically described as 6920 64 Street, with the following conditions:

- 1) Easements and/or rights of way shall be registered against the land for the provision of storm, drainage, gas, power, and other utilities as required by the utility provider.
- 2) That pursuant to Section 654 (1)(d) of the Municipal Government Act, all outstanding property taxes shall be paid to the Town of Taber prior to endorsement.

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Meeting Date
2020-03-16

- 3) Compliance to me maintained with existing policy documents including but not limited to the Eureka Area Structure Plan and Land Use Bylaw 14-2016, to the satisfaction of the Development Authority.
- 4) The subdivision plan shall be registered in a manner satisfactory to the Land Titles Office.

CARRIED UNANIMOUSLY

Subdivision TT 20-0-003 - 5814 57A Ave.

RES 27/2020

M. Garner moved that the Development Authority recommend that the Subdivision Authority approve Subdivision Application TT 20-0-003, Part of Lots 11-12, Block 2, Plan 771 1362, within SE ¼ Sec. 5, Twp. 10, Rge. 16, W4M, civically described as 5814 57A Ave., with the following conditions:

- 1) That approval shall apply to an industrial subdivision plan within SE ¼ of Sec. 5, Twp. 10, Rng. 16, W4M.
- 2) Pre and post storm water modelling that ensures post-development flows do not exceed pre-development flows shall be required, to the satisfaction of the Development Authority.
- 3) The developer shall enter into a Servicing Agreement or Deferred Servicing Agreement with the Town of Taber to provide independent services to each newly developed lot, including providing access to Lot 12 & Lot 13 with the installation of culverts to the satisfaction of the Development Authority. Drawings and securities for the work will be required.
- 4) The Developer shall be responsible for keeping the development area in a neat and tidy fashion, particularly, as it pertains to blowing debris and weeds during development of the subdivision.
- 5) Easements and/or rights of way shall be registered against the land for the provision of storm, drainage, gas, power, and other utilities as required by the utility provider.
- 6) Development Permits will be required for any new development on the lots. Approval of this

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Meeting Date
2020-03-16

subdivision does not constitute approval of any future development permit application.

- 7) That pursuant to Section 654(1)(d) of the Municipal Government Act, all outstanding property taxes shall be paid to the Town of Taber prior to endorsement.
- 8) Compliance is to be maintained with existing policy documents including but not limited to Land Use Bylaw 14-2016, to the satisfaction of the Development Authority.
- 9) The subdivision plan shall be registered in a manner satisfactory to the Land Titles Office.

CARRIED UNANIMOUSLY

Building Permit Statistics - February 2020

RES 28/2020 R. Hadden moved that the Municipal Planning Commission accepts the February 202 Building Permit Statistics as Information.

CARRIED UNANIMOUSLY

Standing Items - MPC Requests

None.

6. DELEGATIONS

DELEGATIONS

None.

7. MEDIA INQUIRIES

MEDIA INQUIRIES

None.

8. CLOSED SESSION

CLOSED SESSION

None.

9. OPEN SESSION

OPEN SESSION

None.

10. CLOSE OF MEETING

CLOSE OF MEETING

RES 29/2020 Moved by R. Hadden that the meeting be closed at 2:07pm.

CARRIED UNANIMOUSLY

CHAIRPERSON

CHIEF ADMINISTRATIVE OFFICER OR DESIGNATE



Development Authority Request for Decision

Meeting Date: April 20, 2020

Subject:

Meeting Minutes of April 2, 2020 Special Meeting of the Municipal Planning Commission

Recommendation:

That the Municipal Planning Commission adopts the minutes of the Special Municipal Planning Commission meeting held on April 2nd, 2020, as presented.

Background:

The minutes of the special Municipal Planning Commission meeting held on April 2nd, 2020 are attached.

Legislation / Authority:

Section 203 of the Municipal Government Act allows the Municipal Planning Commission to adopt the minutes and perform other duties as delegated by Council.

Strategic Plan Alignment:

N/A

Financial Implication:

There is no financial implication for the creation of minutes.

Service Level / Staff Resource Implication:

Time was required by Administration to record the minutes of the Municipal Planning Commission's special meeting.

Justification:

Adoption of the minutes will provide a record of the special meeting of the Municipal Planning Commission meeting held on April 2nd, 2020.

Alternative(s):

Alternative #1: That the Municipal Planning Commission adopts the minutes of the special Municipal Planning Commission meeting held on April 2nd, 2020 with amendments.



Attachment(s): April 2, 2020 - Special Meeting Minutes

APPROVALS:

Originated By:
Rob Janzen

Chief Administrative Officer (CAO) or Designate: _____

P. Monks

MINUTES OF THE SPECIAL MEETING OF THE DEVELOPMENT
AUTHORITY OF THE TOWN OF TABER, IN THE PROVINCE OF
ALBERTA, HELD IN THE COUNCIL CHAMBERS, ADMINISTRATION
BUILDING, ON APRIL 2, 2020, AT 1:00 PM.

Chairperson

Roger Miles

Members

Mark Garner

Ron Hadden

Ron Levagood

Joe Strojwas

Staff

Rob Janzen

Phyllis Monks

1. CALL TO ORDER

CALL TO ORDER

Meeting called to order by Roger Miles at 1:02pm.

2. ADOPTION OF THE AGENDA

ADOPTION OF THE AGENDA

RES 30/2020 M. Garner moved that the Agenda for April 2nd, 2020 be accepted by the Municipal Planning Commission as amended.

CARRIED UNANIMOUSLY

5. ACTION ITEMS

DP 20-016 -29 Sage Brush Avenue Semi-detached Dwelling with Secondary Suite

RES 31/2020 Moved by J. Strojwas that the Municipal Planning Commission approves Development Permit DP 20-016 for a Semi-detached Dwelling with a Secondary Suite (basement) to be located at 29 Sage Brush Avenue, Lot 8, Block 4, Plan 1711317 with the following conditions:

- 1) The site is developed as per the attached site plan,
- 2) A Secondary Suite has been approved for development as per the attached site plan,
- 3) A variance has been granted reducing the minimum site width for a Secondary Suite from 11.0 metres to 7.59 metres,
- 4) A variance has been granted increasing the maximum floor area for a Secondary Suite from 70 metres squared to 89.65 metres squared,
- 5) The development conforms to all requirements of the Residential Single and Two Dwelling District (R-2), unless otherwise noted in this permit,
- 6) The applicant must obtain a Building Permit to ensure the development complies with the Alberta Fire Code and Alberta Building Code. It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits,
- 7) New Home Warranty documentation must be supplied prior to the issuance of the Building Permit,
- 8) The applicant must ensure that the contractor commissioned for the construction has a valid Business License for the Town of Taber,
- 9) A lot drainage (grade) plan illustrating water will not accumulate at or near the buildings (positive drainage), nor accumulate on the lot, and will not adversely affect adjacent properties shall be produced by a qualified professional and supplied to the Town of Taber prior to the Building Permit being issued. In addition, the foundation must be staked by a qualified professional,

- 10) The architectural controls and vertical grade points must be approved by the developer,
- 11) During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 4-2008),
- 12) The water curb stop shall be set at finished grade elevation to ensure accessibility by Public Services prior to installation of water metre and access to Town water. Public Services shall determine if water curb stop is acceptable and so advise the Town office prior to occupancy of the dwelling. As per Bylaw 1-2010 5.29, temporary water service for a maximum of 60 days must be arranged through the Town Office,
- 13) In accordance with policy 68C08/21/00, a \$2500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets, sidewalks, or services as a result of construction of this dwelling shall be restored to Town standards at the applicant's expense prior to issuance of an occupancy permit,
- 14) Prior to occupancy, the shallow utilities, curb and gutter must be installed to the satisfaction of the Development Authority,
- 15) Prior to occupancy, the applicant will provide an Updated Real Property Report to the Town of Taber.

CARRIED UNANIMOUSLY

DP 20-015 - 25 Sage Brush Semi-detached Dwelling with Secondary Suite

RES 32/2020 Moved by J. Strojwas that the Municipal Planning Commission approves Development Permit DP 20-015 for a Semi-detached Dwelling with a Secondary Suite (basement) to be located at 25 Sage Brush Avenue, Lot 7, Block 4, Plan 1711317 with the following conditions:

- 1) The site is developed as per the attached site plan,
- 2) A Secondary Suite has been approved for development as per the attached site plan,
- 3) A variance has been granted reducing the minimum site width for a Secondary Suite from 11.0 metres to 7.59 metres,
- 4) A variance has been granted increasing the maximum floor area for a Secondary Suite from 70 metres squared to 89.65 metres squared,
- 5) The development conforms to all requirements of the Residential Single and Two Dwelling District (R-2), unless otherwise noted in this permit,
- 6) The applicant must obtain a Building Permit to ensure the development complies with the Alberta Fire Code and Alberta Building Code. It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits,
- 7) New Home Warranty documentation must be supplied prior to the issuance of the Building Permit,
- 8) The applicant must ensure that the contractor commissioned for the construction has a valid Business License for the Town of Taber,
- 9) A lot drainage (grade) plan illustrating water will not accumulate at or near the buildings (positive drainage), nor accumulate on the lot, and will not adversely affect adjacent properties shall be produced by a qualified professional and supplied to the Town of Taber prior to the Building Permit being issued. In addition, the foundation must be staked by a qualified professional,
- 10) The architectural controls and vertical grade points must be approved by the developer,

- 11) During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 4-2008),
- 12) The water curb stop shall be set at finished grade elevation to ensure accessibility by Public Services prior to installation of water metre and access to Town water. Public Services shall determine if water curb stop is acceptable and so advise the Town office prior to occupancy of the dwelling. As per Bylaw 1-2010 5.29, temporary water service for a maximum of 60 days must be arranged through the Town Office,
- 13) In accordance with policy 68C08/21/00, a \$2500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets, sidewalks, or services as a result of construction of this dwelling shall be restored to Town standards at the applicant's expense prior to issuance of an occupancy permit,
- 14) Prior to occupancy, the shallow utilities, curb and gutter must be installed to the satisfaction of the Development Authority,
- 15) Prior to occupancy, the applicant will provide an Updated Real Property Report to the Town of Taber.

CARRIED UNANIMOUSLY

10. CLOSE OF MEETING

CLOSE OF MEETING

RES 33/2020 Moved by R. Hadden that the meeting be closed at 1:30pm.

CARRIED UNANIMOUSLY

CHAIRPERSON

CHIEF ADMINISTRATIVE OFFICER OR DESIGNATE



Development Authority Request for Decision

Meeting Date: April 20, 2020

Subject:

DP 20-017 - Pinnacle Metal Shop

Recommendation:

That the Municipal Planning Commission approves Development Permit, DP 20-017, for a new Small Scale Industrial/Manufacturing shop at the proposed location of 6920 64th Street, with the following conditions:

1. The site is developed as per the site plan submitted;
2. The applicant must obtain a Building Permit to ensure the development complies with the Alberta Fire Code and Alberta Building Code. It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
3. The development conforms to the district requirements of the Light Industrial District (M1);
4. Applicant to ensure water will not accumulate at or near the buildings (positive drainage) on site, nor accumulate on the lot, and will not adversely affect adjacent properties. A topographical plan indicating site drainage and building foundation elevations must be submitted prior to commencing construction;
5. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 4-2008);
6. Subdivision of the land must be completed prior to commencing construction.
7. All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development;
8. Applicant must arrange pre-site meeting with Town of Taber Public Works department prior to commencing construction;



Background:

Town Administration has received a development permit application for a new metal forming shop to be located on proposed Lot 13, Block 2, which is currently in the process of being subdivided from Lot 10, Block 2, Plan 071 2104, 6920 64th Street. The application has been brought to the Municipal Planning Commission for a decision on the Discretionary Use, which is classified as a Small Scale Industry/Manufacturing use per the Land Use Bylaw 14-2016.

Administration recommends the approval of the metal forming shop, as it reflects other nearby uses, and is not likely to adversely affect the use or enjoyment of neighbouring properties.

Legislation / Authority:

Subdivision and Development Authority & MPC Bylaw 8(b) The Municipal Planning Commission shall be the Development Authority for Development Permit applications for Discretionary Uses.

Strategic Plan Alignment:

Develop Community & Promote Growth #2: Review Town policies and regulations that pertain to development.

Financial Implication:

All fees associated with the application have been paid.

Service Level / Staff Resource Implication:

Administration's time is required to review, advertise, and circulate the application.

Justification:

Approving the development of a new metal forming shop would increase the number and variety of businesses within the Town of Taber, without adversely impacting neighbouring properties.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves Development Permit, DP 20-017, for a new Small Scale Industrial/Manufacturing shop at the proposed location of 6920 64th Street, with amendments.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit, DP 20-017, for a new Small Scale Industrial/Manufacturing shop at the proposed location of 6920 64th Street, with reasons.



Attachment(s): DP Application
Location
Lot Plan
Site Plan

APPROVALS:

Originated By:
Rob Janzen

Chief Administrative Officer (CAO) or Designate: _____



Application for Commercial/Industrial/
Public & Institutional Development

Planning and Economic Development
A-4900 50th St
Taber, Alberta T1G 1T1
Phone: 403-223-6009
Fax: 403-223-5530

DP 20-017
Diamond Permit #:

Office Use Only			
Use: <input type="checkbox"/> Permitted <input type="checkbox"/> Discretionary <input type="checkbox"/> Prohibited		Land Use District:	Roll No:
Development Permit No:	DP Fee:	Off-Site Levy:	Security Deposit:
Building Permit No:	BP Fee:	SCC Levy:	Total Fees:
Application Received:	Date Advertised:	Permit Effective:	

- **Development Permit** – ensures the use, setbacks, and size of your project comply with the *Land Use Bylaw*.
- **Building Permit** – ensures that your project is completed safely and is a requirement of the *Safety Codes Act*.
- **It is recommended you review *Land Use Bylaw* requirements prior to submitting an application.**
- **A building permit is required for most major construction projects and an application should be submitted with your development permit when applicable.**
- **Electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).**
- **During construction it is your responsibility to contact the building inspector for required inspections.**
- **After the building inspector has reviewed your plans and issued a building permit you can begin construction.**
- **At the completion of the project, you will be required to update your *Real Property Report* to verify the project has been constructed in the correct location.**
- **Please attach the following:**
 - Site Plan (3 copies)
 - Plot Plan (3 copies)
 - Internal circulation/parking plan (3 copies)
- **Please indicate if you will be applying for:**
 - Building Plan (3 copies)
 - Building Permit Application
 - Security Deposit (if applicable)
 - Business License

I/We hereby make application for a commercial/industrial/public & institutional development permit under the provisions of Land Use Bylaw 14-2016 in accordance with the plans and supporting information submitted herewith and which forms part of this application.

Municipal Address:	6920 64 street		
Legal Description of property to be developed:	Lot (Parcel): 10	Block: 2	Plan: 0712104
Applicant:	Name: Pinnacle Metal	Email: [REDACTED]	
	Address: [REDACTED]	[REDACTED]	
	Town: Brooks	Postal Code: T1R 1B6	
	Phone Res: [REDACTED]	Phone Cell: [REDACTED]	
	Business License#:	[REDACTED]	
	Interest in the proposed development, if not the registered owner:	<input type="checkbox"/> Agent <input type="checkbox"/> Contractor <input type="checkbox"/> Tenant <input type="checkbox"/> Other explain:	
Registered Owner: (if different than applicant)	Name: Pinnacle Metal	Email: [REDACTED]	
	Address: [REDACTED]	[REDACTED]	
	Town: Brooks AB	Postal Code: T1R 1B6	
	Phone Res: [REDACTED]	Phone Cell: [REDACTED]	
Type of Development Proposed:	<input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Public and Institutional <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Waiver <input type="checkbox"/> Change of Use <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Moved in Building <input type="checkbox"/> Other explain:		
Adjacent to Highway:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Estimated Cost of Development:	600,000
Lot Dimensions	Width: 44.65m	Depth: 132.99m	Area: 5938 m ²
	By proposed build (%): 12%	Total site coverage (%): 12%	Landscaped open space (%):
Proposed setback from property lines:	Front: 12m	Side 1: 3.5m	Side 2: 21.86m
			Rear: 78.32m
Additional Information	Number of Units: 1	Number of Loading Spaces: 2	
	Number of Off-Street Parking Spaces: 8	Driveway Width: 7m	

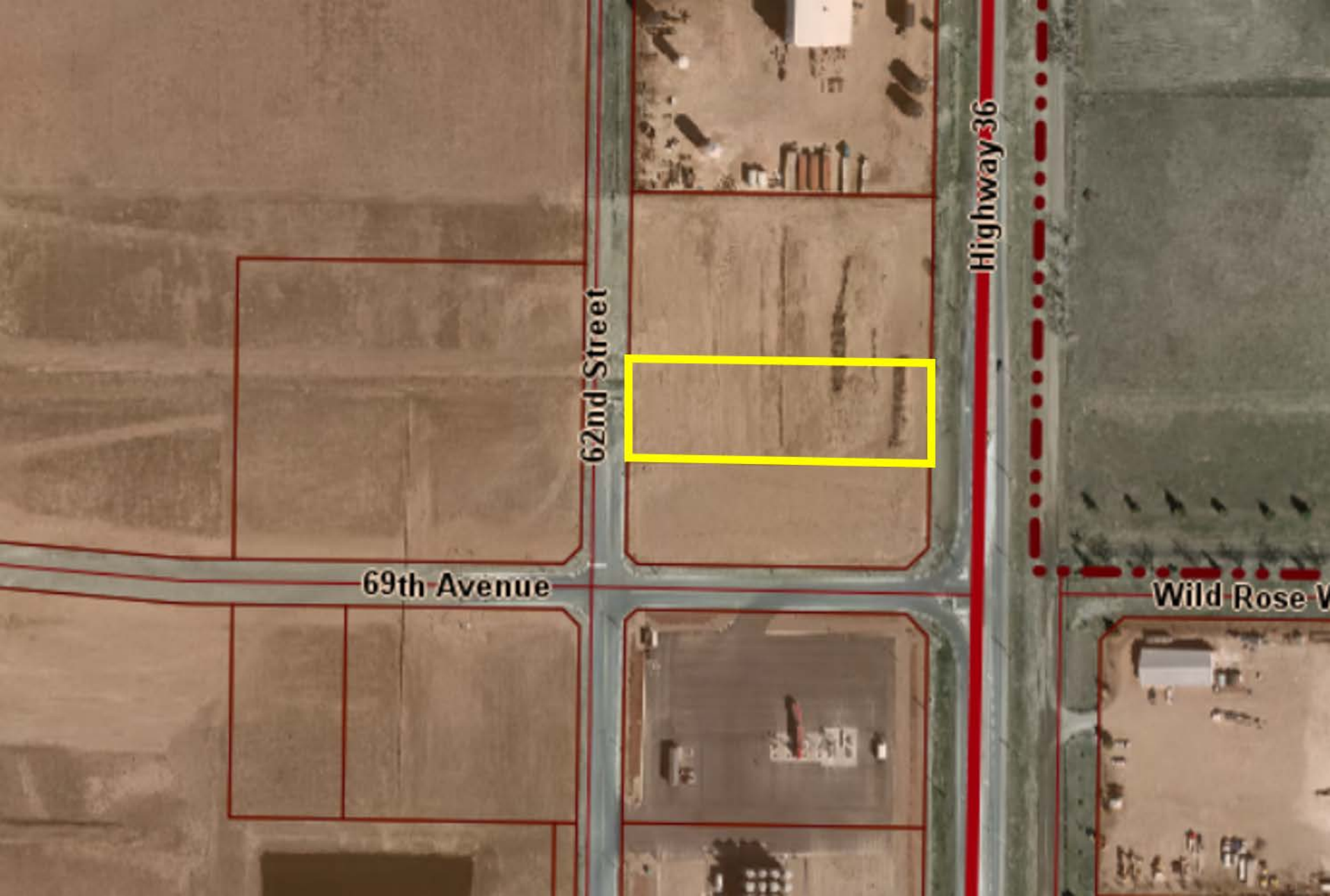
The personal information requested on this form is being collected for a development permit and is protected by the Freedom of Information and Protection of Privacy (FOIP) Act. If you have questions about the collection, contact our FOIP Coordinator at (403) 223-5500.

Business Information	On-Site Off-Site/Mobile	<input type="checkbox"/>	Proposed Signs: (Identify on site plan)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
	Outdoor Storage: (Identify on site plan)	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Proposed Outdoor Lighting: (Identify on site plan)	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
	Flammable or Hazardous material on site:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	If yes, attach a list of all materials and estimated quantities.		
	Potential environmental impacts or nuisance effects:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	If yes, attach a description of potential impacts and their proposed mitigation plan		
Access:					
	Provincial Highway # _____	Existing <input type="checkbox"/>	Proposed <input type="checkbox"/>	N/A <input type="checkbox"/>	
	Municipal Road	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Internal Subdivision Road	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Undeveloped Road Allowance	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Private Road (i.e. Condominium)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Other (specify):	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Services:					
Water Supply	Municipally owned and operated piped water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Other (specify):	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sewage Disposal	Municipally owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Other (specify):	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Storm Drainage	Municipal sewers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Ditches	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Swales	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
If development is temporary, state for what period: _____					
Existing Use of Site: List existing buildings, structures and use(s) of the land and whether any are to be removed or relocated.					
_____ <u>vacant land</u> _____					
_____ _____					
_____ _____					
Proposed Use of Site: Describe in detail - attach additional information if necessary.					
_____ <u>metal forming facility</u> _____					
_____ _____					
Present Use of Adjacent Properties					
_____ <u>1 vacant</u> _____					
_____ <u>I Beam plant</u> _____					
_____ _____					
Describe how vehicles will access the site: (submit an internal circulation/parking plan)					
_____ <u>enter property on town</u> _____					
_____ <u>street</u> _____					
_____ _____					
Describe the use, number, and size of all commercial vehicles accessing the site:					
_____ <u>freight trucks for material</u> _____					
_____ <u>delivery, light traffic day to day</u> _____					

Signed: _____ Date: Apr 15 2020

Signed: _____ Date: _____

Signed: _____ Date: April 16, 2020

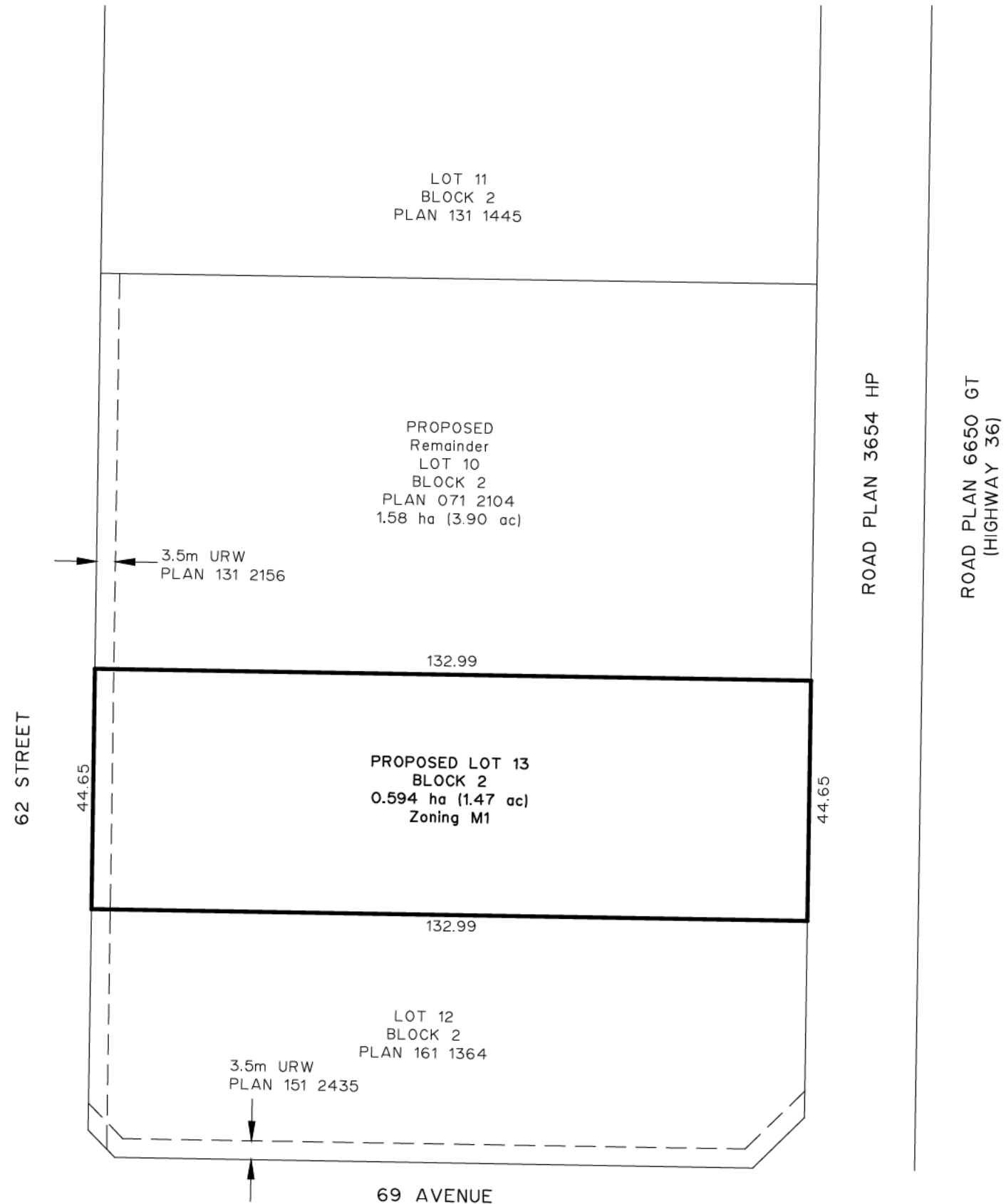


62nd Street

69th Avenue

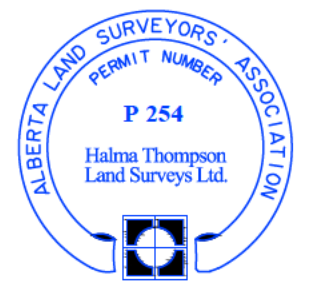
Highway 36

Wild Rose V



SUBDIVISION AUTHORITY
TOWN OF TABER

FILE:



SURVEYOR: MICHAEL A. THOMPSON, ALS

CLIENT:
TOWN OF TABER
6920 - 64 STREET
TABER, AB
T1G 1Z4

DESCRIPTION OF PROPERTY:
CIVIC ADDRESS: 6920 - 64 STREET
C of T 161 133 316 +1
REGISTERED OWNER: THE TOWN OF TABER

THE EXISTENCE OR LOCATION OF ALL UTILITIES AS SHOWN ON OR OMITTED FROM THIS PLAN MAY BE BASED ON INFORMATION RECEIVED FROM THE RESPECTIVE AUTHORITIES AND ARE NOT GUARANTEED BY THE LAND SURVEYOR. NO RESPONSIBILITY IS IMPLIED OR ASSUMED BY THE LAND SURVEYOR AS TO THE LOCATION OR ANY OMISSIONS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE AND LOCATION OF ALL SUCH UTILITIES AND MUST CONTACT THE VARIOUS UTILITY COMPANIES FOR ON SITE INFORMATION PRIOR TO COMMENCEMENT OF ANY OPERATIONS.

1	2020-02-06	Revised N. Bdy.	D.H.	M.T.
0	2020-02-05	ORIGINAL SUBMISSION	D.H.	M.T.
ISSUE	DATE	REVISION	CAD	CHK

TOWN OF TABER

TENTATIVE PLAN
SHOWING PROPOSED SUBDIVISION
OF PART OF
LOT 10, BLOCK 2, PLAN 071 2104
(SE 1/4 SEC 8-10-16-4)

TOWN OF TABER
ALBERTA

REV

SUBJECT TO APPROVAL OF THE LOCAL APPROVING AUTHORITY

SCALE 1:1000

	HALMA THOMPSON	200-410 Stafford Drive S Lethbridge AB, T1J 2L2 Phone (403) 381-1320 Fax (403) 381-1366	JOB H02020 DRAWING H02020T
	LAND SURVEYS LTD.		

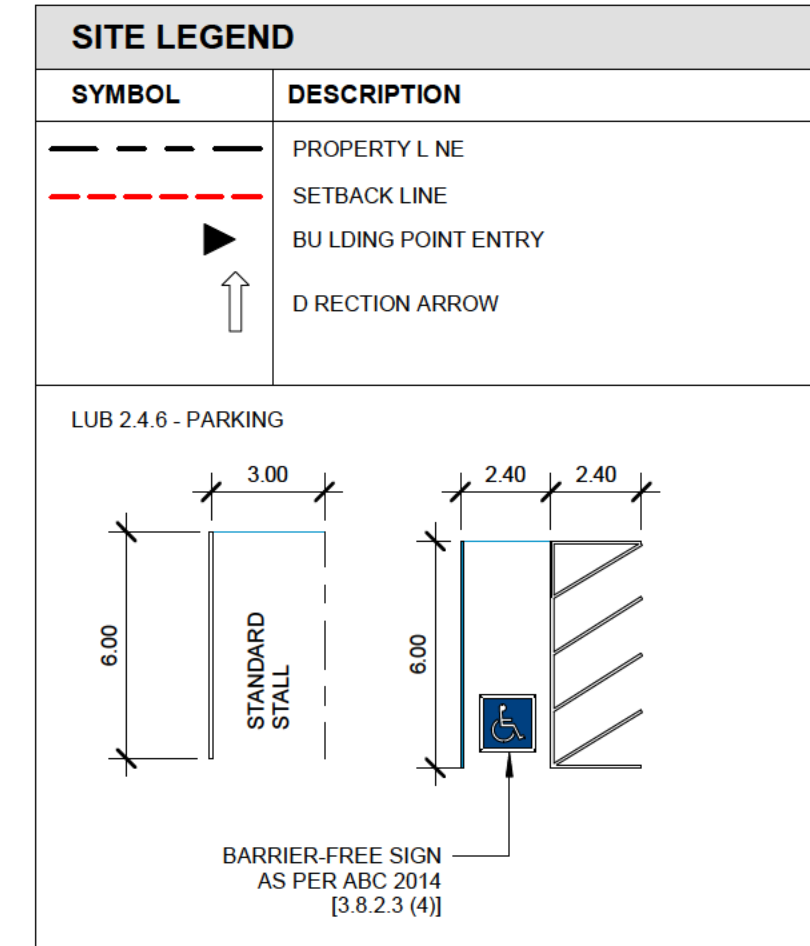
PINNACLE METAL FORMING SHOP

PRE-DEVELOPMENT PERMIT 2020-04-15

DRAWING LIST			
SHEET NUMBER	SHEET NAME	CURRENT REVISION DESCRIPTION	CURRENT REVISION DATE
A001	SITE PLAN		
A002	NOTES, SCHEDULES & DETAILS		
A100	FLOOR PLANS		
A200	ELEVATIONS		
A300	BUILDING SECTIONS		
A400	SECTION DETAILS		
S101	FOUNDATION PLAN		
S102	STRUCTURAL FRAMING PLAN		

DEVELOPMENT DESCRIPTION	
MUNICIPAL ADDRESS:	6920 64 STREET, TABER, AB
CURRENT LEGAL DESCRIPTION:	LOT 10 BLOCK 2 PLAN 0712104
ZONING:	LUB: LIGHT INDUSTRIAL (M-1)
USE:	INDUSTRY/MANUFACTURING, SMALL SCALE
LOT AREA:	5937.8 m ²
BUILDING AREA:	780.4 m ²
BUILDING COVERAGE:	13.14%
PARKING:	1 PARKING STALL / 100 m ² TOTAL PARKING STALLS REQ'D = 8 STALLS BARRIER-FREE STALLS REQ'D = 1 STALL

4.10.3: DEVELOPMENT STANDARDS	
MINIMUM FRONT YARD	7.0m
MINIMUM REAR YARD	7.0m
MINIMUM INTERIOR SIDE YARD	3.0m
MINIMUM EXTERIOR SIDE YARD	3.5m
MAXIMUM BUILDING HEIGHT	12.0m
MAXIMUM BUILDING COVERAGE	50%
MINIMUM LANDSCAPE AREA	10%



ALBERTA BUILDING CODE 2019 SUMMARY

3.1.2.1. OCCUPANCY CLASSIFICATION
GROUP F3: LOW-HAZARD INDUSTRIAL OCCUPANCY

GROSS FLOOR AREA
MAIN FLOOR AREA: 780 m²
MEZZANINE AREA: 112 m²

3.2.2.18. AUTOMATIC SPRINKLER SYSTEM REQUIREMENT
1) AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED.

3.2.2.85. GROUP F3, UP TO 2 STOREYS

2) THE BUILDING IS PERMITTED TO BE OF COMBUSTIBLE CONSTRUCTION OR NONCOMBUSTIBLE USED SINGLY OR IN COMBINATION.
A) FLOOR BEARING WALLS, COLUMNS AND ARCHES SHALL
D) LOAD BEARING WALLS, COLUMNS AND ARCHES SHALL
I) HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 45 MIN, OR
II) BE OF NONCOMBUSTIBLE CONSTRUCTION.

T3.2.3.1.B. UNPROTECTED OPENING LIMITS FOR A BUILDING OR FIRE COMPARTMENT THAT IS NOT SPRINKLERED THROUGHOUT

NORTH FACE: 100% UNPROTECTED OPENINGS

SOUTH FACE: 11% UNPROTECTED OPENINGS
1 HR FIRE-RESISTANCE RATING REQUIRED
CONSTRUCTION: COMBUSTIBLE OR NON-COMBUSTIBLE
CLADDING: NON-COMBUSTIBLE

EAST FACE: 100% UNPROTECTED OPENINGS
WEST FACE: 100% UNPROTECTED OPENINGS

3.6.2.1. SERVICE ROOMS
1HR FIRE-RESISTANCE RATING.

3.3.1.1.(2) SEPARATION OF SUITES
THE FIRE-RESISTANCE RATING SHALL NOT BE LESS THAN 45 MIN AS PER SUBSECTION 3.2.2.85.

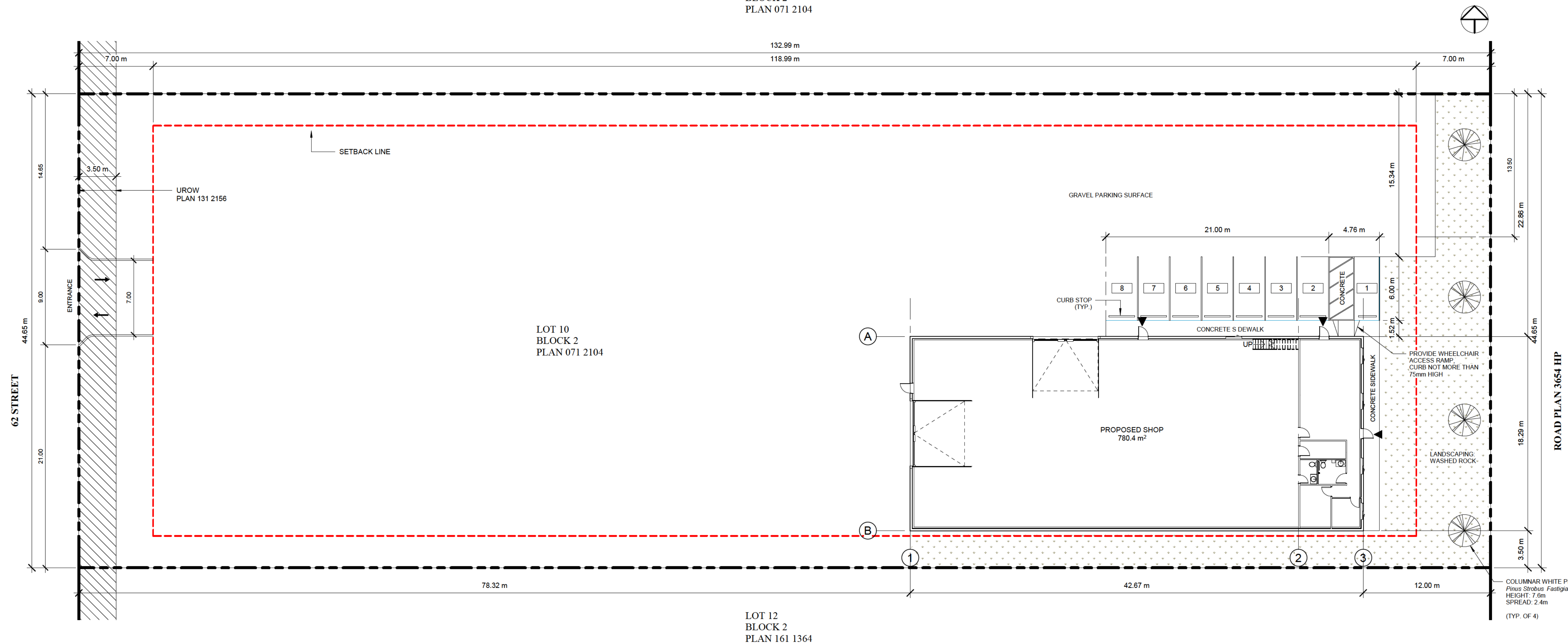
3.4.2.1. MINIMUM NUMBER OF EXITS
1) MAIN FLOOR AREA TO BE SERVED BY AT LEAST 2 EXITS.

T 3.4.2.2. MEANS OF EGRESS FROM MEZZANINE
MAXIMUM FLOOR AREA = 200 m²
DISTANCE TO NEAREST EXIT = 15m

3.4.2.5. LOCATION OF EXITS
1)j) EXITS SHALL BE NOT MORE THAN 30m.

3.8.1.1. BARRIER-FREE DESIGN
BUILDING IS DESIGNED TO BE BARRIER-FREE.

PROPOSED REMAINDER
LOT 10
BLOCK 2
PLAN 071 2104



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Drawings are not to be used for construction until reviewed and approved by the Authority Having Jurisdiction. This Authority, based on applicable codes, may require revisions and/or additions and this may result in extra costs. These costs are unforeseen and therefore are the responsibility of the Owner and/or Contractor.

Drawings must not be scaled. The Contractor must cross-reference all architectural, structural, foundation, electrical and mechanical drawings and verify all dimensions, drawings and specifications and locations of existing services. Any discrepancies must be reported to the Engineer prior to proceeding with any part of the work. Changes may require revisions and/or additions and this may result in extra costs. These costs are unforeseen and therefore are the responsibility of the Owner and/or Contractor.

The Engineer assumes no responsibility for on-site worker safety for other than their own employees. The owner and/or contractor shall bear responsibility for site safety as per the Occupation Health and Safety Act.

In the event of omissions in the provided service, P.H. McNally Associates limits its liability to the lower of the cost of remediation or payment for the received service.

All physical documents issued are property of the Owner. All intellectual property represented by these documents, as well as material documents, design documents, and digital models remain the property of the Engineer and are used with the Engineer's permission only.

Rev	Description	Date	By

McNALLY ASSOCIATES LTD.

373 ABERDEEN STREET SE
MEDICINE HAT, AB T1A 0R3
Ph. 403.527.5772 Fax: 403.527.4834

FOR Pinnacle Metal Forming Ltd.

PROJECT: TABER SHOP
6920 64th Street NE
Taber, AB

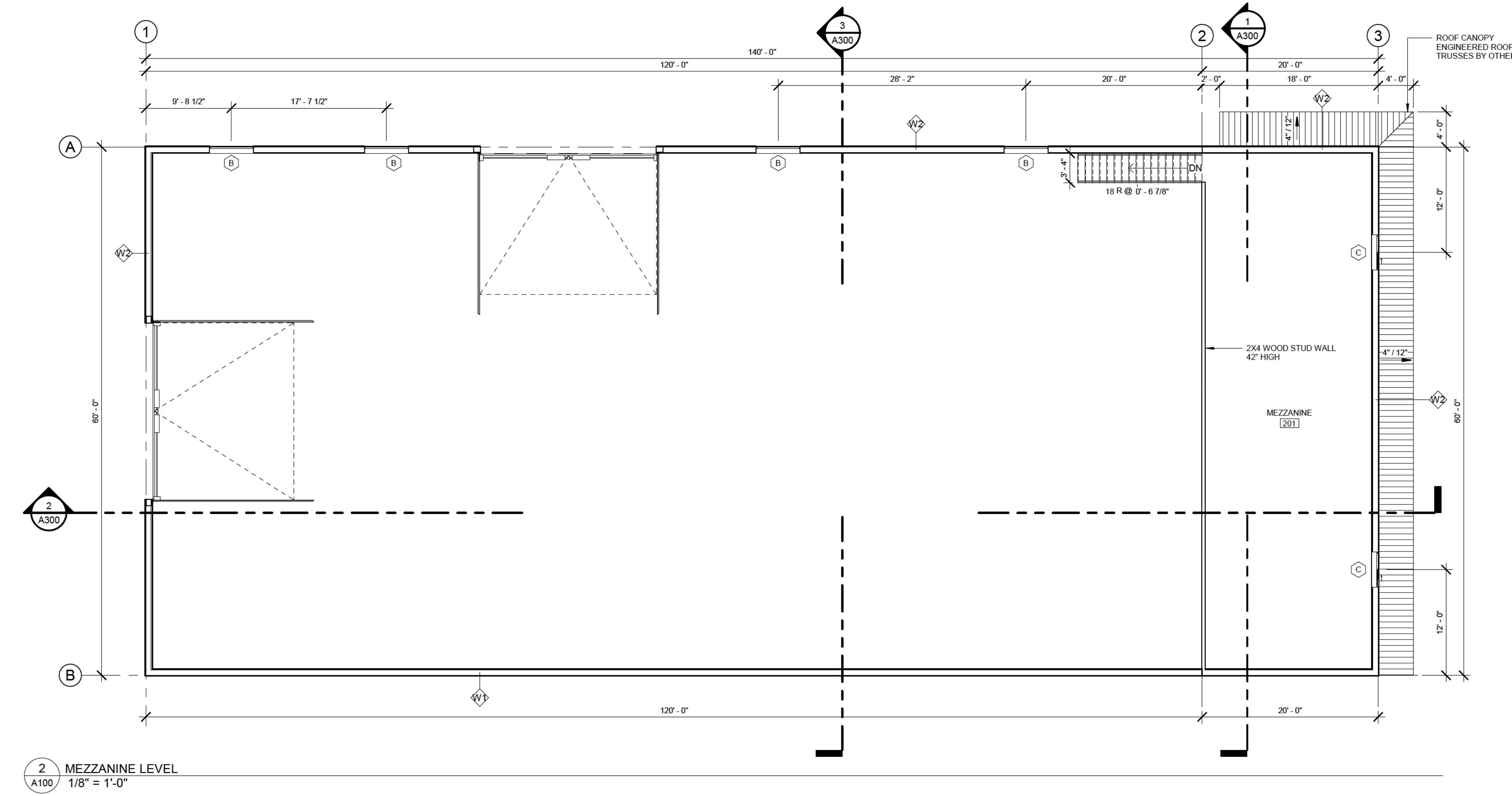
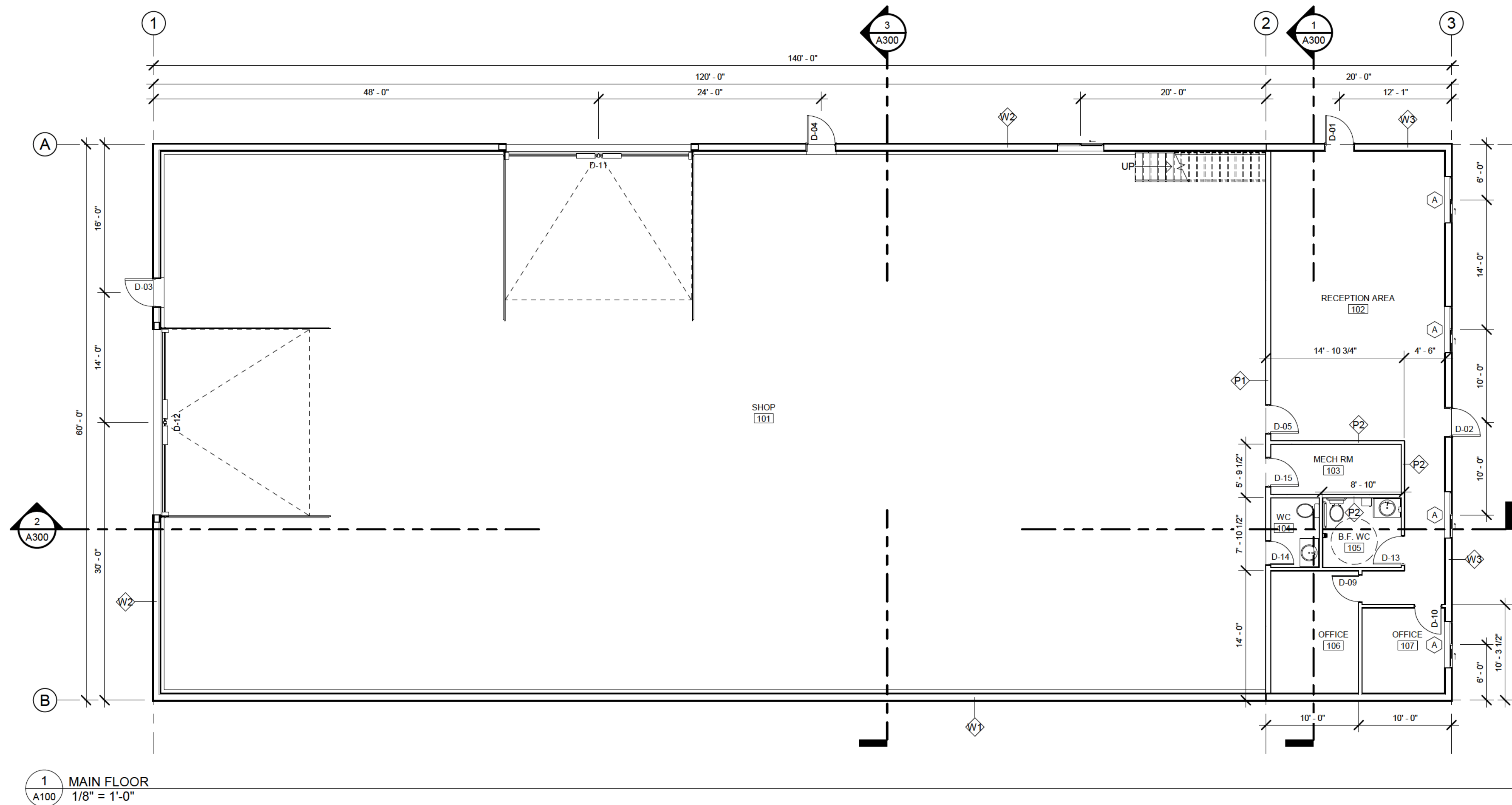
DRAWING TITLE: SITE PLAN

DRAWN BY: JJD	CHECKED: -
SCALE: AS SHOWN	ORIGINAL SIZE: ARCH-D 36" x 24"
JOB NO: 20027-01	RII DATE: -
DWG NO: A001	REV. SHEET: -

2020-04-15 Pre-Development Permit

HIGHWAY 36

ROAD PLAN 3654 HP



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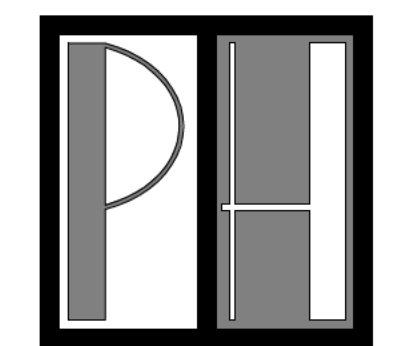
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Rev	Description	Date	by
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McNALLY ASSOCIATES LTD.

373 ABERDEEN STREET SE
 MEDICINE HAT, AB T1A 0R3
 Ph. 403.527.5772 Fax: 403.527.4834

2020-04-15 Pre-Development Permit

FOR
Pinnacle Metal Forming Ltd.

PROJECT
TABER SHOP
 6920 64th Street NE
 Taber, AB

DRAWING TITLE
FLOOR PLANS

DRAWN BY JJD	CHECKED: -
SCALE AS SHOWN	ORIGINAL SIZE ARCH-D 36" x 24"
JOB NO. 20027-01	REV. DATE:
DWG NO. A100	SHEET:

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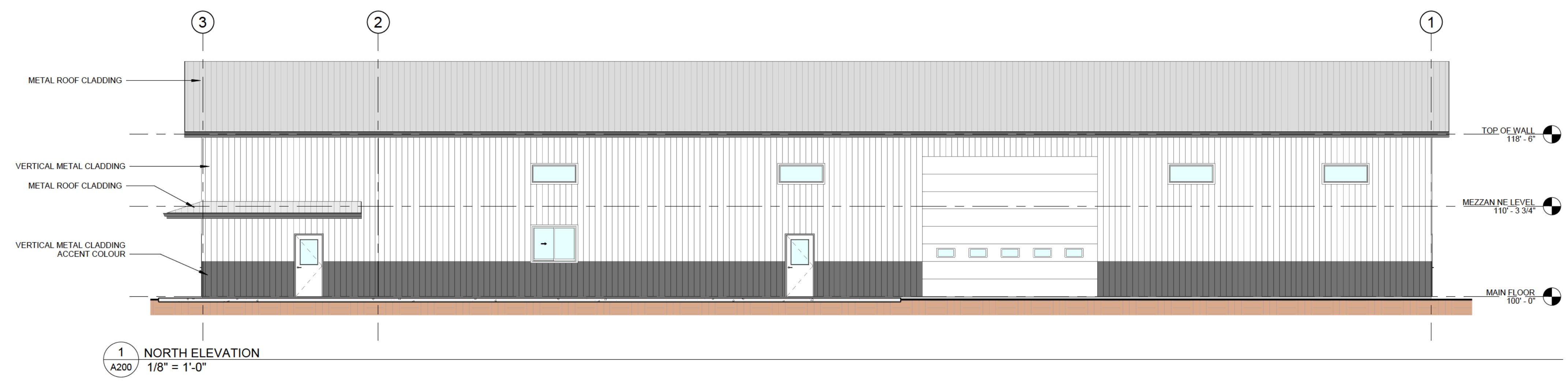
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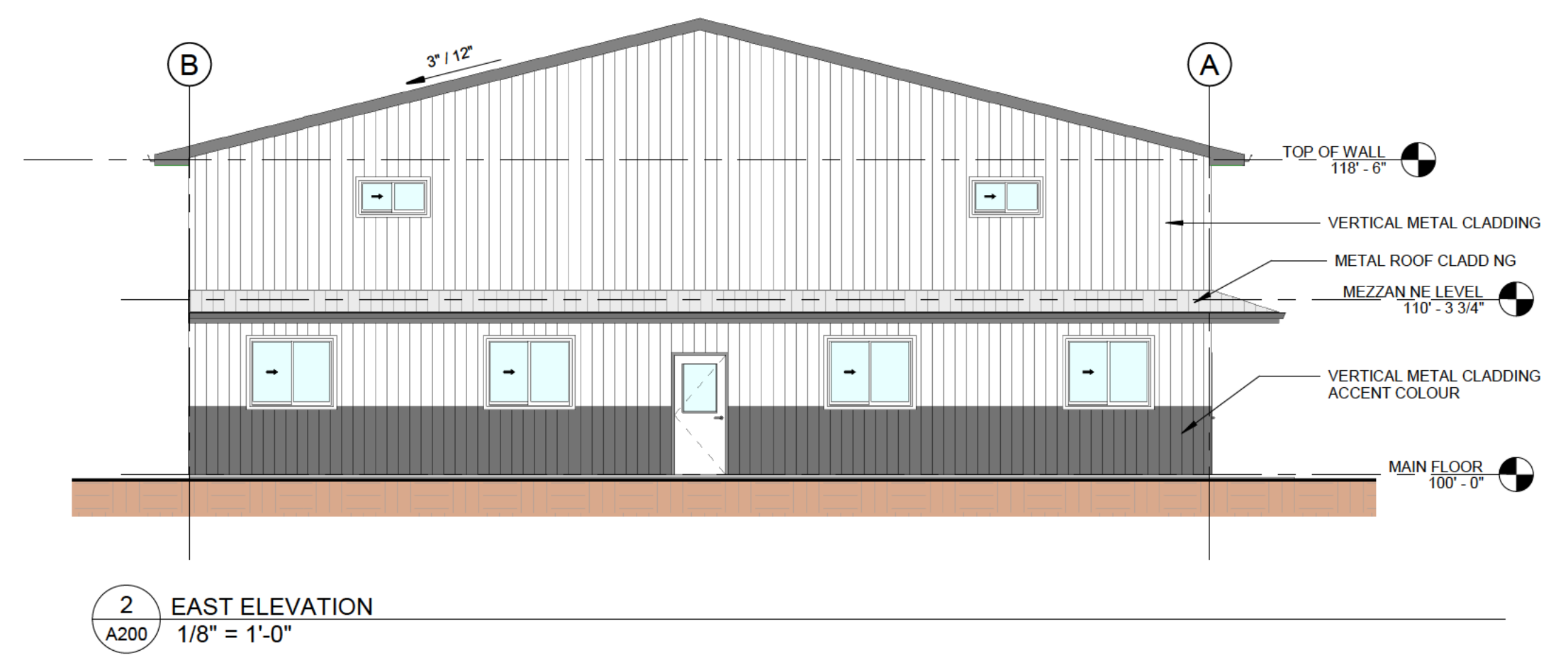
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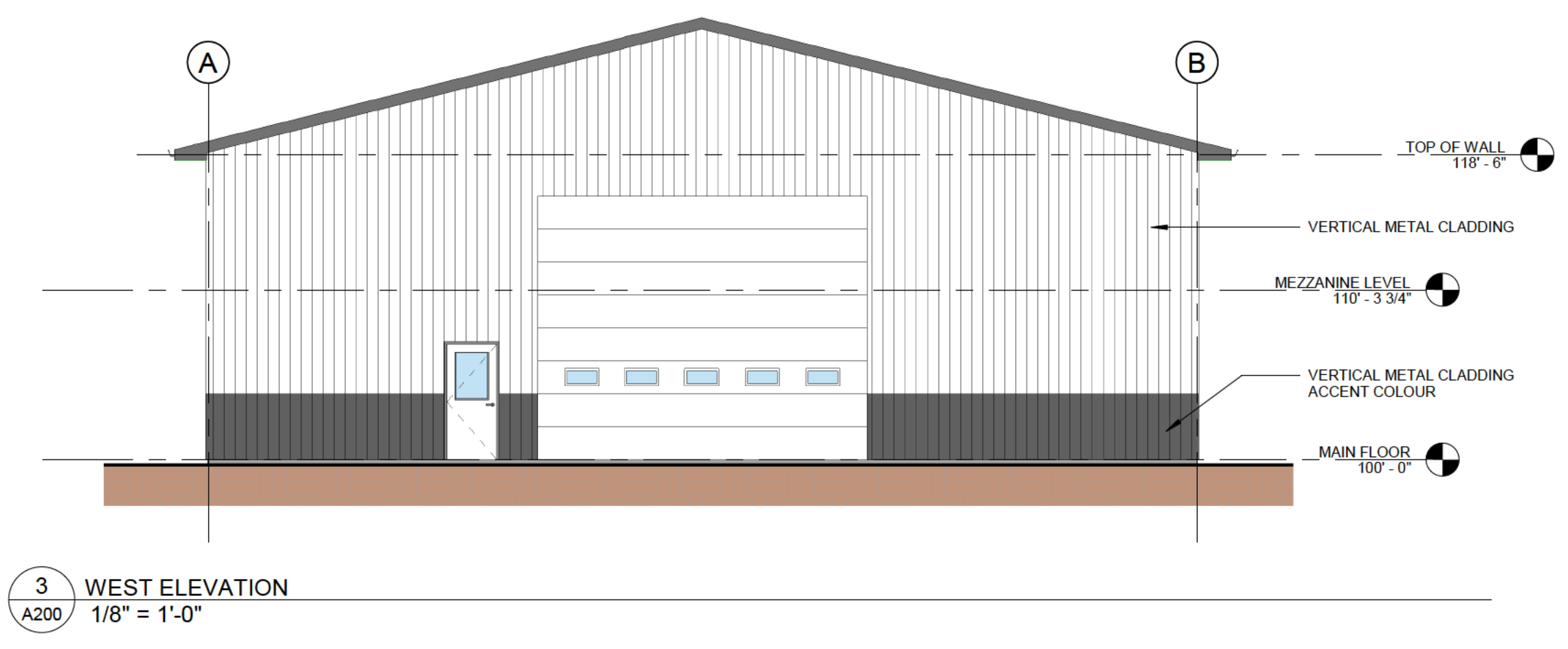
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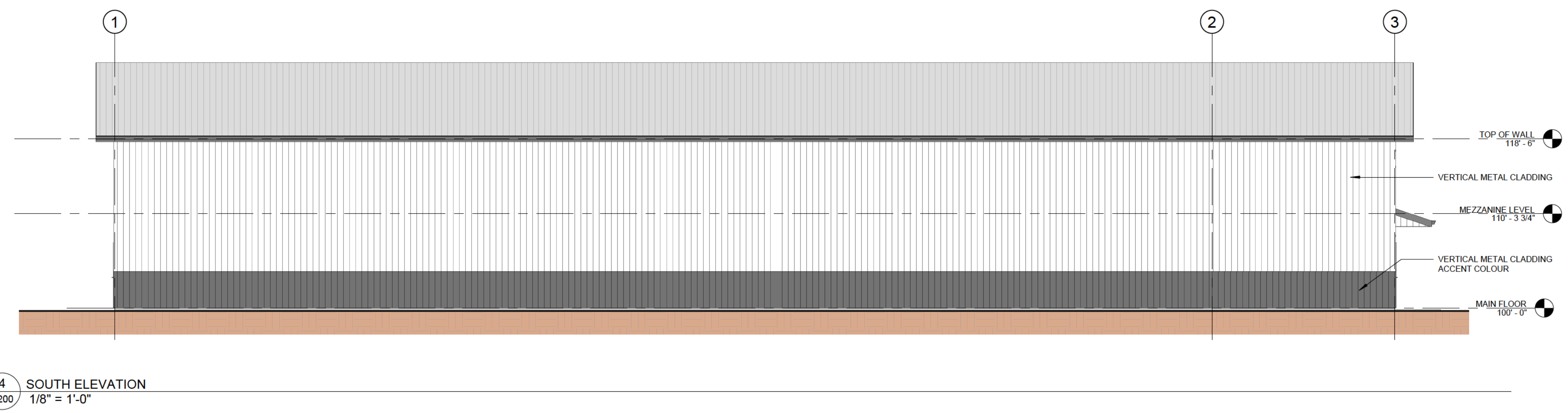
1 NORTH ELEVATION
A200 1/8" = 1'-0"



2 EAST ELEVATION
A200 1/8" = 1'-0"

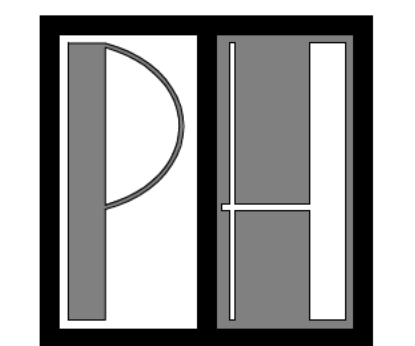


3 WEST ELEVATION
A200 1/8" = 1'-0"



4 SOUTH ELEVATION
A200 1/8" = 1'-0"

Rev	Description	Date	By



McNALLY ASSOCIATES LTD.

373 ABERDEEN STREET SE
MEDICINE HAT, AB T1A 0R3
Ph. 403.527.5772 Fax: 403.527.4834

2020-04-15 Pre-Development Permit

FOR
Pinnacle Metal Forming Ltd.

PROJECT
TABER SHOP
6920 64th Street NE
Taber, AB

DRAWING TITLE
ELEVATIONS

DRAWN BY JJD	CHECKED: -
SCALE AS SHOWN	ORIGINAL SIZE ARCH-D 36" x 24"
JOB NO. 20027-01	REV. DATE:
DWG NO. A200	REV. SHEET:



Development Authority Request for Decision

Meeting Date: April 20, 2020

Subject:

Subdivision TT 20-0-004
5030 Westview Gate

Recommendation:

That the Development Authority recommend that the Subdivision Authority approve Subdivision Application TT 20-0-004, Lot 1, Block 6, Plan 081 5248, within SW $\frac{1}{4}$ Sec. 6, Twp. 10, Rge. 16, W4M, civically described as 5030 Westview Gate, with the following conditions:

1. That approval shall apply to a residential subdivision plan within SW $\frac{1}{4}$ of Sec. 6, Twp. 10, Rng. 16, W4M.
2. On site stormwater retention and low impact development considerations should be utilized in development, to the satisfaction of the Development Authority.
3. The developer shall enter into a Servicing Agreement with the Town of Taber to provide independent services to each newly developed lot, including the construction of a road with design standards to the satisfaction of the Development Authority. Securities will be required as part of this process.
4. The Developer shall be responsible for keeping the development area in a neat and tidy fashion, particularly, as it pertains to blowing debris and weeds during development of the subdivision.
5. Easements and/or rights of way shall be registered against the land for the provision of storm, drainage, gas, power, and other utilities as required by the utility provider.
6. A 3.5 meter utility right-of-way shall be registered along the entire frontage of the newly constructed road to the benefit of ATCO Gas if required.
7. Any utility, road or driveway crossings, excavation work, or surface treatments to cross the Taber Irrigation District easement shall be approved by Taber Irrigation District through an Easement Agreement.
8. Development Permits will be required for any new development on the lots. Approval of this subdivision does not constitute approval of any future development permit application.
9. That pursuant to Section 654(1)(d) of the Municipal Government Act, there is a current balance of outstanding property taxes that must be paid to the Town of Taber prior to endorsement.
10. Compliance is to be maintained with existing policy documents including but not limited to Land Use Bylaw 14-2016, to the satisfaction of the Development Authority.



11. A Shared Parking/Access Agreement is to be registered on Title to the satisfaction of the Development Authority.
12. The subdivision plan shall be registered in a manner satisfactory to the Land Titles Office.

Background:

Administration has received an application to subdivide 5030 Westview Gate, a residential lot zoned as Residential Medium Density (R-4). The subdivision is being undertaken to create a total of four lots from the single existing lot. All four lots will keep the R-4 designation. The applicant has indicated they would like to use the large northern lot for a senior's living facility and the three smaller southern lots for neighbourhood commercial developments, both are discretionary uses in the R-4 district.

A public road will be constructed as part of the subdivision in order to provide services and access from Westview Gate. The Applicant will be required to enter into a Servicing Agreement for the construction of this road as well as running services, this will ensure all work is completed to Town standards, prior to the Town accepting ownership and control of the work. Further, a parking agreement will be required that will ensure parking spaces are shared amongst the development. This agreement will be registered on the newly created Titles of the properties so the agreement is in place long term, regardless of who owns the properties and cannot be removed from title without the approval of the Town of Taber.

An initial subdivision plan was circulated to internal and external stakeholders and all properties within a 100 meters radius of the property on March 23, 2020, this plan was developed with the intention of having the road constructed as a private road with a bareland condo plan to control all common areas. The Applicant then provided a revised plan of subdivision, as it is currently shown, and the new plan was circulated on March 27, 2020. Through circulation it was determined an easement agreement and a utility right-of-way will be required, these requests from external stakeholders have been captured as recommended conditions of the subdivision.

Legislation / Authority:

Bylaw 10-2018 Part 3(17)(b) Subdivision and Development Authority.

Strategic Plan Alignment:

Develop Community & Promote Growth

Financial Implication:

The cost of advertising the subdivision is covered within the subdivision application fees.



Service Level / Staff Resource Implication:

Processing subdivisions is a part of the ongoing responsibilities of the Planning and Economic Development Department.

Justification:

The subdivision will allow for development of a lot that has remained vacant for many years. Future development will provide new amenities to the area.

Alternative(s):

That the Development Authority recommend that the Subdivision Authority approve Subdivision Application TT 20-0-004, Lot 1, Block 6, Plan 081 5248, within SW ¼ Sec. 6, Twp. 10, Rge. 16, W4M, civically described as 5030 Westview Gate, with amendments to the conditions

That the Development Authority recommend that the Subdivision Authority does not approve Subdivision Application TT 20-0-004, Lot 1, Block 6, Plan 081 5248, within SW ¼ Sec. 6, Twp. 10, Rge. 16, W4M, civically described as 5030 Westview Gate, with reasons.

Attachment(s): Subdivision TT 20-0-004 - Application
 Subdivision TT 20-0-004 - Plan of Subdivision
 Site Map
 Subdivision Report
 Land Title
 Abandoned Well Map

APPROVALS:

Originated By:
Kattie Schlamp

Chief Administrative Officer (CAO) or Designate: _____



Application for Subdivision Approval

Planning and Economic Development
 A-4900 50th St.
 Taber, Alberta T1G 1T1
 Phone: 403-223-6009
 Fax: 403-223-5530

Office Use Only			
Use: <input type="checkbox"/> Permitted <input type="checkbox"/> Discretionary <input type="checkbox"/> Prohibited	Land Use District:	Roll No:	
Subdivision No:	Subdivision Fee \$	Off-Site Levy: \$	Security Deposit: \$
Application Received:	Date Advertised:	Permit Effective:	Total Fees: \$

- The issuance of building permits cannot take place until certain conditions outlined by the subdivision approval process, including the requirements outlined by the Subdivision Servicing Agreement, have taken place.
- The parcel will not officially be subdivided until Land Titles registers the plan and creates the new *Certificate of Title*. It is the land owner's responsibility to initiate registration with Land Titles.
- Please attach the following:
 - Application fee \$2350.00 Tentative Plan of Subdivision prepared by an Alberta Land Surveyor (include a digital copy)
 - Servicing Agreement (3 copies)
 - Current Copy of Certificate of Title

I/We hereby make application for Subdivision in accordance with the requirements of the Municipal Government Act and the Subdivision and Development Regulations.

Applicant:	Name:	[Redacted]	
	Address:	[Redacted]	
	Town:	Taber AB	
	Phone Res:	[Redacted]	
	Email:	[Redacted]	
	Business License#:	[Redacted]	
Interest in the proposed subdivision, if not the registered owner:			
<input checked="" type="checkbox"/> Agent <input type="checkbox"/> Contractor <input type="checkbox"/> Tenant <input checked="" type="checkbox"/> Other explain: Purchasing the parcel.			
Registered Owner: (if different from applicant)	Name:	[Redacted]	
	Town:	Leithbridge	
	Phone Res:	[Redacted]	
	Phone Cell:	715 0214	
	Email:	[Redacted]	
Legal Description of Land to be Subdivided:	All/Part of the ___ 1/4 of Section ___ Township ___ Range ___ W4M		
	Being all/part of: Lot/Unit <u>1</u> Block <u>6</u> Plan <u>0815248</u>		
	Municipal Address (if applicable):		
Location of Land to be Subdivided:	The land is situated in the Municipality of: <u>Taber</u>		
	Is the land situated immediately adjacent to the municipal boundary?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, name of Municipality:
	Is the land situated within 0.8 kilometers of the right-of-way of a Highway?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	If yes, Highway No: <u>264</u>
	Does the proposed parcel contain or is it bounded by a river, stream, lake, or other body of water, or by a drainage ditch or canal?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, name:
	Is the proposed parcel within 1.5 kilometers of a sour gas facility?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Use of Land to be Subdivided:	Total Number of lots to be created:	<u>3</u>	Size of Lot(s) or range: <u>5905-12100 R13</u>
	Describe the existing use of the land: <u>Vacant</u>		
	Describe the proposed use of the land: <u>R4 w/ light business</u>		
	Current land use designation: <u>R4 Amended</u>		
	Proposed land use designation: <u>R4 w/ light business</u>		
Characteristics of the Land to be Subdivided	Describe any existing buildings: <u>None</u>		
	Will any structures be demolished or moved?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, explain:

3 lots, 0.178, 0.186, 0.222 ha
 0.583 hectares
 change made by ZOC Prosper with consent from Dr. Ryan Tolle

The personal information requested on this form is being collected for a Subdivision application and is protected by the Freedom of Information and Protection of Privacy (FOIP) Act. If you have questions about the collection, contact our FOIP Coordinator at (403) 223-5500.



Describe the nature of the topography of the land (flat, rolling, steep, mixed, etc.): Flat.

Describe the nature of the vegetation and water on the land (brush, shrubs, trees, woodlots, sloughs, creeks, etc.): Dirt / Grass.

Type of soil (sand, loam, clay, etc.): Sandy loam.

Describe the manner of providing water and sewage services: Town of Taber.

I (we), [Redacted] hereby certify that I am (we are) [Redacted]
Print full name(s)

- the registered owner(s)
 authorized to act on behalf of the registered owner(s)

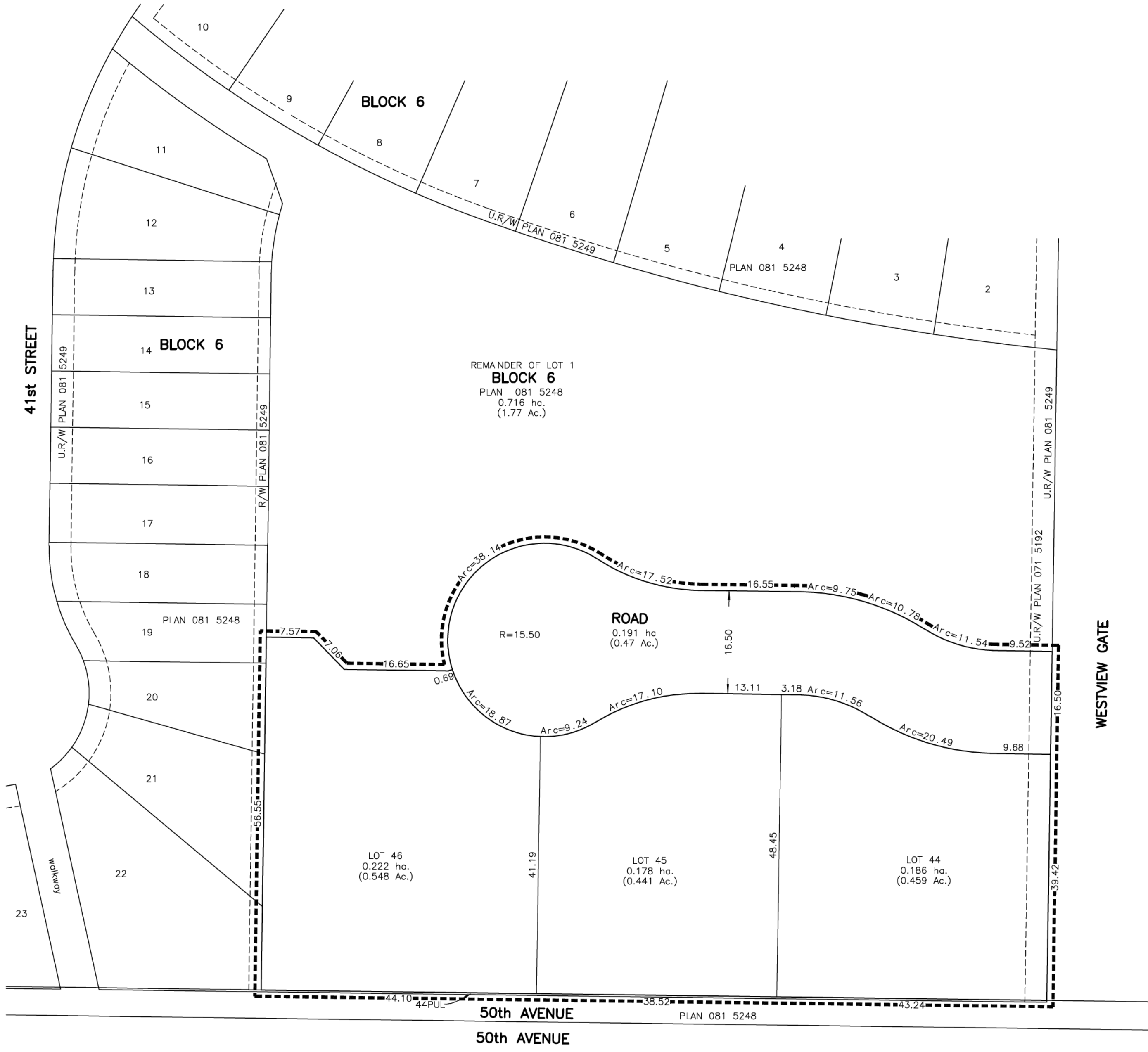
And that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application for subdivision.

Signed: [Redacted] Date: March 4, 20.
 Signed: [Redacted] Date: Mar 6-2020
 Signed: _____ Date: _____
Development Officer

To be completed by the registered owner(s):

Right of Entry:
 I, [Redacted], hereby authorize representatives of the Town of Taber to enter my land for the purpose of conducting a site inspection in connection with my application for subdivision.
 This right is granted pursuant to Section 653(2) of the *Municipal Government Act*.

Signed: [Redacted] Date: Mar 6-2020



NOTES:
 Portion to be approved is outlined thus _____
 and contains 0.774 ha.
 Distances are in metres and decimal parts thereof.

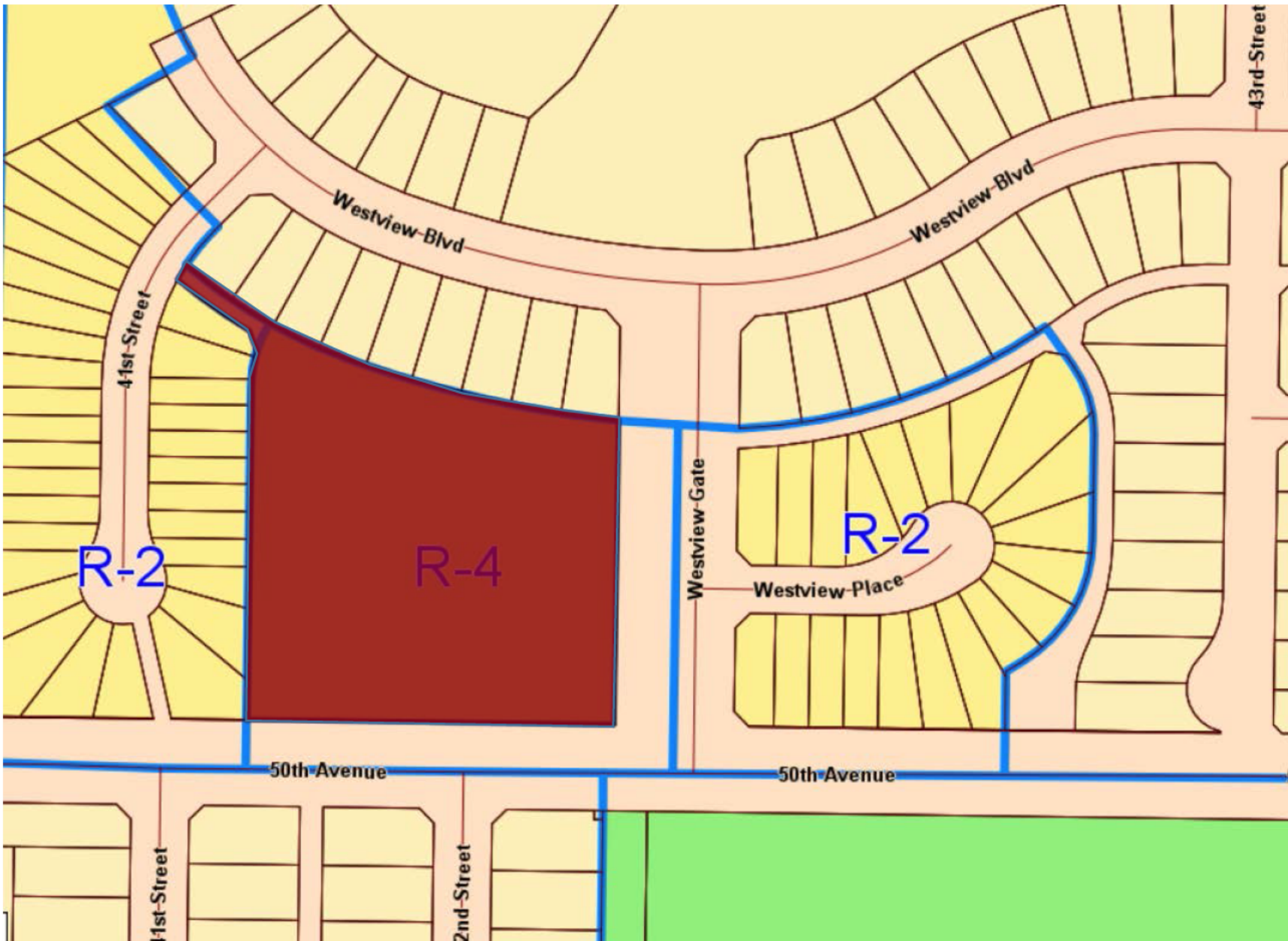
Distances and areas are approximate and are subject to change upon final survey.

NO.	REVISION	DATE	BY

TRIFORCE ENTERPRISES

TENTATIVE PLAN SHOWING SUBDIVISION
 of
LOT 1, BLOCK 6, PLAN 081 5248
 within
S.W.1/4 SEC. 6; TWP. 10; RGE. 16; W.4 M.
 Town of Taber

APPROVED	DRAWN MJ	DATE MAR 27/20
Z.J. Prosper, A.L.S.	CHECKED ZJP	JOB 20-14797
	DESIGN	SHEET
	TRACED	DRAWING
	SCALE 1:500	20-14797IB
		ISSUE



Land Use District Map for Proposed Subdivision TT 20-0-004

Subject property is shown in red.

**SUBDIVISION APPROVING AUTHORITY
DECISION REPORT**

Subject: TENTATIVE PLAN OF SUBDIVISION – 5030 Westview Gate

Date: April 14, 2020

Subdivision Application No: TT 20-0-004

Proposed Subdivision Summary:

Applicant	[REDACTED]
Owner/Developer	[REDACTED]
Legal Description	Lot 1, Block 6, Plan 081 5248
Location	5030 Westview Gate
Subdivision Area	0.774 ha (1.91 ac)
Proposed Lots	3 Residential Medium Density (R-4) Lots
MDP Designation	Taber Town Plan Bylaw 7-2016
Community ASP	NW Area Structure Plan
Neighbourhood Structure Plan (NSP)	None.
LUB District	Residential Medium Density (R-4) District Land Use Bylaw 14-2016 as amended by Council from time to time.
Existing Uses	Vacant.

Internal / External Circulation:

Circulation was sent out on March 23, 2020, with a revised Plan of Subdivision circulated on March 27, 2020, all relevant comments are addressed within the Planning Considerations and Conditions of approval. All circulation comments are on file for review as required.

Planning Considerations:

Topography/Soil Characteristics/ Physical Characteristics	The subject lands are mainly flat as the site is within a developed residential area.
Storm Water & Collection	Storm water services are located in the street along Westview Gate. Engineering drawings reflecting design to tie into the municipal services will need to be submitted for approval prior to development.
Water Supply, Sewage Disposal and Solid Waste Disposal	Services are located in the street along Westview Gate. Engineering drawings reflecting design to tie into the municipal services will need to be submitted for approval prior to development.
Subdivision Design - Roads, Accessibility, & Circulation	The plan of subdivision is intended to create a total of four lots and a road to provide access to all four lots from Westview Gate. Detailed design drawings for construction of the roadway and bulb will need to be submitted for approval and a Servicing Agreement will need to be entered into. Securities will be provided as part of this process.
Open Space / Parks	N/A
Reserves	Municipal Reserve was collected as a part of the larger subdivision application that took place for Westview Estates initially.
Land Use Bylaw	R-4 - 2 Lots Area of Site: Minimum Standard required: N/A Minimum Standard provided: 4410.0 m² Width of Site: Minimum Standard required: N/A Minimum Standard provided: 38.52 m

Recommendation:

That the subdivision application by the Town of Taber be **APPROVED** with the following conditions:

<i>Prior to entering into a Servicing Agreement</i>	<ol style="list-style-type: none"> 1. That approval shall apply to a residential subdivision plan within SW ¼ of Sec. 6, Twp. 10, Rng. 16, W4M. 2. On site stormwater retention and low impact development considerations should be utilized in development, to the satisfaction of the Development Authority.
<i>Prior to construction commencing</i>	<ol style="list-style-type: none"> 3. The developer shall enter into a Servicing Agreement with the Town of Taber to provide independent services to each newly developed lot, including the construction of a road with design standards to the satisfaction of the Development Authority. Securities will be required as part of this process. 4. The Developer shall be responsible for keeping the development area in a neat and tidy fashion, particularly, as it pertains to blowing debris and weeds during development of the subdivision. 5. Easements and/or rights of way shall be registered against the land for the provision of storm, drainage, gas, power, and other utilities as required by the utility provider. 6. A 3.5 meter utility right-of-way shall be registered along the entire frontage of the newly constructed road to the benefit of ATCO Gas if required. 7. Any utility, road or driveway crossings, excavation work, or surface treatments to cross the Taber Irrigation District easement shall be approved by Taber Irrigation District through an Easement Agreement. 8. Development Permits will be required for any new development on the lots. Approval of this subdivision does not constitute approval of any future development permit application.
<i>Prior to plan endorsement</i>	<ol style="list-style-type: none"> 9. That pursuant to Section 654(1)(d) of the Municipal Government Act, there is a current balance of outstanding property taxes that must be paid to the Town of Taber prior to endorsement. 10. Compliance is to be maintained with existing policy documents including but not limited to Land Use Bylaw 14-2016, to the satisfaction of the Development Authority. 11. A Shared Parking/Access Agreement is to be registered on Title to the satisfaction of the Development Authority. 12. The subdivision plan shall be registered in a manner satisfactory to the Land Titles Office.

Notations

1. This approval is subject to all relevant environmental legislation and the Alberta Environmental Protection and Enhancement Act.
2. It is the developer's responsibility to ensure that boundary grades tie in with adjacent properties.
3. It is the developer's responsibility to determine whether the use approved by this tentative plan of subdivision is achievable or whether such use may be constrained or precluded by site conditions, including constraints on use resulting from environmental conditions or legislation or both.

Author: Kattie Schlamp

Departmental Review:

Subdivision Approving Authority

Approval Date



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0033 615 981 0815248;6;1 081 437 453 +73

LEGAL DESCRIPTION
PLAN 0815248
BLOCK 6
LOT 1
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 1.49 HECTARES (3.68 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 4;16;10;6;SW

MUNICIPALITY: TOWN OF TABER

REFERENCE NUMBER: 071 528 980 +36

REGISTERED OWNER(S)					
REGISTRATION	DATE (DMY)	DOCUMENT	TYPE	VALUE	CONSIDERATION
081 437 453	24/11/2008	SUBDIVISION	PLAN		

OWNERS

[REDACTED]
[REDACTED]
LETHBRIDGE
ALBERTA T1J 0N4

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION	DATE (D/M/Y)	PARTICULARS
8025LI .	16/10/1972	IRRIGATION ORDER/NOTICE THIS PROPERTY IS INCLUDED IN THE TABER IRRIGATION DISTRICT
841 076 851	03/05/1984	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED.
991 166 135	15/06/1999	CAVEAT

(CONTINUED)

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

RE : RIGHT OF WAY AGREEMENT
 CAVEATOR - THE TOWN OF TABER.
 KEN D. MUNDY
 4900 "A" 50 STREET
 TABER
 ALBERTA T1G1T1

071 528 986 25/10/2007 UTILITY RIGHT OF WAY
 GRANTEE - THE TABER IRRIGATION DISTRICT.
 AS TO PORTION OR PLAN:0715192

081 437 455 24/11/2008 CAVEAT
 RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL
 GOVERNMENT ACT
 CAVEATOR - THE TOWN OF TABER.
 4900A-50 STREET
 TABER
 ALBERTA

081 437 458 24/11/2008 UTILITY RIGHT OF WAY
 GRANTEE - THE TOWN OF TABER.
 AS TO PORTION OR PLAN:0815249

TOTAL INSTRUMENTS: 006

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
 ACCURATE REPRODUCTION OF THE CERTIFICATE OF
 TITLE REPRESENTED HEREIN THIS 20 DAY OF MARCH,
 2020 AT 10:23 A.M.

ORDER NUMBER: 39050579

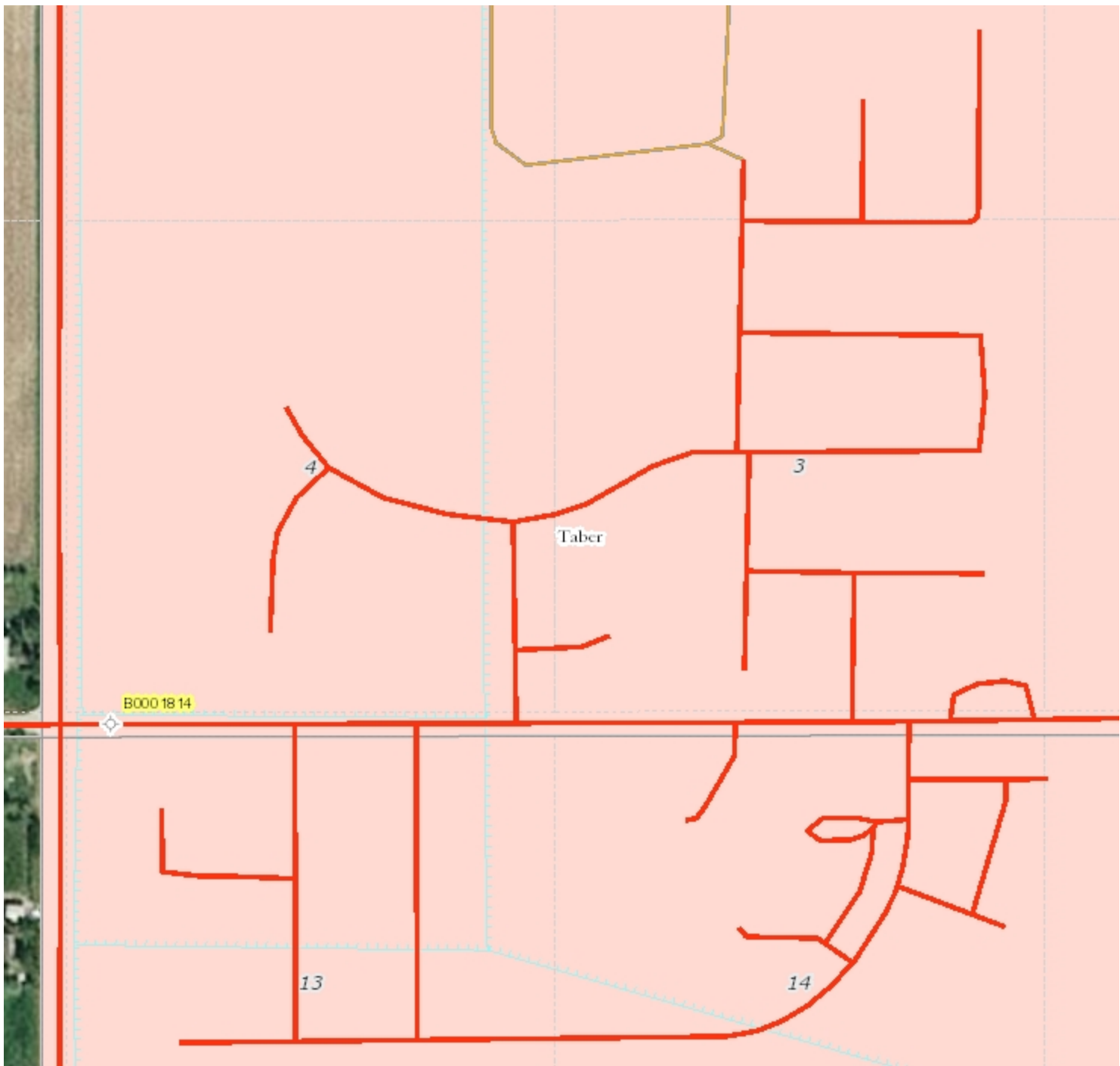
CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
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Abandoned Well Map

Base Data provided by: Government of Alberta

Author ZJP

Printing Date 3/20/2020

Date Date (if applicable)

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Scale 7,254.19

0.11 Kilometers 0

Projection and Datum

WGS84 Web Mercator Auxiliary Sphere



Legend

- ◇ Abandoned Well (Large Scale)
- Revised Well Location (Large Scale)
- Revised Location Pointer
- Road Paved
- Road Gravel
- Road Other
 - Driveway
 - - Winter Road or Truck Trail
 - Unimproved or Unclassified Road
- Rail Line
 - Rail Line



Development Authority Request for Decision

Meeting Date: April 20, 2020

Subject:

Building Permit Statistics March 2020

Recommendation:

That the Municipal Planning Commission accepts the March 2020 Building Permit Statistics as Information.

Background:

Building Permit Statistics for the month of March 2020 have been compiled and attached.

Legislation / Authority:

Bylaw 1-356(14)(j)

Strategic Plan Alignment:

N/A

Financial Implication:

N/A

Service Level / Staff Resource Implication:

The compiling of building permit statistics is a requirement of the Planning and Economic Development Department.

Justification:

The statistical records are an important tool for monitoring building activity within the Town of Taber.

Alternative(s):

Alternative #1: That the Municipal Planning Commission does not accept the Building Permit Statistics for the month of March 2020 as information.

Attachment(s): Building Permit Statistics - March 2020



APPROVALS:

Originated By:
Rob Janzen

Chief Administrative Officer (CAO) or Designate: _____

P. Mank



TOWN OF TABER
BUILDING PERMIT STATISTICS
 Mar-20

	Mar-20			Mar-19		
	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value
SINGLE FAMILY DWELLINGS	1		330,000	1	1	216,000
2 FAMILY DWELLING						
SEMI DETACHED DWELLING						
MULTI FAMILY DWELLING						
RESIDENTIAL ADDITIONS & ACCESS.				2		23,500
GARAGES & CARPORTS	2		50,000	1		15,000
MANUFACTURED HOMES						
SWIMMING POOLS						
FARM & AGRICULTURE BUILDINGS						
NEW COMMERCIAL						
COMMERCIAL ADDITIONS/ALTER	1		74,000	1		50,000
NEW INDUSTRIAL						
INDUSTRIAL ADDITIONS/ALTER	1		8,000			
NEW INSTITUTIONAL						
INSTITUTIONAL ADDITIONS/ALTER	1		29,000			
MOBILE HOME PARK						
DEMOLITIONS						
OCCUPANCY/INSPECTION ONLY						
PERMANENT SIGNS	1		11,500			
	7	0	502,500	5	1	304,500

	2020 YEAR TO DATE (Mar 2020)			2019 YEAR TO DATE (03 2019)		
	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value
SINGLE FAMILY DWELLINGS	3	3	580,000	2	2	491,000
2 FAMILY DWELLING						
SEMI DETACHED DWELLING						
MULTI FAMILY DWELLING						
RESIDENTIAL ADDITIONS & ACCESS.	4	0	29,000	4		57,500
GARAGES & CARPORTS	2		50,000	4		110,000
MANUFACTURED HOMES						
SWIMMING POOLS						
FARM & AGRICULTURE BUILDINGS						
NEW COMMERCIAL						
COMMERCIAL ADDITIONS/ALTER	7		517,500	1		50,000
NEW INDUSTRIAL	1		1,200,000			
INDUSTRIAL ADDITIONS/ALTER	1		8,000			
NEW INSTITUTIONAL						
INSTITUTIONAL ADDITIONS/ALTER	3		502,000	1		299,975
MOBILE HOME PARK						
DEMOLITIONS	1		1,500			
OCCUPANCY/INSPECTION ONLY	1		3,500			
PERMANENT SIGNS	1		11,500			
	24	3	2,903,000	12	2	1,008,475

September 2019		Month End Approved Permits - Construction Values							
Permit #	Issued Date	Classification	Description	Status	Roll #	Owner	Contractor	Address	Construction Cost
0017 20	2020-03-11	COM	Commercial Additions/Alterations	APPROVED			VHL Construction	4722 51 Street	74,000.00
0018 20	2020-03-11	COM	Institutional Additions/Alterations	APPROVED		Town of Taber	Inphase Electric	NW1/4 1-10-17-4	29,000.00
0019 20	2020-03-04	IND	Industrial Additionas/Alterations	APPROVED		Town of Taber	Town of Taber	5100 40 Ave	8,000.00
0021 20	2020-03-18	RES	Garages and Carports	APPROVED			Owner	5306 55 Street	20,000.00
0022 20	2020-03-16	RES	Garages and Carports	APPROVED			Newcastle Home Inc.	4837 51 Ave	30,000.00
0023 20	2020-03-18	COM	Permanent Signs	APPROVED			Bridge Bud Supply	5014 46 Ave	11,500.00
0024 20	2020-03-11	RES	Single Family Dwelling	APPROVED			VHL Construction	13 Fairway Village	330,000.00

502,500.00

Town of Taber Building Permits March 2020

<i>Building Permit #</i>	<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TTB B 0017 20 LT	11-Mar-20		VHL Construction	
<i>Project Site Address</i>		<i>Project Description</i>	<i>Value of Project</i>	<i>Tax Roll</i>
4722 51 Street		Commercial Additions/Alterations	\$74,000.00	0

<i>Building Permit #</i>	<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TTB B 0018 20 LT	11-Mar-20	Town of Taber	Inphase Electric	
<i>Project Site Address</i>		<i>Project Description</i>	<i>Value of Project</i>	<i>Tax Roll</i>
NW1/4 1-10-17-4		Institutional Additions/Alterations	\$29,000.00	0

<i>Building Permit #</i>	<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TTB B 0019 20 LT	04-Mar-20	Town of Taber	Town of Taber	
<i>Project Site Address</i>		<i>Project Description</i>	<i>Value of Project</i>	<i>Tax Roll</i>
5100 40 Ave		Industrial Additionas/Alterations	\$8,000.00	0

<i>Building Permit #</i>	<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TTB B 0021 20 LT	18-Mar-20		Owner	
<i>Project Site Address</i>		<i>Project Description</i>	<i>Value of Project</i>	<i>Tax Roll</i>
5306 55 Street		Garages and Carports	\$20,000.00	0

<i>Building Permit #</i>	<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TTB B 0022 20 LT	16-Mar-20		Newcastle Home Inc.	
<i>Project Site Address</i>		<i>Project Description</i>	<i>Value of Project</i>	<i>Tax Roll</i>
4837 51 Ave		Garages and Carports	\$30,000.00	0

<i>Building Permit #</i>	<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TTB B 0023 20 LT	18-Mar-20		Bridge Bud Supply	
<i>Project Site Address</i>		<i>Project Description</i>	<i>Value of Project</i>	<i>Tax Roll</i>
5014 46 Ave		Permanent Signs	\$11,500.00	0

<i>Building Permit #</i>	<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TTB B 0024 20 LT	11-Mar-20		VHL Construction	
<i>Project Site Address</i>		<i>Project Description</i>	<i>Value of Project</i>	<i>Tax Roll</i>
13 Fairway Village		Single Family Dwelling	\$330,000.00	0

March 2020 Year to Date Approved Permits - Construction Values

Permit #	Issued Date	Classification	Description	Status	Roll #	Owner	Contractor	Address	Construction Cost
0063 19	2020-01-08	INST	Institutional Additions/Alterations	APPROVED	4844010		Nitro Construction Ltd.	4326 50 Ave	400,000.00
0068 19	2020-01-15	RES	Single Family Dwelling	APPROVED	5748345		Horizon Contractors Inc.	4835 57 Ave	90,000.00
0031 19	2020-01-22	RES	Residential Additions & Accessory Uses	APPROVED	6146830		DW Constructions	4653 Majestic Ave	5,000.00
0001 20	2020-01-08	IND	New Industrial	APPROVED	6961020		GWC Management Services	6110 69 Ave	1,200,000.00
0002 20	2020-01-14	INST	Institutional Additions/Alterations	APPROVED	4952010		Pahl Fire Protection Ltd.	5203 49 Ave	73,000.00
0004 20	2020-01-22	RES	Single Family Dwelling	APPROVED	5449020			4926 55 Ave	160,000.00
0005 20	2020-01-22	COM	Commercial Additions/Alterations	APPROVED	6054120		1st Technical Systems	6008 55 St	9,000.00
0006 20	2020-01-30	RES	Residential Additions & Accessory Uses	APPROVED	5847320		VHL Construction	5833 47 St	5,000.00
0008 20	2020-01-30	COM	Commercial Additions/Alterations	APPROVED	4854060		Done Right Electric Ltd.	5431 48 Ave	7,500.00
0009 20	2020-01-30	COM	Commercial Additions/Alterations	APPROVED	4465050		Done Right Electric Ltd.	#14, 6200 - 46 Ave	7,500.00
0010 20	2020-02-05	COM	Commercial Additions/Alterations	APPROVED	4555050			5508 46 AVE	500.00
0011 20	2020-02-05	RES	Demolitions	APPROVED	4150230			5061 41 AVE	1,500.00
0012 20	2020-02-05	RES	Residential Additions & Accessory Uses	APPROVED	4150230			5061 41 AVE	9,000.00
0013 20	2020-02-12	RES	Residential Additions & Accessory Uses	APPROVED	5343100			4416 53 AVE	10,000.00
0014 20	2020-02-19	COM	Occupancy/Inspection Only	APPROVED	4853380			5301 48 AVE	3,500.00
0015 20	2020-02-19	COM	Commercial Additions/Alterations	APPROVED	4853270		VHL CONSTRUCTION	5321 48 AVE	20,000.00
0016 20	2020-02-26	COM	Commercial Additions/Alterations	APPROVED	4650021		WARD BROS. CONSTRUCTION	5002 47 AVE	399,000.00
0017 20	2020-03-11	COM	Commercial Additions/Alterations	APPROVED			VHL Construction	4722 51 Street	74,000.00
0018 20	2020-03-11	COM	Institutional Additions/Alterations	APPROVED		Town of Taber	Inphase Electric	NW1/4 1-10-17-4	29,000.00
0019 20	2020-03-04	IND	Industrial Additionas/Alterations	APPROVED		Town of Taber	Town of Taber	5100 40 Ave	8,000.00
0021 20	2020-03-18	RES	Garages and Carports	APPROVED			Owner	5306 55 Street	20,000.00
0022 20	2020-03-16	RES	Garages and Carports	APPROVED			Newcastle Home Inc.	4837 51 Ave	30,000.00
0023 20	2020-03-18	COM	Permanent Signs	APPROVED			Bridge Bud Supply	5014 46 Ave	11,500.00
0024 20	2020-03-11	RES	Single Family Dwelling	APPROVED			VHL Construction	13 Fairway Village	330,000.00

2,903,000.00



Development Authority Request for Decision

Meeting Date: April 20, 2020

Subject:
Standing Items

Recommendation:

That the Municipal Planning Commission uses the standing item opportunity to address Administration about their concerns, ask questions, and direct municipal resources.

Background:

To assist in information sharing and ensure agreement on the relative importance of activates, and to facilitate a common understanding, the Municipal Planning Commission established a standing item on the Municipal Planning Commission agenda to raise individual concerns.

Legislation / Authority:

N/A

Strategic Plan Alignment:

Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.

Financial Implication:

The financial implication will vary depending on the discussion outcomes but should consider alignment of Town facility and service provision with approved budget.

Service Level / Staff Resource Implication:

Having a regular Municipal Planning Commission discussion about service levels will improve the ability of Administration to meet expectations of Council rather than dealing with requests of individuals on an ad hoc basis.

Justification:

This will bring administration efficiencies and better alignment of services and expenditures within a budget. It will also help improve communication protocols and adherence of the municipal Government Act.

Alternative(s):

Alternatives will vary depending on discussions.



Attachment(s):

APPROVALS:

Originated By:
Rob Janzen

Chief Administrative Officer (CAO) or Designate: _____

P. Monte