



AGENDA

REGULAR MEETING OF THE DEVELOPMENT AUTHORITY OF THE TOWN OF TABER, TO BE HELD IN THE COUNCIL CHAMBERS, ADMINISTRATION BUILDING, ON APRIL 2, 2020 AT 1:00 PM.

	<u>MOTION</u>
1. CALL TO ORDER	
ITEM No.1.1 CALL TO ORDER	X
2. ADOPTION OF THE AGENDA	
ITEM No.2.1 ADOPTION OF THE AGENDA	X
5. ACTION ITEMS	
ITEM No.5.1 DP 20-016 -29 Sage Brush Avenue Semi-detached Dwelling with Secondary Suite	X
ITEM No.5.2 DP 20-015 - 25 Sage Brush Semi-detached Dwelling with Secondary Suite	X
10. CLOSE OF MEETING	
ITEM No.10.1 CLOSE OF MEETING	X



Development Authority Request for Decision

Meeting Date: April 2, 2020

Subject:

DP 20-016 - 29 Sage Brush Avenue Semi-detached Dwelling with Secondary Suite

Recommendation:

That the Municipal Planning Commission approves Development Permit DP 20-016 for a Semi-detached Dwelling with a Secondary Suite (basement) to be located at 29 Sage Brush Avenue, Lot 8, Block 4, Plan 1711317 with the following conditions:

1. The site is developed as per the attached site plan,
2. A Secondary Suite has been approved for development as per the attached site plan,
3. A variance has been granted reducing the minimum site width for a Secondary Suite from 11.0 metres to 7.59 metres,
4. A variance has been granted increasing the maximum floor area for a Secondary Suite from 70 metres squared to 89.65 metres squared,
5. The development conforms to all requirements of the Residential Single and Two Dwelling District (R-2), unless otherwise noted in this permit,
6. The applicant must obtain a Building Permit to ensure the development complies with the Alberta Fire Code and Alberta Building Code. It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits,
7. New Home Warranty documentation must be supplied prior to the issuance of the Building Permit,
8. The applicant must ensure that the contractor commissioned for the construction has a valid Business License for the Town of Taber,
9. A lot drainage (grade) plan illustrating water will not accumulate at or near the buildings (positive drainage), nor accumulate on the lot, and will not adversely affect adjacent properties shall be produced by a qualified professional and supplied to the Town of Taber prior to the Building Permit being issued. In addition, the foundation must be staked by a qualified professional,
10. The architectural controls and vertical grade points must be approved by the developer,



11. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 4-2008),
12. The water curb stop shall be set at finished grade elevation to ensure accessibility by Public Services prior to installation of water metre and access to Town water. Public Services shall determine if water curb stop is acceptable and so advise the Town office prior to occupancy of the dwelling. As per Bylaw 1-2010 5.29, temporary water service for a maximum of 60 days must be arranged through the Town Office,
13. In accordance with policy 68C08/21/00, a \$2500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets, sidewalks, or services as a result of construction of this dwelling shall be restored to Town standards at the applicant's expense prior to issuance of an occupancy permit,
14. Prior to occupancy, the shallow utilities, curb and gutter must be installed to the satisfaction of the Development Authority,
15. Prior to occupancy, the applicant will provide an Updated Real Property Report to the Town of Taber.

Background:

Town Administration has received a development permit application for a semi-detached dwelling with a secondary suite to be located at 29 Sage Brush Avenue. The application has been brought to the Municipal Planning Commission to review the following items:

1. Secondary Suite: Secondary suites are a discretionary use within the R-2 District, and as such they must be reviewed by the Municipal Planning Commission.
2. Site width variance: The minimum site width for a secondary suite is 11.0 metres. The applicant is requesting a variance of 3.41 metres to a 7.59 metre minimum site width.
3. Secondary suite floor area: The maximum floor area for a secondary suite is 70.0 square metres. The applicant has requested a variance of 19.65 square metres to a 89.65 square metre floor area maximum.

There are currently three other pairs of semi-detached dwellings with secondary suites in the area. Unlike these other 3 locations, this proposed project is not requesting a parking variance, and each lot will accommodate all 3 required stalls on-site.



Below is relevant information for 3 similar, nearby projects that were approved in 2018:

Address	Lot Width (m)	Secondary Suite Floor Areas (m ²)	Parking Variance?
17 & 21 Sage Brush Avenue	7.65	89.65	Yes
74 & 78 Sage Brush Avenue	7.30 and 8.84	75.22	Yes
58 & 62 Prairie Gold Street	11.00	70.00	Yes

Legislation / Authority:

Subdivision Authority, Development Authority, and Municipal Planning Commission Bylaw 10-2018 Section 1(8)(c) The Municipal Planning Commission shall be the Development Authority for Development Permit Applications for Permitted Uses which require a variance in excess of Ten Percent (10%) of a measurable standard established in the Land Use bylaw or any other variance for which the Municipal Planning Commission is specifically authorized to provide in the Land Use Bylaw.

Strategic Plan Alignment:

Develop Community and Promote Growth #2: Review Town policies and regulations that pertain to development.

Financial Implication:

The applicant is required to pay all appropriate application fees, including a \$500.00 Special Municipal Planning Commission meeting fee.

Service Level / Staff Resource Implication:

Administrations time was required for the review of this application.

Justification:

Approval of this application and variances would be in line with other nearby developments, while not unduly interfering with the surrounding neighbourhood. Additionally, by including all required parking, this proposal ensures that it has minimal impacts on parking, which alleviates one of the main stresses that secondary suites can have on a neighbourhood.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves the secondary suite, along with the associated site width and suite floor area variances for DP 20-016 located at 29 Sage Brush Avenue, Lot 8, Block 4, Plan 1711317, with amended conditions.

Alternative #2: That the Municipal Planning Commission does not approve the secondary suite, along with the associated site width and suite floor area variances for DP 20-016 located at 29 Sage Brush Avenue, Lot 8, Block 4, Plan 1711317, with reasons.



Attachment(s): Site Plan
 Application
 Building Plans
 Location
 Location of Nearby Suites
 LUB Excerpt - Secondray Suites

APPROVALS:

Originated By:
Rob Janzen

Chief Administrative Officer (CAO) or Designate: _____

Lot Grading and Plot Plan

LOT 7&8 BLOCK 4 PLAN 1711317
 25 & 29 SAGE BRUSH AVE, TABER



NOTES:

Top of foundation walls shall extend not less than 0.15m above finished ground level. (0.2m recommended)

Offset dimensions from property lines are shown to house foundation only. Please refer to house plans which may show additional fascia inside required setbacks.

Contractor to confirm Sanitary Sewer Invert in field at time of excavation.

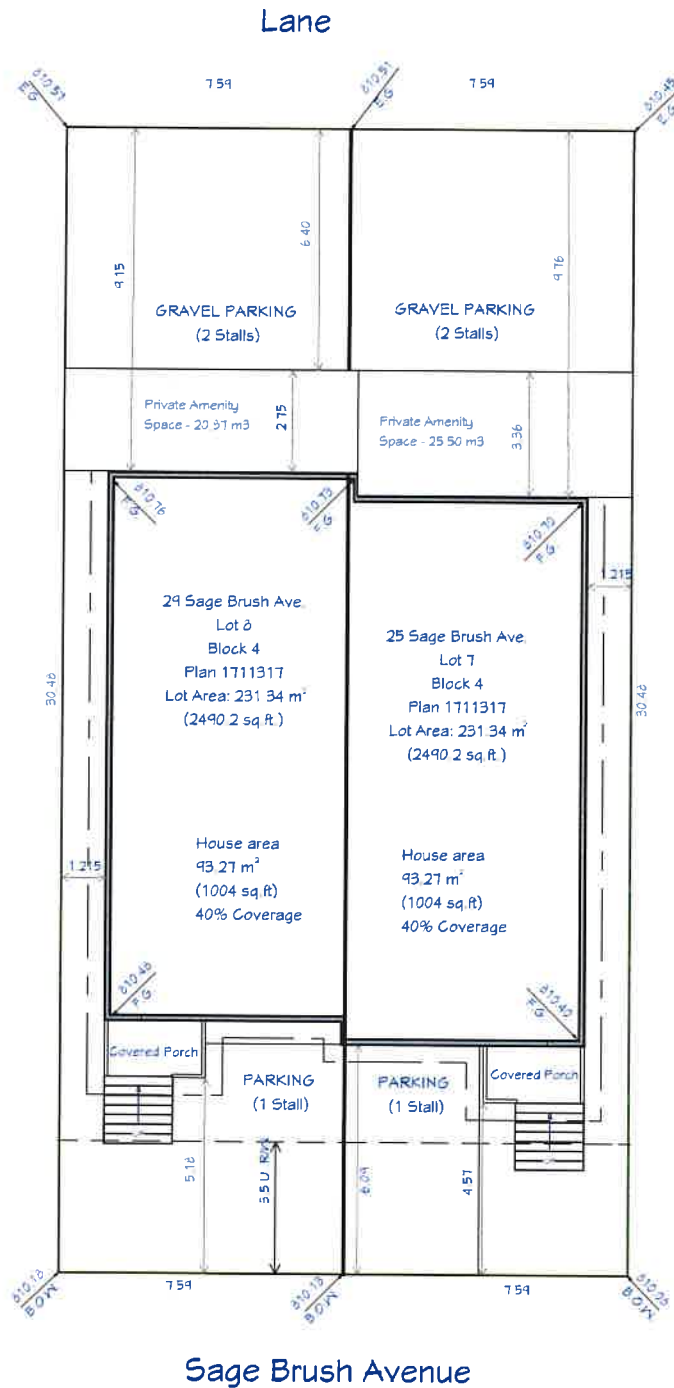
Contractor to use extreme caution to ensure footings are bearing on suitable soil. If not, the depth of concrete footings should be increased and a geotechnical engineer should inspect prior to placing concrete.

Elevations shown on Lot Lines are as per Lot Grading Plan Dimensions and are in meters and decimals thereof.

Sanitary Sewer Invert Lot 5 = 807.73
 Sanitary Sewer Invert Lot 6 = 807.73
 Top of Footing = 809.079
 Top of 5' Foundation Wall = 810.603
 Top of 6' Foundation Wall = 810.908
 Main Floor Elevation = 811.556
 Bsmt. Slab Elevation = 809.181
 Eave = 0.46m

LEGEND

E.G. ----- Existing Grade
 F.G. ----- Finished Grade
 B.O.W. ----- Back of Walk





TABER

**Application for Residential Development
Planning and Economic Development**
A-4900 50th St.
Taber, Alberta T1G 1T1
Phone: 403-223-8009
Fax: 403-223-5530

DP 20-016
Diamond Permit #:

Office Use Only			
Use: <input type="checkbox"/> Permitted <input type="checkbox"/> Discretionary <input type="checkbox"/> Prohibited		Land Use District:	Roll No:
Development Permit No:	DP Fee: \$	Off-Site Levy: \$	Security Deposit: \$
Building Permit No:	BP Fee: \$ (Minimum \$100.00)	SCC Levy: \$ (minimum \$4.50)	Total Fees: \$
Application Received:	Date Advertised:	Permit Effective:	

Development Permit – ensures the use, setbacks, and size of your project comply with the *Land Use Bylaw*.
Building Permit – ensures that your project is completed safely and is a requirement of the *Safety Codes Act*.
 It is recommended you review *Land Use Bylaw* requirements prior to submitting an application.
 Electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).
 If you are buying a garage package, please include those documents.
 During construction it is your responsibility to contact the building inspector for required inspections.
 After the building inspector has reviewed and approved your plans you can begin construction.
 At the completion of the project, you will be required to update your *Real Property Report* to verify the project has been constructed in the correct location.

Please attach the following:

- Site Plan (3 copies) New Home Warranty Documentation (if applicable)
- Building Plan (3 copies) Security Deposit (if applicable)
- Elevation/ Drainage/ plot Plan (3 copies) Architect Controls Approval

I / We hereby make application under the provisions of Land Use Bylaw No. 14-2016 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of this application.

Municipal Address:	29 Sage Brush Ave		
Legal Description of property to be developed:	Lot (Parcel): 8	Block: 4	Plan: 1711317
Applicant:	Name: Willowcrest Construction	Email: build@willowcrest.ca	
	Address: Box 4783		
	Town: Taber	Postal Code: T1G2E1	
	Phone Res:	Phone Cell: 403-315-9811	
	Business License#: WILL001		
Interest in the proposed development, if not the registered owner: <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Contractor <input type="checkbox"/> Tenant <input type="checkbox"/> Other explain:			
Registered Owner: (if different from applicant)	Name: Oak Point Inc.	Email:	
	Address: #300 515 7th St S		
	Town: Lethbridge	Postal Code: T1J 2G8	
	Phone Res:	Phone Cell: 403-795-8484	
Type of Development Proposed:			
<input checked="" type="checkbox"/> New Construction <input checked="" type="checkbox"/> Waiver <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Discretionary Use <input type="checkbox"/> Renovation <input type="checkbox"/> Moved in Building <input type="checkbox"/> Addition <input type="checkbox"/> Other explain:			

The personal information requested on this form is being collected for a development permit and is protected by the Freedom of Information and Protection of Privacy (FOIP) Act. If you have questions about the collection, contact our FOIP Coordinator at (403) 223-5500.

Lot Dimensions	Width: 7.59 m3	Depth: 30.48 m3	Area: 2490.2 m3	
Lot Coverage	By proposed build (%): 40%	Total site coverage (%): 40%	Landscaped open space (%): 60%	
Proposed setback from property lines:	Front: 3.66m	Side 1: 0m	Side 2: 1.215m Rear: 10.67m	
Additional Information:	Number of Units: 1			
	Number of Off Street Parking Spaces: 2			
	Driveway Width: 7.59m			
Adjacent to Highway:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Estimated Cost of Development:	\$200,000	
If development is temporary, state for what period:	_____			
Existing Use of Site: List existing buildings, structures and use(s) of the land and whether any are to be removed or relocated.	Vacant Land			
Proposed Use of Site: Describe in detail - attach additional information if necessary.	Semi detached duplex with secondary suite in the basement			
Services:		Existing	Proposed	N/A
Water Supply	Municipally owned and operated piped water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Other (Specify):	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sewage Disposal	Municipally owned & operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Storm Drainage	Ditches	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Swales	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Signed: Edwin ELLIY
Applicant

Date: March 11/2020

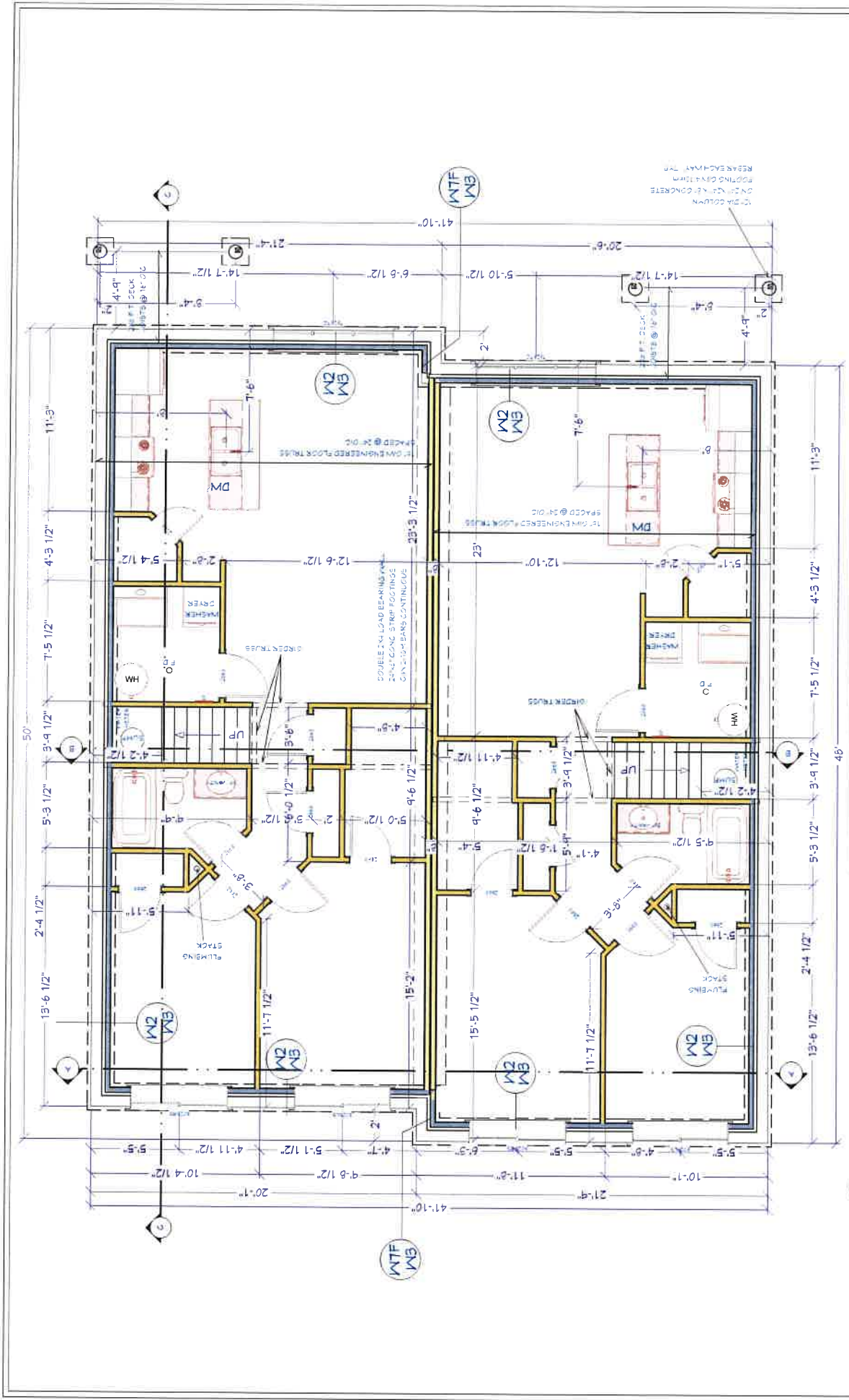
Signed: [Signature]
Registered Owner (if different than applicant)

Date: MARCH 11/2020

Signed: [Signature]
Development Officer

Date: March 18/2020

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1 BASEMENT/FOUNDATION

Willowcrest Construction
 1007 S. 48th Ave., Suite 100
 Lincoln, NE 68510
 402.491.1111

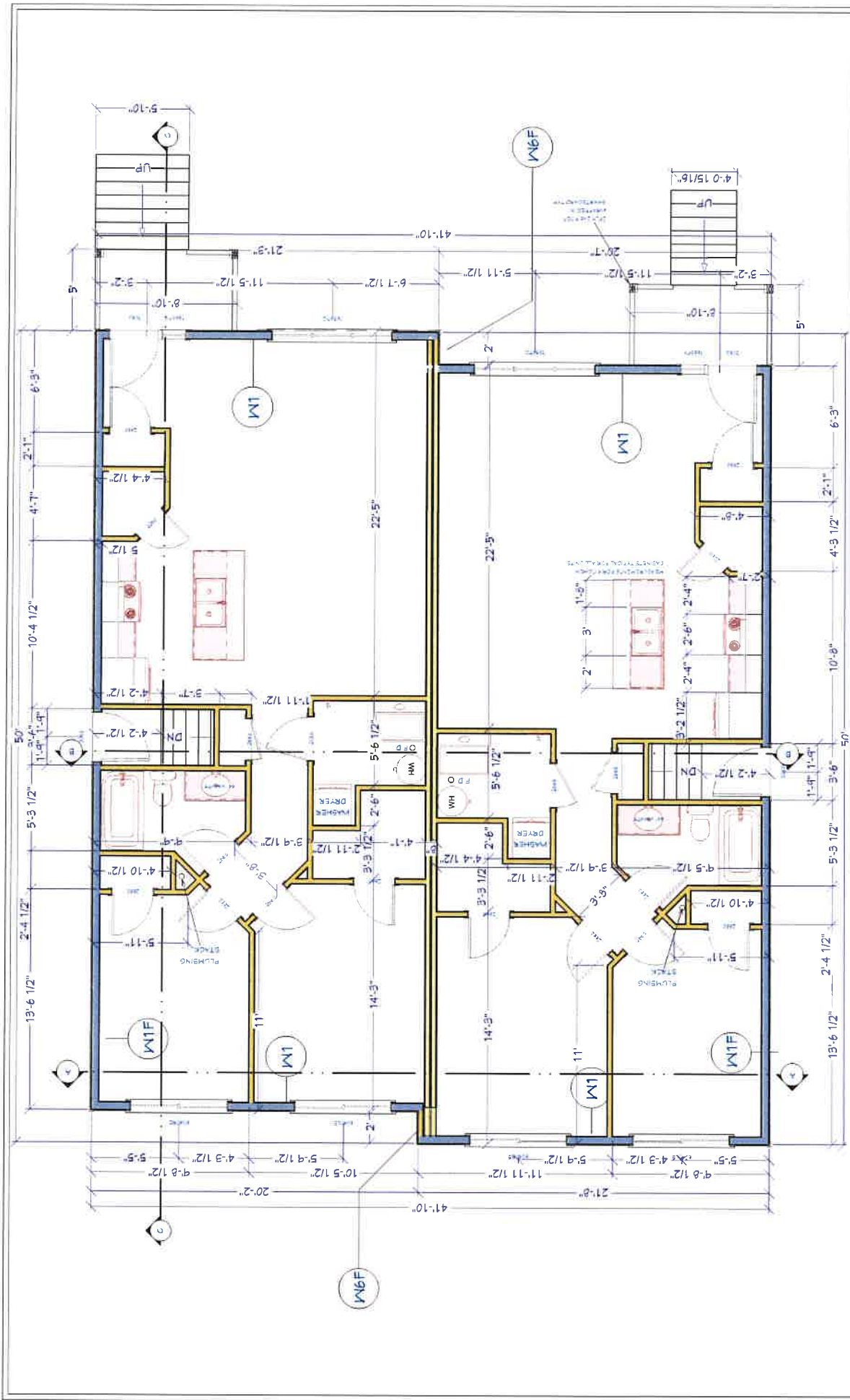
25 & 29 SAGE BRUSH AVE
 1007 S. 48th Ave., Suite 100
 Lincoln, NE 68510
 402.491.1111

BASE MULTIPROPOSITION
 1004 29th St

NO.	DESCRIPTION	REV.	DATE

SCALE: 3/16"=1'
 DATE: FEB 28, 2020

A0



1 MAIN FLOOR

A1

DATE: FEB 28, 2020

SCALE: 3/16"=1'

Willowcrest Construction

1001 SAGE BRUSH AVE
 TONGUE POINT, WA 98148
 (206) 835-9921

25 & 29 SAGE BRUSH AVE

PROJECT NO: 1001 SAGE BRUSH AVE
 DATE: 10/11/17



1 FRONT (SOUTH) ELEVATION

2 BACK (NORTH) ELEVATION

A2

DATE:
FEB 28,
2020

SCALE:
3/16" = 1'

NO.	DESCRIPTION	DATE	BY	CHK

FRONT AND BACK ELEVATIONS

25 & 29 SAGE BRUSH AVE
LOT 7, S. 8 BLKS. 4 PLAN 1711317

Willowcrest
Construction
P.O. Box 119
Tempe, AZ 85283
480-335-0811

W1 - WALL TYPE 1
 FIBRE CEMENT SIDING
 HOUSE WRAP
 3/8" OSB SHEATHING
 2x4 STUDS @ 24" O.C.
 R-12 BATT INSULATION
 6 MIL POLY VAPOUR BARRIER
 1/2" GYPSUM BOARD

W2 - WALL TYPE 2
 FIBRE CEMENT SIDING
 1/2" GYPSUM BOARD
 2x6 STUDS @ 24" O.C.
 3/8" OSB SHEATHING
 R-12 BATT INSULATION
 4 1/2" STUCCO @ 24" O.C.
 6 MIL POLY VAPOUR BARRIER
 1/2" GYPSUM BOARD

W3 - WALL TYPE 3
 FIBRE CEMENT SIDING
 8" CONCRETE FOUNDATION WALL
 4-10# BARS
 2" AIR SPACE
 2x4 STUDS @ 24" O.C.
 R-12 BATT INSULATION
 6 MIL POLY VAPOUR BARRIER
 1/2" GYPSUM BOARD

W4 - WALL TYPE 4
 FIBRE CEMENT SIDING
 1/2" GYPSUM BOARD
 2x4 STUDS @ 24" O.C.
 3/8" OSB SHEATHING
 R-12 BATT INSULATION
 4 1/2" STUCCO @ 24" O.C.
 6 MIL POLY VAPOUR BARRIER
 1/2" GYPSUM BOARD

W5 - WALL TYPE 5 FIRE RATED
 1/2" GYPSUM BOARD
 2x4 STUDS @ 24" O.C.
 R-12 BATT INSULATION
 3/4" AIR SPACE
 2x4 STUDS @ 24" O.C.
 1/2" GYPSUM BOARD

W6 - WALL TYPE 6 FIRE RATED
 5/8" TYPE X DRY WALL
 HOUSE WRAP
 3/8" OSB SHEATHING
 2x4 STUDS @ 24" O.C.
 6 MIL POLY VAPOUR BARRIER
 1/2" GYPSUM BOARD

W7 - WALL TYPE 7 FIRE RATED
 FIBRE CEMENT SIDING
 1/2" GYPSUM BOARD
 HOUSE WRAP
 3/8" OSB SHEATHING
 2x6 STUDS @ 24" O.C.
 R-12 BATT INSULATION
 4 1/2" STUCCO @ 24" O.C.
 6 MIL POLY VAPOUR BARRIER
 1/2" GYPSUM BOARD

F1 - FLOOR TYPE 1
 1 1/2" FINISH FLOOR
 1 1/2" INSULATION
 18" O.W FLOOR TRUSS @ 24" O.C.
 R-12 SOUND INSULATION
 1/2" RESILIENT CHAIRLIFT @ 24" O.C.
 1/2" DRY WALL

F2 - FLOOR TYPE 2
 1 1/2" FINISH FLOOR
 1 1/2" INSULATION
 4" CONCRETE SLAB
 6 MIL VAPOUR BARRIER
 B' COMPACTED GRAVEL

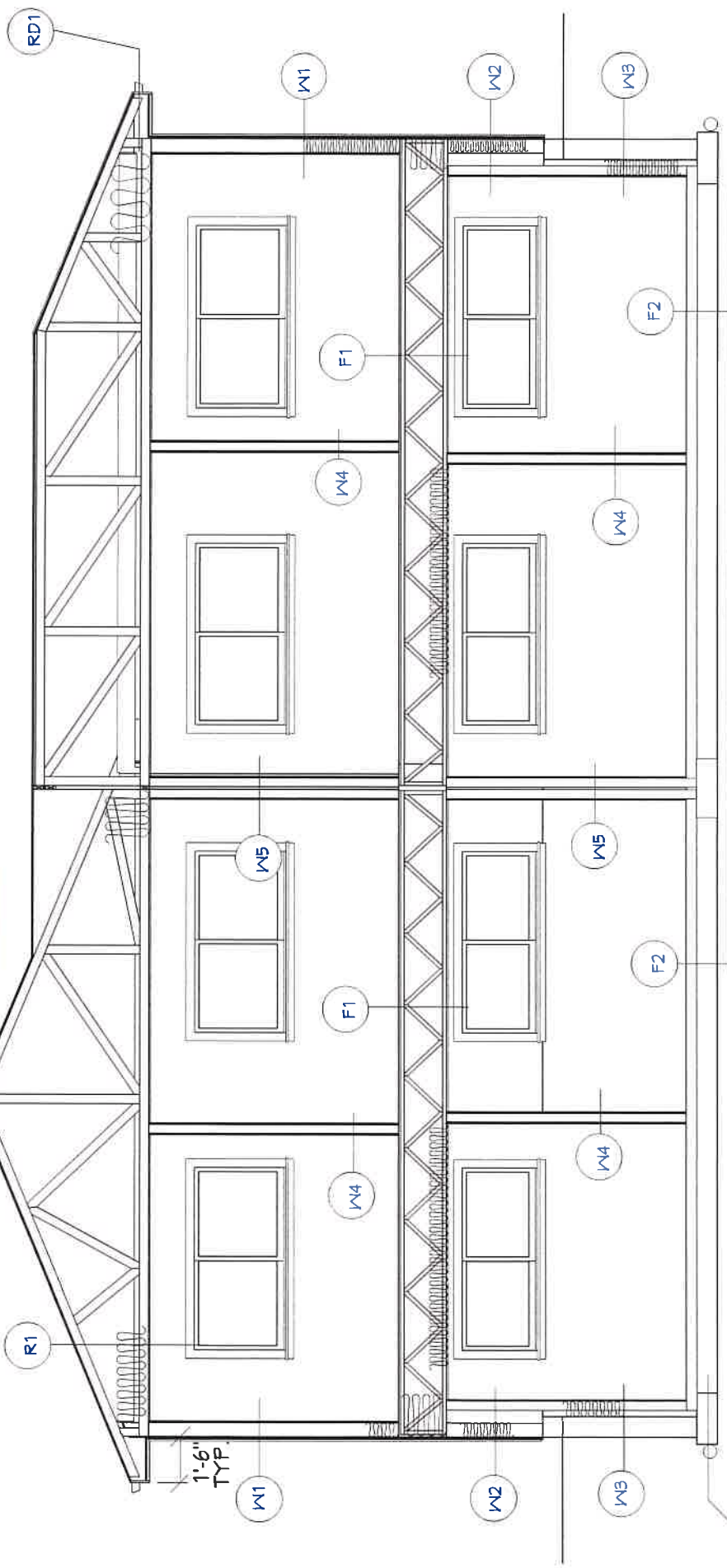
F3 - FLOOR TYPE 3
 FINISH FLOORING
 1 1/2" INSULATION
 2x6 FLOOR JOIST @ 16" O.C.

F4 - FLOOR TYPE 4
 6" PERFORATED BRICK TILE
 20" x 40" CONC. STRIP FOOTINGS
 20" x 40" CONC. STRIP FOOTINGS
 4" CONCRETE SLAB

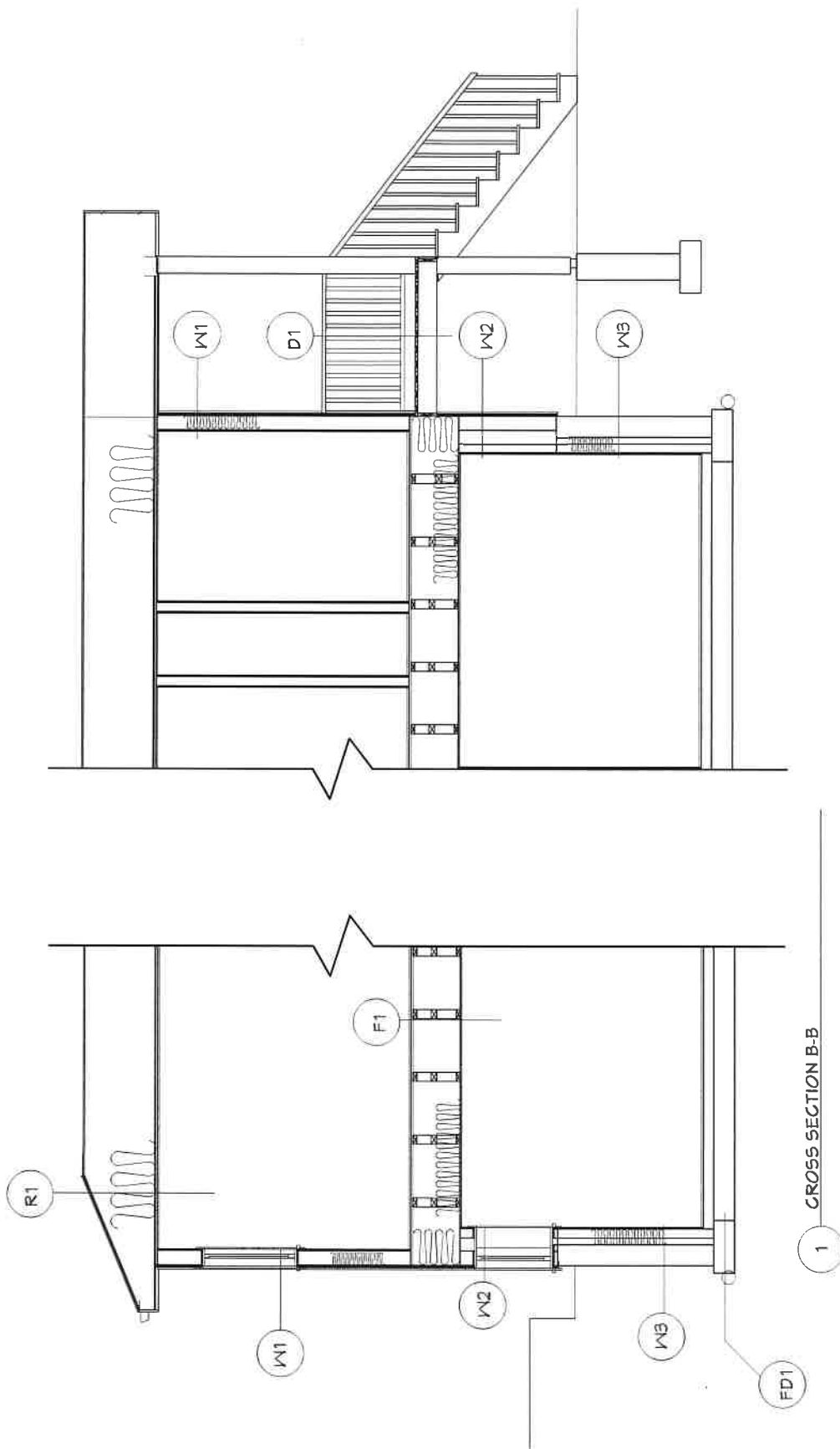
R1 - ROOF TYPE 1
 30 L.S. ASPHALT SHINGLES
 1/2" GYPSUM BOARD
 ENGINEER APFD TRUSSES @ 24" O.C.
 R-50 BLOW-IN INSULATION
 6 MIL VAPOUR BARRIER
 1/2" OSB BOARD

R2 - ROOF TYPE 2
 5" COUNTING IN EAVES
 METAL ROOF EDGE
 1/2" GYPSUM BOARD
 2x6 SUB FASCIA
 NON-VENTED SOFFIT
 INSULATION STOPS

D1 - DECK TYPE 1
 5.145 FT DECKING
 2x8 FT DECK JOISTS @ 16" O.C.



Willowcrest Construction 1001-1110011	25 & 29 SAGE BRUSH AVE <small>TOWN OF SAGE BRUSH - PLAN 1713117</small>		CURBS SOLUTIONS 4-44	SCALE: 5/16"=1' DATE: FEB 28, 2020	A4
	1001-1110011		ALL MATERIALS TO BE SUPPLIED BY THE CONTRACTOR	DATE: FEB 28, 2020	



A5

DATE: FEB 28, 2020

SCALE: 5/16" = 1'

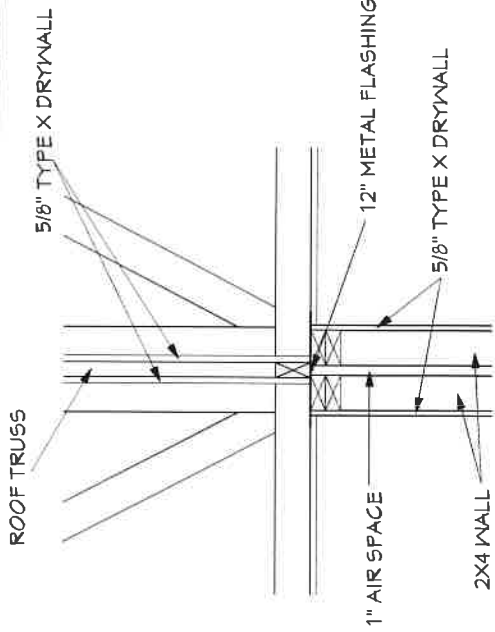
NO.	DESCRIPTION	DATE

URGENT SUBJECT: B-9

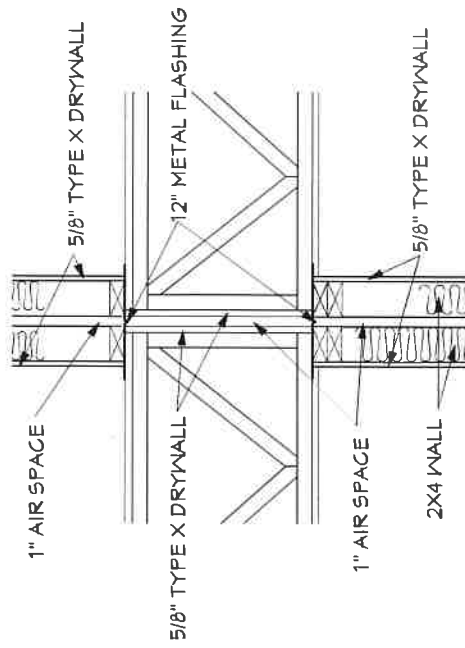
25 & 29 SAGE BRUSH AVE
 Tabor, AB
 Lot 7 & 8 of Block 4 Plan 1711517

Willowcrest
 Construction
 Box 493, 110 St
 202515-0411

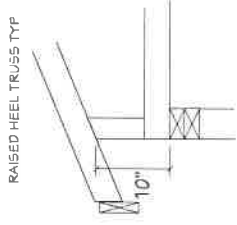
1 CROSS SECTION B-B



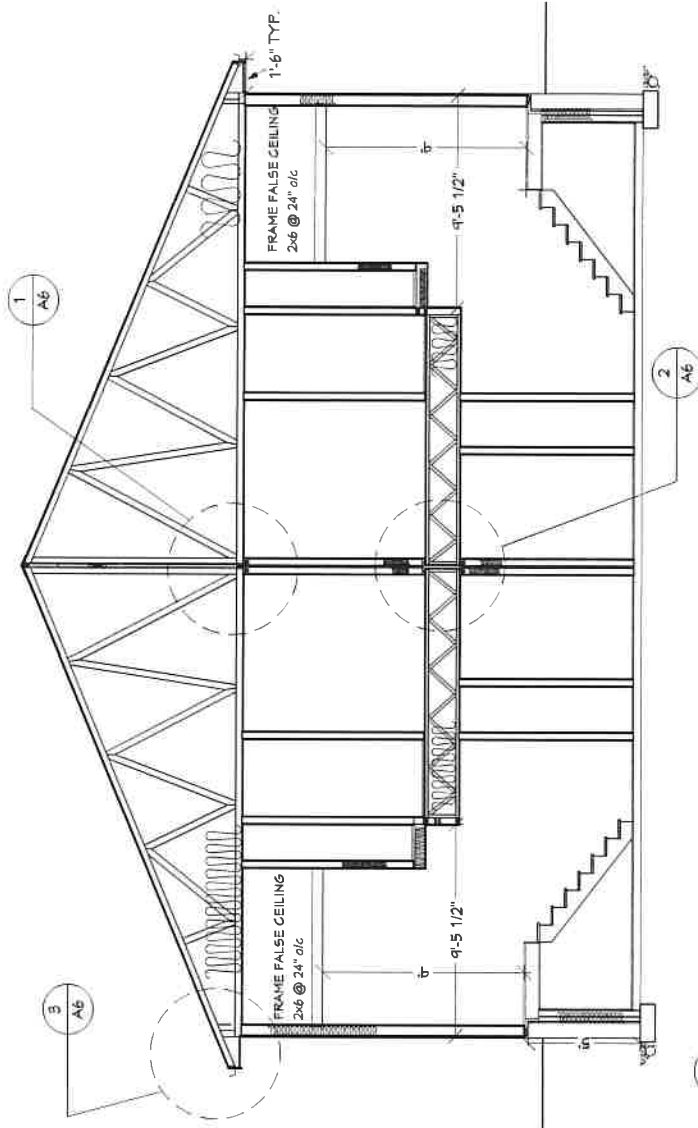
1 FIREWALL-ROOF DETAIL
1"=1"



2 FIREWALL-FLOOR DETAIL
1"=1"



3 TRUSS HEEL DETAIL
NTS



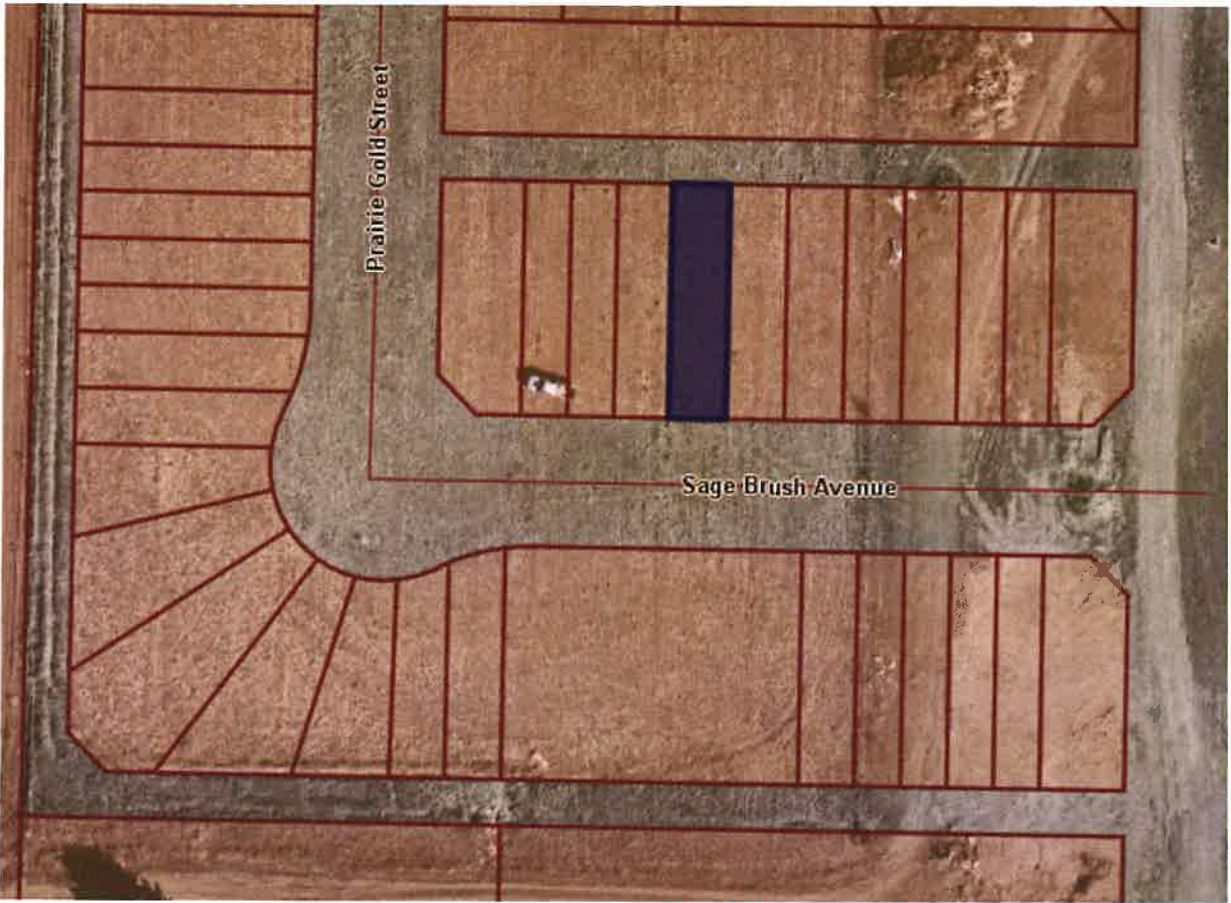
4 CROSS SECTION C-C
3/16"=1"

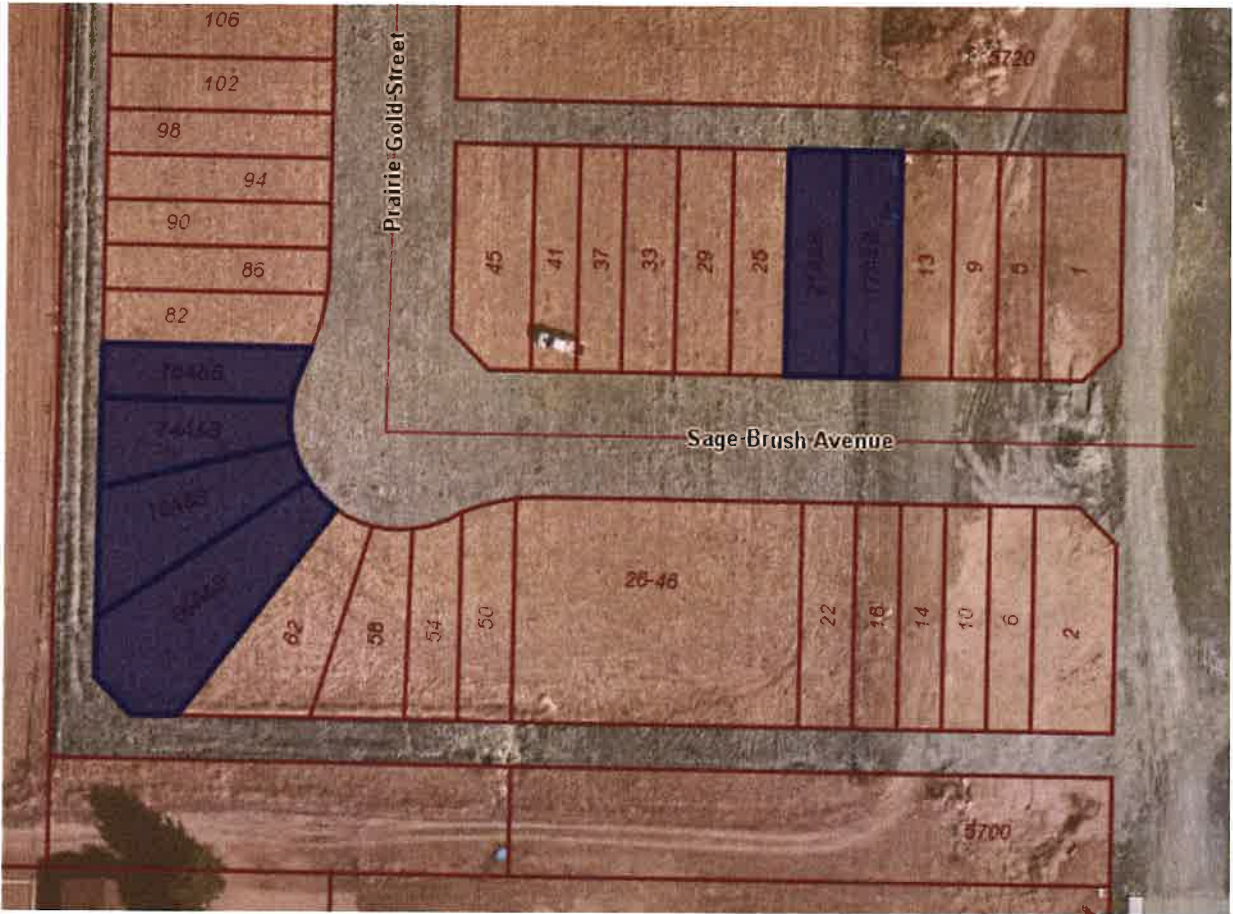
Willowcrest Construction
Tabor, AB
203-315-0831

25 & 29 SAGE BRUSH AVE
Tabor, AB
403-76-0804 + Fono 171317

DETAILS SECTION C-C

SCALE:	DATE:
	FEB 28, 2020
REV.	
1	
2	
3	
4	





3.7 SECONDARY SUITES AND BACKYARD SUITES

3.7.1 Secondary Suites and Backyard Suites (which includes Garage Suites)

- (1) The minimum parcel width for a parcel containing a Secondary Suite or a Backyard Suite is 11.0 metres.
- (2) The minimum parcel area for a parcel containing a Backyard Suite is 330.0 metres.
- (3) There must not be more than one Secondary Suite or Backyard Suite located on a parcel.
- (4) A Secondary Suite and a Backyard Suite must not be located on the same parcel.
- (5) For a Backyard Suite, the maximum building height is 7.5 metres.
- (6) For a Secondary Suite, the minimum building setback from a property line must be equal to or greater than the minimum building setback from a property line for the main residential building.
- (7) For a Backyard Suite,
 - (a) the minimum building setback from a rear property line is,
 - (i) 1.5 metres for any portion of the building used as a backyard suite;
 - (ii) 0.6 metres for any portion of the building used as a private garage;
 - (b) The minimum building setback from a side property line is 1.2 metres for any portion of the building used as a Backyard Suite.
 - (c) A minimum separation of 3.0 metres is required between the closest façade of a Backyard Suite.
- (8) The maximum floor area of a Backyard Suite, excluding any areas covered by stairways and landings, is 75.0 square metres;
- (9) The maximum floor area of a Secondary Suite is 70.0 square metres.

Amenity Space Rules

- (1) A Backyard Suite or a Secondary Suite shall have a private amenity space that:
 - (a) is located outdoors; and
 - (b) has a minimum area of 7.5 square metres with no dimension less than 1.5 metres.



Development Authority Request for Decision

Meeting Date: April 2, 2020

Subject:

DP 20-015 - 25 Sage Brush Semi-detached Dwelling with Secondary Suite

Recommendation:

That the Municipal Planning Commission approves Development Permit DP 20-015 for a Semi-detached Dwelling with a Secondary Suite (basement) to be located at 25 Sage Brush Avenue, Lot 7, Block 4, Plan 1711317 with the following conditions:

1. The site is developed as per the attached site plan,
2. A Secondary Suite has been approved for development as per the attached site plan,
3. A variance has been granted reducing the minimum site width for a Secondary Suite from 11.0 metres to 7.59 metres,
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7. New Home Warranty documentation must be supplied prior to the issuance of the Building Permit,
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9. A lot drainage (grade) plan illustrating water will not accumulate at or near the buildings (positive drainage), nor accumulate on the lot, and will not adversely affect adjacent properties shall be produced by a qualified professional and supplied to the Town of Taber prior to the Building Permit being issued. In addition, the foundation must be staked by a qualified professional,
10. The architectural controls and vertical grade points must be approved by the developer,



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13. In accordance with policy 68C08/21/00, a \$2500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets, sidewalks, or services as a result of construction of this dwelling shall be restored to Town standards at the applicant's expense prior to issuance of an occupancy permit,
14. Prior to occupancy, the shallow utilities, curb and gutter must be installed to the satisfaction of the Development Authority,
15. Prior to occupancy, the applicant will provide an Updated Real Property Report to the Town of Taber.

Background:

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1. Secondary Suite: Secondary suites are a discretionary use within the R-2 District, and as such they must be reviewed by the Municipal Planning Commission.
2. Site width variance: The minimum site width for a secondary suite is 11.0 metres. The applicant is requesting a variance of 3.41 metres to a 7.59 metre minimum site width.
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Address	Lot Width (m)	Secondary Suite Floor Areas (m2)	Parking Variance?
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74 & 78 Sage Brush Avenue	7.30 and 8.84	75.22	Yes
58 & 62 Prairie Gold Street	11.00	70.00	Yes

Legislation / Authority:

Subdivision Authority, Development Authority, and Municipal Planning Commission Bylaw 10-2018 Section 1(8)(c) The Municipal Planning Commission shall be the Development Authority for Development Permit Applications for Permitted Uses which require a variance in excess of Ten Percent (10%) of a measurable standard established in the Land Use bylaw or any other variance for which the Municipal Planning Commission is specifically authorized to provide in the Land Use Bylaw.

Strategic Plan Alignment:

Develop Community and Promote Growth #2: Review Town policies and regulations that pertain to development.

Financial Implication:

The applicant is required to pay all appropriate application fees, including a \$500.00 Special Municipal Planning Commission meeting fee.

Service Level / Staff Resource Implication:

Administrations time was required for the review of this application.

Justification:

Approval of this application and variances would be in line with other nearby developments, while not unduly interfering with the surrounding neighbourhood. Additionally, by including all required parking, this proposal ensures that it has minimal impacts on parking, which alleviates one of the main stresses that secondary suites can have on a neighbourhood.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves the secondary suite, along with the associated site width and suite floor area variances for DP 20-015 located at 25 Sage Brush Avenue, Lot 7, Block 4, Plan 1711317, with amended conditions.

Alternative #2: That the Municipal Planning Commission does not approve the secondary suite, along with the associated site width and suite floor area variances for DP 20-015 located at 25 Sage Brush Avenue, Lot 7, Block 4, Plan 1711317, with reasons.



Attachment(s): Site Plan
 Application
 Building Plans
 Location
 Location of Nearby Suites
 LUB Excerpt - Secondary Suites

APPROVALS:

Originated By:
Rob Janzen

Chief Administrative Officer (CAO) or Designate: _____

P. Moak

Lot Grading and Plot Plan

LOT 7&8 BLOCK 4 PLAN 1711317
25 & 29 SAGE BRUSH AVE, TABER



NOTES:

Top of foundation walls shall extend not less than 0.15m above finished ground level. (0.2m recommended)

Offset dimensions from property lines are shown to house foundation only. Please refer to house plans which may show additional fascia inside required setbacks.

Contractor to confirm Sanitary Sewer Invert in field at time of excavation.

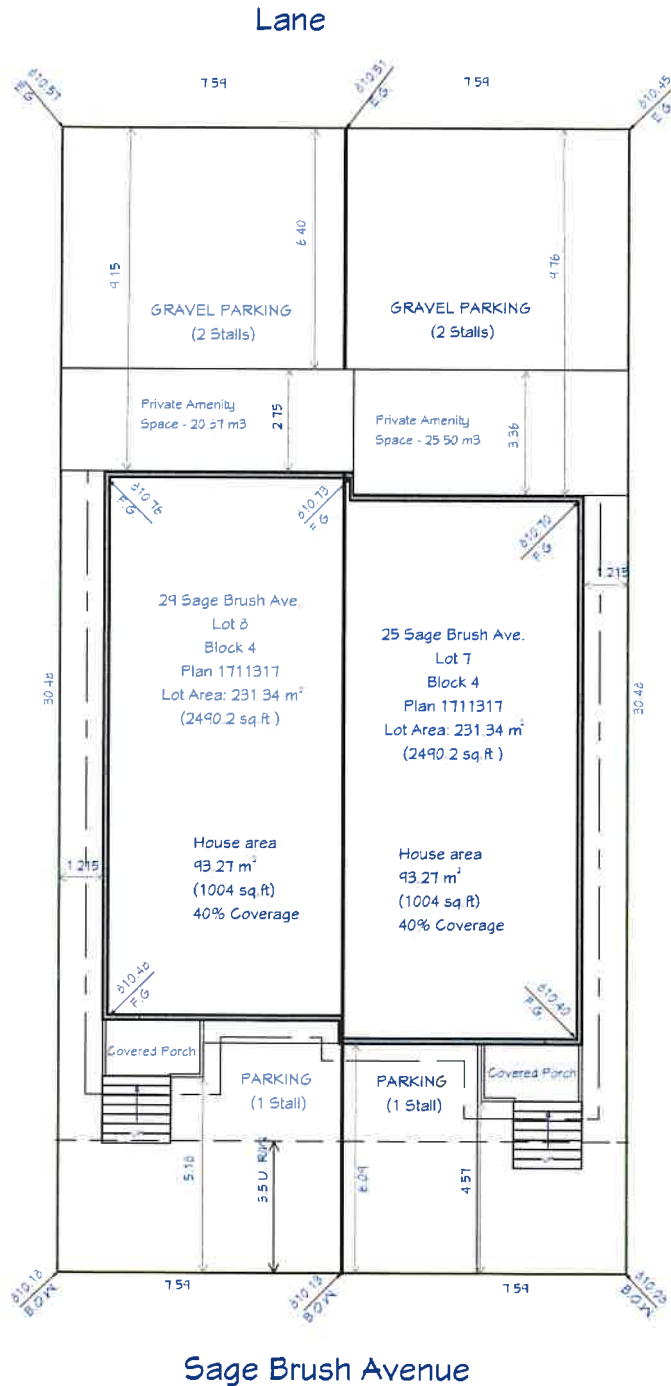
Contractor to use extreme caution to ensure footings are bearing on suitable soil. If not, the depth of concrete footings should be increased and a geotechnical engineer should inspect prior to placing concrete.

Elevations shown on Lot Lines are as per Lot Grading Plan Dimensions and are in meters and decimals thereof.

Sanitary Sewer Invert Lot 5 = 807.73
Sanitary Sewer Invert Lot 6 = 807.73
Top of Footing = 809.079
Top of 5' Foundation Wall = 810.603
Top of 6' Foundation Wall = 810.908
Main Floor Elevation = 811.556
Bsmt. Slab Elevation = 809.181
Eave = 0.46m

LEGEND

E.G. ----- Existing Grade
F.G. ----- Finished Grade
B.O.W. ----- Back of Walk





TABER

Application for Residential Development
Planning and Economic Development

A-4900 50th St
Taber, Alberta T1G 1T1
Phone:403-223-6009
Fax: 403-223-5530

DP 20-015
Diamond Permit #:

Office Use Only
Use: [] Permitted [] Discretionary [] Prohibited
Development Permit No: DP Fee: \$ Off-Site Levy: \$ Security Deposit: \$
Building Permit No: BP Fee: \$ SCC Levy: \$ Total Fees: \$
Application Received: Date Advertised: Permit Effective:

Development Permit - ensures the use, setbacks, and size of your project comply with the Land Use Bylaw.
Building Permit - ensures that your project is completed safely and is a requirement of the Safety Codes Act.
It is recommended you review Land Use Bylaw requirements prior to submitting an application.
Electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).
If you are buying a garage package, please include those documents.
During construction it is your responsibility to contact the building inspector for required inspections.
After the building inspector has reviewed and approved your plans you can begin construction.
At the completion of the project, you will be required to update your Real Property Report to verify the project has been constructed in the correct location.

Please attach the following:

- Site Plan (3 copies) [] New Home Warranty Documentation (if applicable) []
Building Plan (3 copies) [] Security Deposit (if applicable) []
Elevation/ Drainage/ plot Plan (3 copies) [] Architect Controls Approval []

I / We hereby make application under the provisions of Land Use Bylaw No. 14-2016 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of this application.
Municipal Address: 25 Sage Brush Ave
Legal Description of property to be developed: Lot (Parcel): 7 Block: 4 Plan: 1711317
Applicant: Name: Willowcrest Construction Email: build@willowcrest.ca
Address: Box 4783
Town: Taber Postal Code: T1G2E1
Phone Res: Phone Cell: 403-315-9811
Business License#: WILL001
Interest in the proposed development, if not the registered owner:
[] Agent [x] Contractor [] Tenant [] Other explain:
Registered Owner: Name: Oak Point Inc. Email:
Address: #300 515 7th St S
Town: Lethbridge Postal Code: T1J 2G8
Phone Res: Phone Cell: 403-795-8484
Type of Development Proposed:
[x] New Construction [] Waiver [] Change of Use
[x] Discretionary Use [] Renovation [] Moved in Building
[] Addition [] Other explain:

The personal information requested on this form is being collected for a development permit and is protected by the Freedom of Information and Protection of Privacy (FOIP) Act. If you have questions about the collection, contact our FOIP Coordinator at (403) 223-5500.

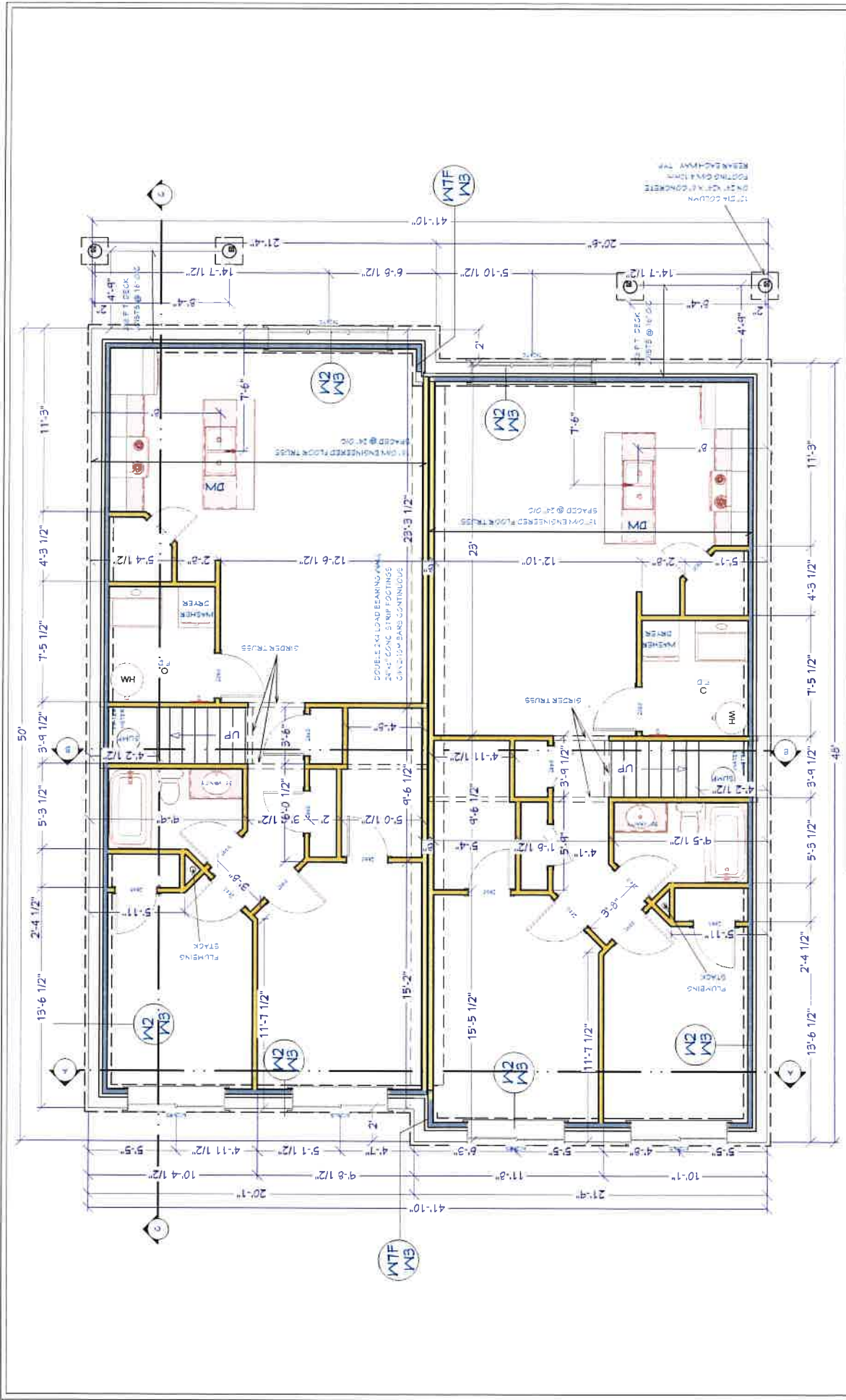
Lot Dimensions	Width: 7.59 m3	Depth: 30.48 m3	Area: 2490.2 m3	
Lot Coverage	By proposed build (%): 40%	Total site coverage (%): 40%	Landscaped open space (%): 60%	
Proposed setback from property lines:	Front: 4.27m	Side 1: 1.215m	Side 2: 0m Rear: 10.06m	
Additional Information:	Number of Units: 1			
	Number of Off Street Parking Spaces: 2			
	Driveway Width: 7.59m			
Adjacent to Highway:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Estimated Cost of Development:	\$200,000	
If development is temporary, state for what period:	_____			
Existing Use of Site: List existing buildings, structures and use(s) of the land and whether any are to be removed or relocated.	Vacant land			
Proposed Use of Site: Describe in detail - attach additional information if necessary.	Semi detached duplex with secondary suite in the basement			
Services:		Existing	Proposed	N/A
Water Supply	Municipally owned and operated piped water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Other (Specify):	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sewage Disposal	Municipally owned & operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Storm Drainage	Ditches	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Swales	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Signed: Edwyn Elgin Date: March 11/2020
Applicant

Signed: [Signature] Date: MARCH 11/2020.
Registered Owner (if different than applicant)

Signed: [Signature] Date: March 17/2020
Development Officer

The personal information requested on this form is being collected for a development permit and is protected by the Freedom of Information and Protection of Privacy (FOIP) Act. If you have questions about the collection, contact our FOIP Coordinator at (403) 223-5500.



1

BASEMENT FOUNDATION

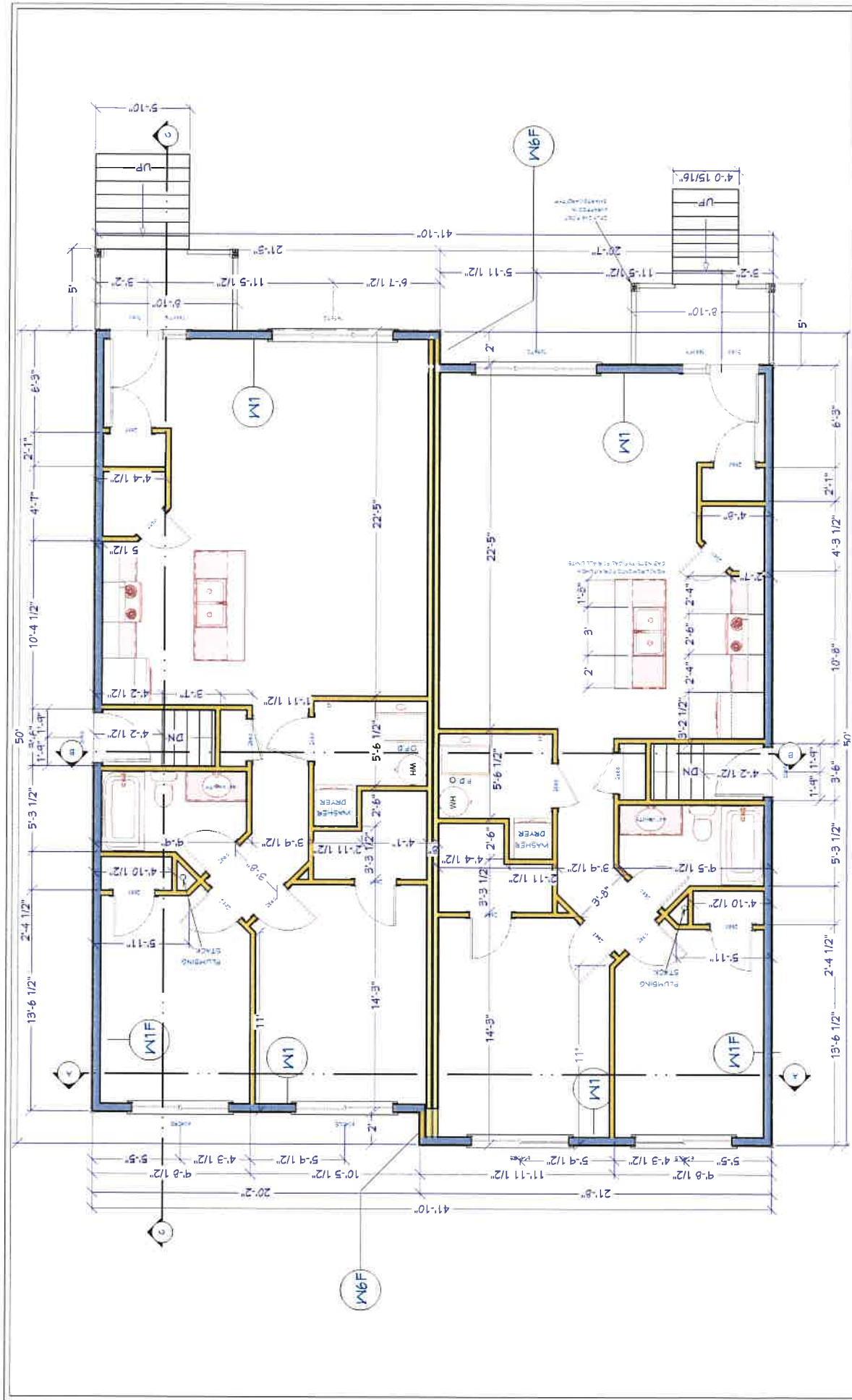
Willowcrest Construction
 10776 130th Ave. N.E.
 Shoreline, WA 98148-3633

25 & 29 SAGE BRUSH AVE
 TOWER 2B
 10776 130th Ave. N.E. #1113177

BASEMENT FOUNDATION
 TOWER 2B UNIT 2017

SCALE: 3/16"=1'
DATE: FEB 28, 2020

A0



1 MAIN FLOOR	Willowcrest Construction 25 & 29 SAGE BRUSH AVE TOLSON, MO 64684-4846 271.1317 FAX: 271.132.213 202515-0011	25 & 29 SAGE BRUSH AVE MAIN FLOOR LOOK SOUTH SIDE	SCALE: 3/16"=1' DATE: FEB 28, 2020	A1
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1 FRONT (SOUTH) ELEVATION

2 BACK (NORTH) ELEVATION

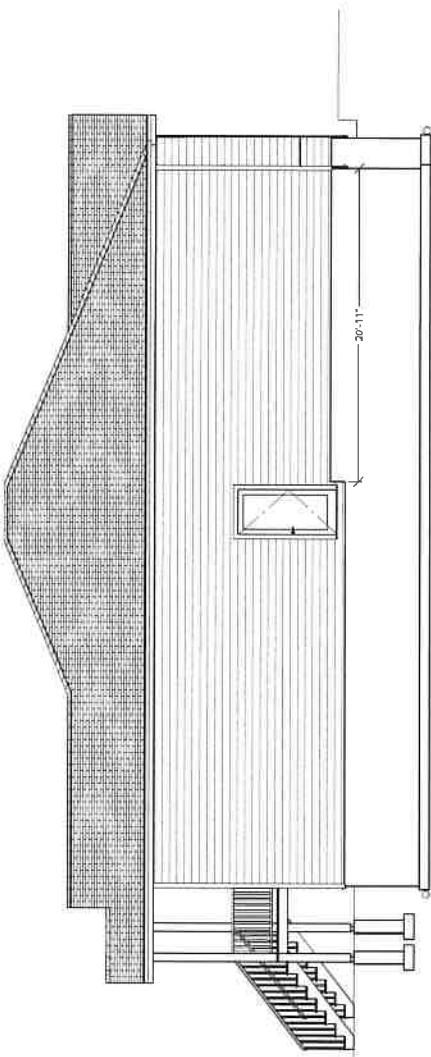
A2

DATE:	FEB 28, 2020
SCALE:	3/16" = 1'
REVISION	DATE

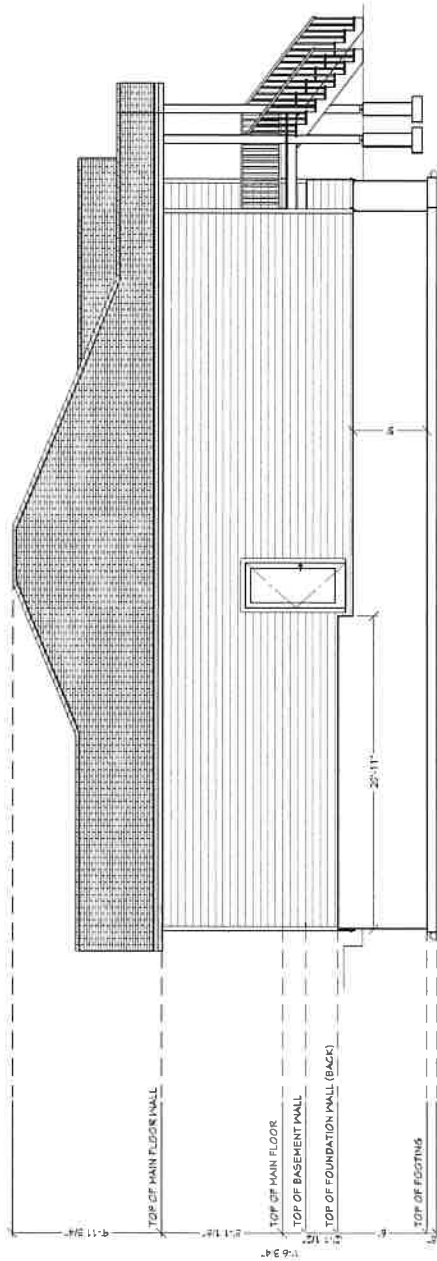
PROJECT AND BACK ELEVATIONS

25 & 29 SAGE BRUSH AVE
 WILLOWCREST, MO 63115
 PROJECT # 1711317

Willowcrest
 Construction
 8401 S. 110th St.
 Overland Park, MO 66204



1 RIGHT (EAST) ELEVATION



2 LEFT (WEST) ELEVATION

Willowcrest
Construction
1000
P.O. Box 110 251
40-2118-9611

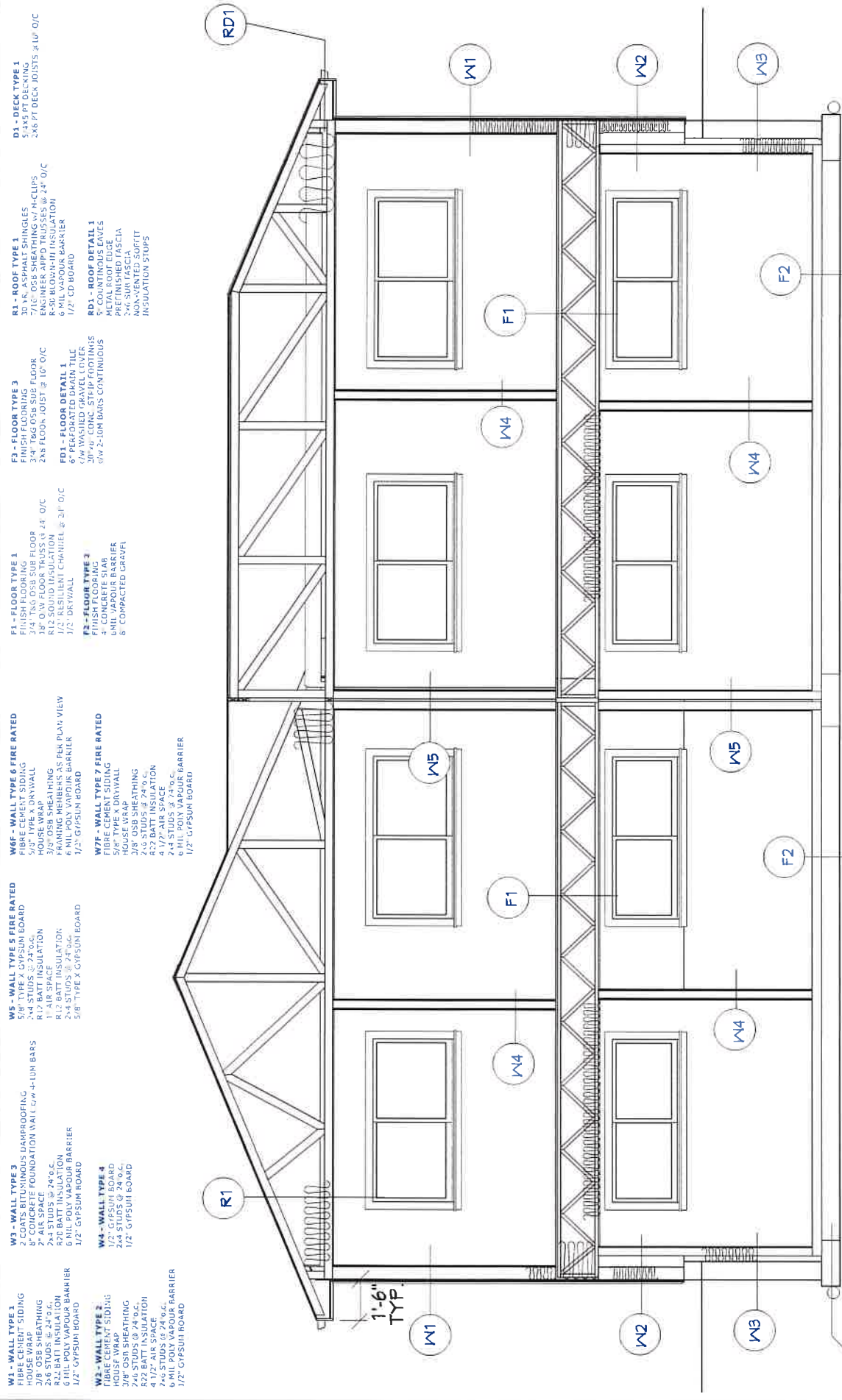
25 & 29 SAGE BRUSH AVE
TOWER, AB
101768000AK 4 Rm 1211317

SHEET ELEVATIONS

SCALE: 1/8" = 1'

DATE: FEB 28, 2020

A3



W1 - WALL TYPE 1
 FIBRE CEMENT SIDING
 HOUSE WRAP
 3/8" OSB SHEATHING
 2x6 STUDS @ 24" O.C.
 2" BATT INSULATION
 6 MIL VAPOUR BARRIER
 1/2" GYPSUM BOARD

W2 - WALL TYPE 2
 FIBRE CEMENT SIDING
 HOUSE WRAP
 3/8" OSB SHEATHING
 2x6 STUDS @ 24" O.C.
 2" BATT INSULATION
 1/2" GYPSUM BOARD
 6 MIL VAPOUR BARRIER
 1/2" GYPSUM BOARD

W3 - WALL TYPE 3
 2x6 HAMROOFING
 8" CONCRETE FOUNDATION W/ 4-#4-LIN BARS
 2" AIR SPACE
 2x4 STUDS @ 24" O.C.
 R-20 BATT INSULATION
 6 MIL VAPOUR BARRIER
 1/2" GYPSUM BOARD

W4 - WALL TYPE 4
 1/2" GYPSUM BOARD
 2x4 STUDS @ 24" O.C.
 1/2" GYPSUM BOARD

W5 - WALL TYPE 5 FIRE RATED
 5/8" TYPE X GYPSUM BOARD
 2x4 STUDS @ 24" O.C.
 R-12 BATT INSULATION
 1" AIR SPACE
 2x4 STUDS @ 24" O.C.
 5/8" TYPE X GYPSUM BOARD

W6F - WALL TYPE 6 FIRE RATED
 FIBRE CEMENT SIDING
 5/8" TYPE X DRYWALL
 HOUSE WRAP
 3/8" OSB SHEATHING
 2x6 STUDS @ 24" O.C.
 2" BATT INSULATION
 6 MIL VAPOUR BARRIER
 1/2" GYPSUM BOARD

W7F - WALL TYPE 7 FIRE RATED
 FIBRE CEMENT SIDING
 5/8" TYPE X DRYWALL
 HOUSE WRAP
 3/8" OSB SHEATHING
 2x6 STUDS @ 24" O.C.
 2" BATT INSULATION
 4 1/2" AIR SPACE
 2x4 STUDS @ 24" O.C.
 6 MIL VAPOUR BARRIER
 1/2" GYPSUM BOARD

F1 - FLOOR TYPE 1
 FINISH FLOORING
 3/4" OSB SUB FLOOR
 18" O/W FLOOR TRUSSES @ 24" O/C
 R-12 SOUND INSULATION
 1/2" RESILIENT CHANNEL @ 24" O/C
 1/2" DRYWALL

F2 - FLOOR TYPE 2
 FINISH FLOORING
 3/4" OSB SUB FLOOR
 UNIL VAPOUR BARRIER
 6" COMPACTED GRAVEL

F3 - FLOOR TYPE 3
 FINISH FLOORING
 3/4" OSB SUB FLOOR
 2x8 FLOOR JOIST @ 16" O/C

FD1 - FLOOR DETAIL 1
 6" PERFORATED DRAIN TILE
 3" W/ 1" GYPSUM BOARD
 3" W/ 1" CONC. STRIP FOOTINGS
 6" W/ 2-10M BARS CONTINUOUS

R1 - ROOF TYPE 1
 20 YR. ASPHALT/SHINGLES
 1/2" GYPSUM BOARD
 ENGINEER-APPROD TRUSSES @ 24" O/C
 R-50 BLOWN-IN INSULATION
 6 MIL VAPOUR BARRIER
 1/2" CD BOARD

RD1 - ROOF DETAIL 1
 5" CONTINUOUS GAVES
 METAL ROOF EDGE
 2" FINISHED FASCIA
 2" FINISHED SOFFIT
 NON-VENTED SOFFIT
 INSULATION STOPS

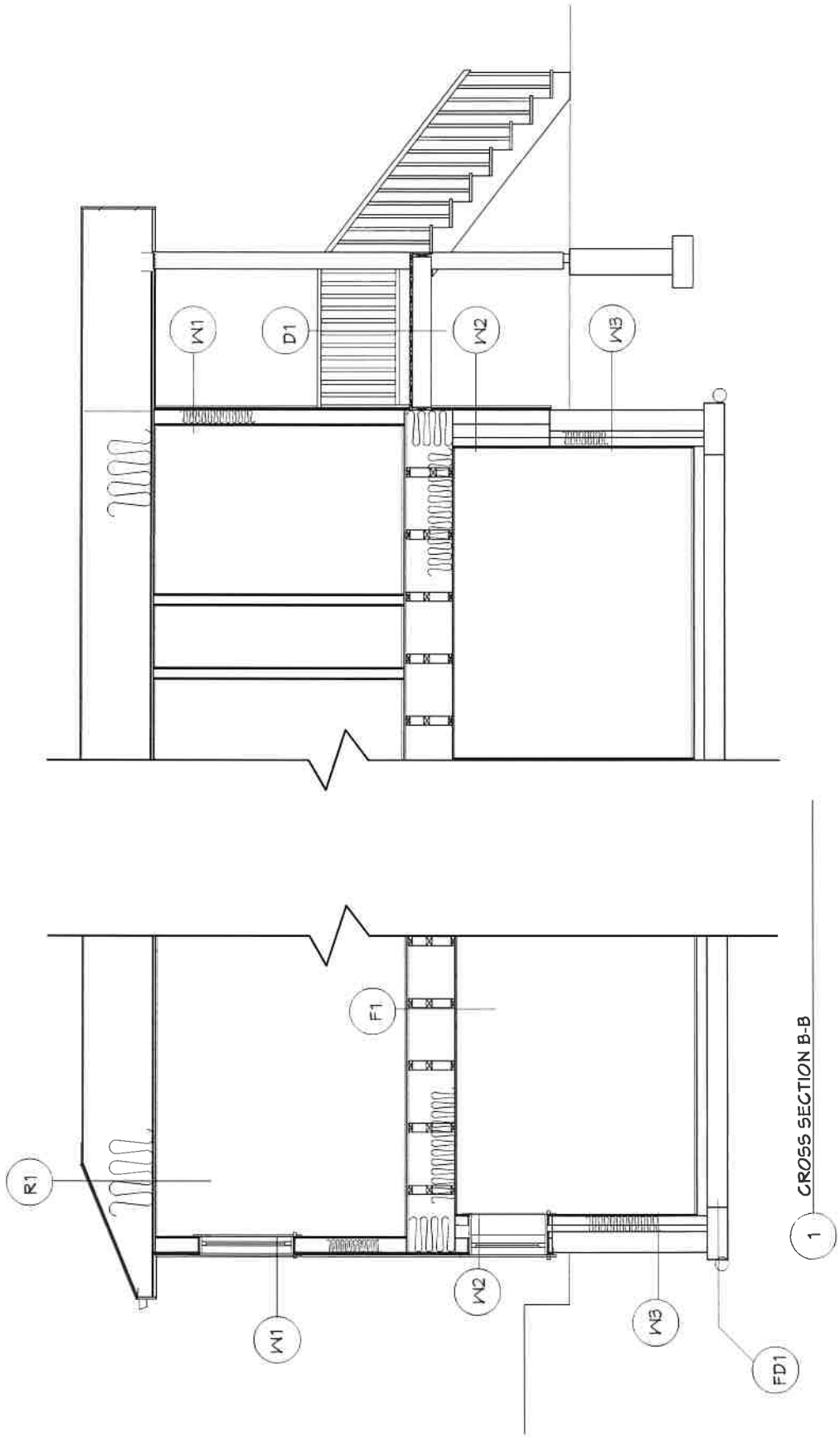
D1 - DECK TYPE 1
 5'-1x5 FT DECKING
 2x6 PT DECK JOISTS @ 16" O/C

Willowcrest Construction
 Box 4724 • 116 Ave. 21A
 S01 1310-0411

25 & 29 SAGE BRUSH AVE
 SAGE SECTION #44
 Plan 1713117
 116 Ave. 21A • Box 4724
 S01 1310-0411

A4

SCALE: 5/16"=1'
 DATE: FEB 28, 2020



1 CROSS SECTION B-B

Willowcrest
Construction
Box 47, Rd 130, 211
201-315-9211

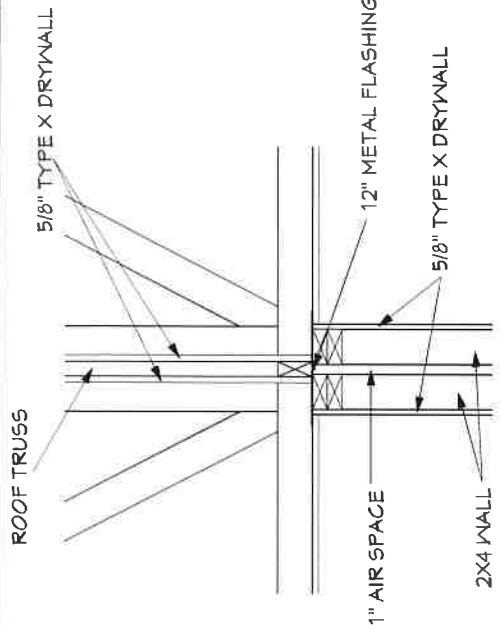
25 & 29 SAGE BRUSH AVE
Tisbury, ME 04854-4
Phone: 1-213-137

CROSS SECTION B-B

NO.	REVISION/DATE	BY	DATE

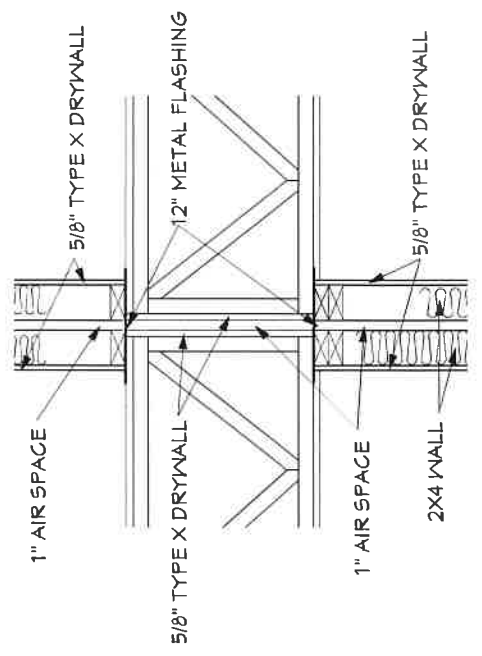
SCALE: 5/16"=1'

DATE: FEB 28, 2020



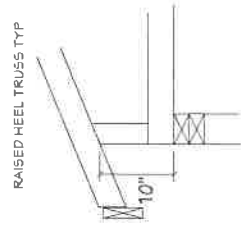
1
1"=1'

FIREWALL-ROOF DETAIL



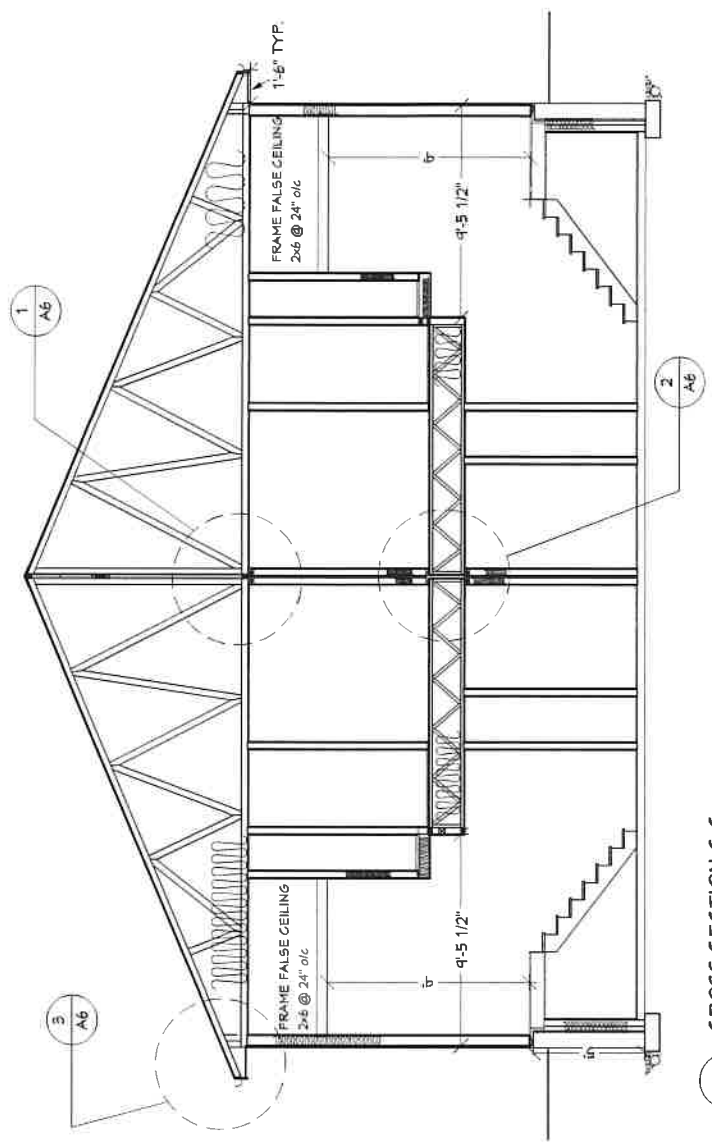
2
1"=1'

FIREWALL-FLOOR DETAIL



3
NTS

TRUSS HEEL DETAIL



4
3/16"=1'

CROSS SECTION C-C

Willowcrest Construction
 25 & 29 SAGE BRUSH AVE
 TOWN OF BRUSH, CO. 80501
 (303) 468-1111

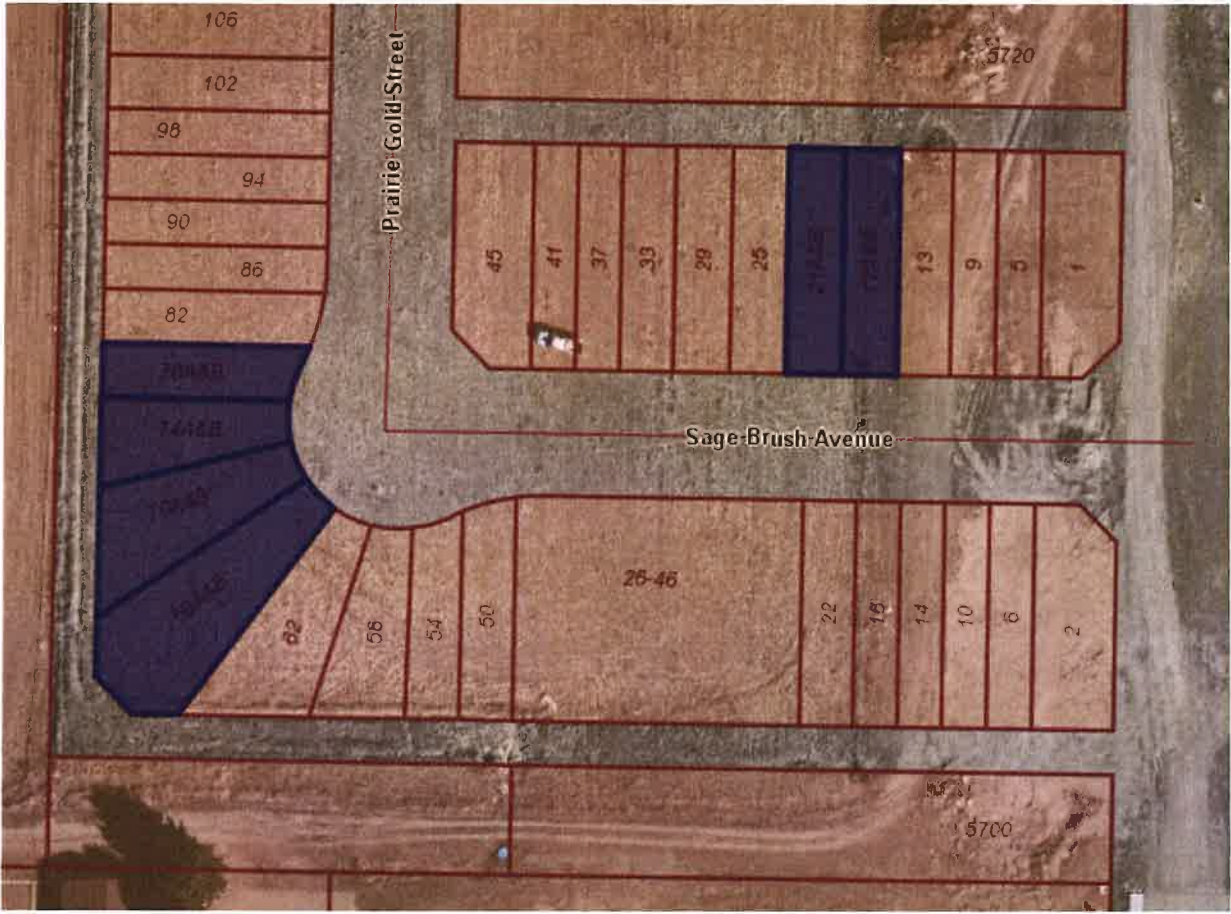
PROJECT: 25 & 29 SAGE BRUSH AVE

SCALE:

DATE: FEB 28, 2020

A6





3.7 SECONDARY SUITES AND BACKYARD SUITES

3.7.1 Secondary Suites and Backyard Suites (which includes Garage Suites)

- (1) The minimum parcel width for a parcel containing a Secondary Suite or a Backyard Suite is 11.0 metres.
- (2) The minimum parcel area for a parcel containing a Backyard Suite is 330.0 metres.
- (3) There must not be more than one Secondary Suite or Backyard Suite located on a parcel.
- (4) A Secondary Suite and a Backyard Suite must not be located on the same parcel.
- (5) For a Backyard Suite, the maximum building height is 7.5 metres.
- (6) For a Secondary Suite, the minimum building setback from a property line must be equal to or greater than the minimum building setback from a property line for the main residential building.
- (7) For a Backyard Suite,
 - (a) the minimum building setback from a rear property line is,
 - (i) 1.5 metres for any portion of the building used as a backyard suite;
 - (ii) 0.6 metres for any portion of the building used as a private garage;
 - (b) The minimum building setback from a side property line is 1.2 metres for any portion of the building used as a Backyard Suite.
 - (c) A minimum separation of 3.0 metres is required between the closest façade of a Backyard Suite.
- (8) The maximum floor area of a Backyard Suite, excluding any areas covered by stairways and landings, is 75.0 square metres;
- (9) The maximum floor area of a Secondary Suite is 70.0 square metres.

Amenity Space Rules

- (1) A Backyard Suite or a Secondary Suite shall have a private amenity space that:
 - (a) is located outdoors; and
 - (b) has a minimum area of 7.5 square metres with no dimension less than 1.5 metres.