



AGENDA

REGULAR MEETING OF THE DEVELOPMENT AUTHORITY OF THE TOWN OF TABER, TO BE HELD IN THE COUNCIL CHAMBERS, ADMINISTRATION BUILDING, ON MONDAY, SEPTEMBER 21, 2015 AT 4:30 PM.

		<u>MOTION</u>
ITEM No. 1.	CALL TO ORDER	
ITEM No. 2.	ADOPTION OF THE AGENDA	X
ITEM No. 3.	DELEGATIONS	
ITEM No. 4.	ADOPTION OF THE MINUTES	
ITEM No. 4.a.	MINUTES- REGULAR MEETING OF THE DEVELOPMENT AUTHORITY AUGUST 18 2015	X
ITEM No. 5.	BUSINESS ARISING FROM THE MINUTES	
ITEM No. 6.	ACTION ITEMS	
ITEM No. 6.a.	DP 15-89 DUNCAN MCGREGOR HOMES- 2 ND GARAGE 4628 MAJESTIC PLACE	X
ITEM No. 6.b.	DP 15 28 5505 48 AVE- LED SUPERSIGNS- RENEWAL PORTABLE SIGN	X
ITEM No. 6.c.	DP 15-087 1904098 AB LTD -PERMANENT ELECTRONIC SIGN	X
ITEM No. 6.d.	BUILDING PERMIT STATISTICS - AUGUST 2015	X
ITEM No. 7.	MEDIA INQUIRIES	
ITEM No. 8.	CLOSED SESSION	
ITEM No. 9.	OPEN SESSION	
ITEM No. 10.	CLOSE OF MEETING	X



Development Authority Request for Decision

Meeting Date: September 21, 2015	
Subject: Minutes- Regular Meeting of the Development Authority August 18 2015	
Recommendation:	That the Municipal Planning Commission adopts the minutes of the Regular Meeting of the Municipal Planning Commission held on August 18, 2015 as presented.
Background:	N/A
Legislation / Authority:	MGA, Section 208(1)(a)(9c)
Strategic Plan Alignment:	N/A
Financial Implication:	N/A
Service Level / Staff Resource Implication:	Compiling records of the MPC meeting minutes is part of the ongoing responsibilities of the Planning and Economic Development Department.
Justification:	Approval of the minutes is in accordance with the MGA, Section 208
Alternative(s):	The MPC could adopt the minutes of the Municipal Planning Commission held on August 18, 2015 as amended.

Attachment(s):	Minutes from August 18, 2015
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APPROVALS:	
Originated By:	Lorraine Belanger
Chief Administrative Officer (CAO) or Designate:	

MINUTES OF THE REGULAR MEETING OF THE DEVELOPMENT
AUTHORITY OF THE TOWN OF TABER, IN THE PROVINCE OF
ALBERTA, HELD IN THE COUNCIL CHAMBERS, ADMINISTRATION
BUILDING, ON TUESDAY, AUGUST 18, 2015, AT 4:30 PM.

Members

Levagood, Ron
Miles, Roger
Popadynetz, Rick
Strojwas, Joe

Absent

Ellingson, Edwyn

Staff

Armfelt, Cory
Belanger, Lorraine

CALL TO ORDER

R. Miles called the meeting to order at 4:30:pm.

ADOPTION OF THE AGENDA

Moved by R. Levagood the Agenda for the August 18, 2015 meeting be adopted.

CARRIED UNANIMOUSLY

DELEGATIONS

None

ADOPTION OF THE MINUTES

Moved by Councillor Strojwas the meeting minutes for the July 21, 2015 MPC meeting be adopted as presented.

CARRIED UNANIMOUSLY

BUSINESS ARISING FROM THE MINUTES

None.

ACTION ITEMS

HO 15 11 - Jacob Ketler - Reflexologist - 5004 45 Ave

L. Belanger summarized the application. She noted the applicant had come to MPC for authorization to have more than one client per day visit his residence.

Discussion among members and Administration included the following topics:

- 1) The applicants training and techniques
- 2) Treatment area in the home
- 3) Suggested operating hours

Moved by Councillor Popadynetz that MPC approve Jacob Ketler, Reflexologist, HO- 15-11, 5004 45 Ave, Lots 1-2, Block 27, Plan 6390L with the following conditions:

- i) The development shall conform to the district requirements of the Existing Residential, (R-1) District, the Home Occupation conditions in Town of Taber Land Use ByLaw 4-2006, all relevant Parking Requirements, Alberta Health Regulations and the Town of Taber Business License Bylaw 8-2008
- ii) The applicant is allowed to have up to 6 client visits per day to the residence, one at a time and no other employees working from the residence. (Operating hours are not to be past 10pm.)

CARRIED UNANIMOUSLY

MEDIA INQUIRIES

None

CLOSED SESSION

No items

OPEN SESSION

N/A

CLOSE OF MEETING

Moved by R. Levagood to close the meeting at 4:42pm

CARRIED UNANIMOUSLY

CHAIRMAN



Development Authority Request for Decision

Meeting Date: 9/21/2015

Subject: DP 15-89 Duncan McGregor Homes 2nd Garage 4638 Majestic Place.

Recommendation:

That the Municipal Planning Commission approve DP 15-89; 4638 Majestic Place; Duncan McGregor Homes (2nd garage, Detached), 84m² Lot 74, Block 45, Plan 9311561 with the following conditions:

1. The site is developed as per the site plan submitted,
2. Access location to the garage is subject to the approval of the Director of Public Services,
3. Pursuant to Section 2(12)(a)(i) of Land Use Bylaw No. 4-2006, as amended, and interior wall height requirement waiver from 3.7 to 4.26m is hereby granted,
4. The applicant must obtain a Building Permit to ensure the development complies with the Alberta Fire Code and Alberta Building Code. It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits. Additionally it is the responsibility of the applicant to contact Alberta One Call and meet all requirements pertaining to underground services,
5. The exterior finish of the detached garage shall be professionally manufactured and complimentary to the finishing of the neighboring properties and subject dwelling,
6. The structure may not be used as a workplace for employees or for workplace activities if the residence has a Home Occupation Business License,
7. Prior to occupancy, the applicant will provide and Updated Real Property Report to the Town of Taber.

Background:

The Town of Taber has received an application for a 2nd garage at the above address. Currently there is an attached garage at the residence. As required under the current Land Use Bylaw, the application has been brought to MPC for a decision. The garage meets the density and setback requirements for the district, the applicant has however requested a waiver for the interior wall height in the structure from 3.7m to 4.26m.

Legislation / Authority:

Land Use Bylaw 4-2006 Sec2(12)(a)

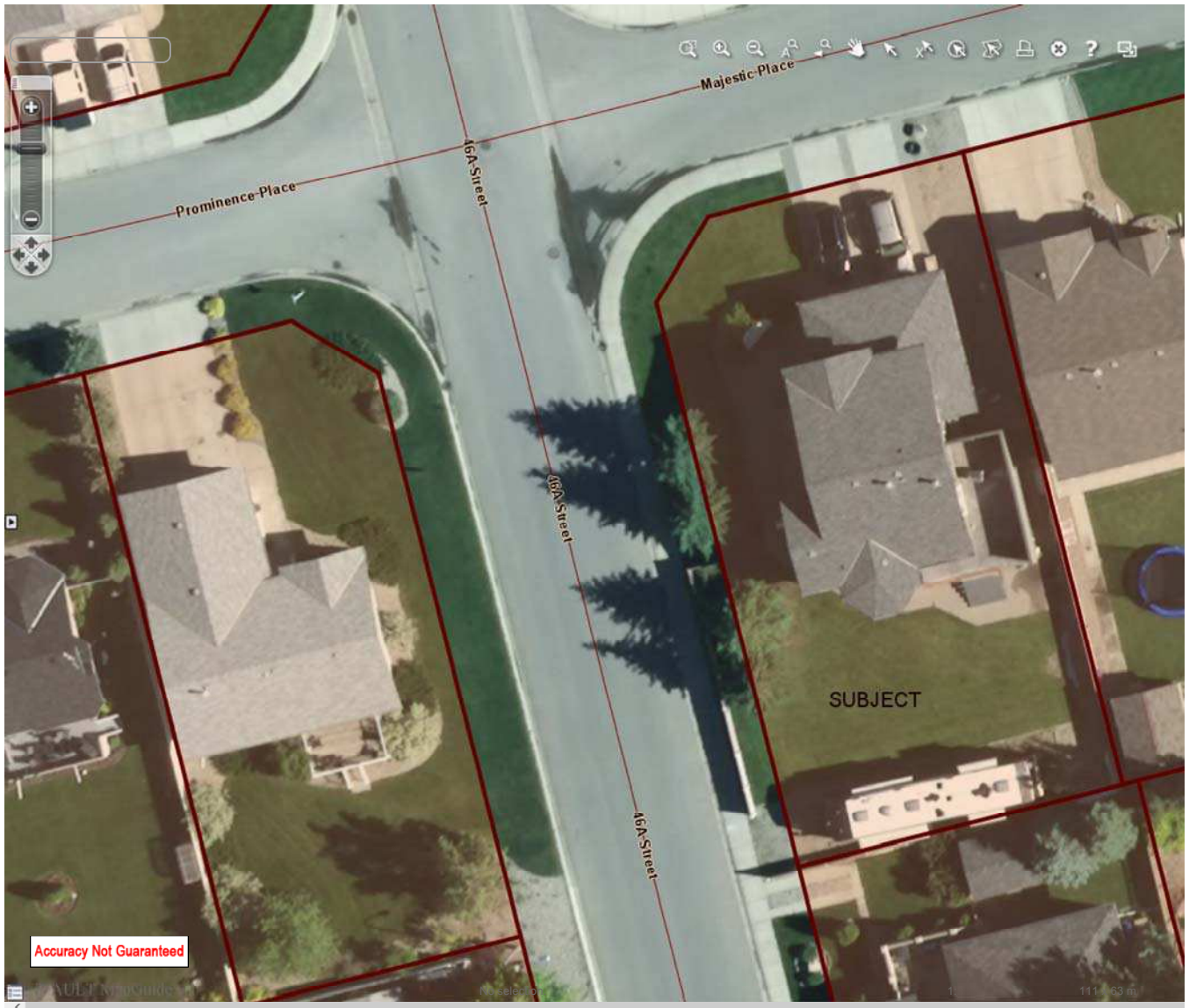


Strategic Plan Alignment:	No close alignment
Financial Implication:	The application fee for the Development Permit is \$60 and the Discretionary Use fee is \$150.
Service Level / Staff Resource Implication:	Development permits are part of the ongoing responsibility of the Planning and Economic Development Department.
Justification:	With the exception of the increase in the interior wall height, the application is similar to many others which have been approved in the Town.
Alternative(s):	<ul style="list-style-type: none"> 1- MPC could approve the application with amendments. 2- MPC could not approve the application with reasons.

Attachment(s):	Overhead Map Application, Site Plan and Drawings
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APPROVALS:	
Originated By:	Lorraine Belanger
Chief Administrative Officer (CAO) or Designate:	





Application For A Development Permit

FORM A
(OFFICE USE ONLY)



Planning Department
A4900-50 Street
Taber AB T1G 1T1
ph: (403) 223-5500
fx: (403) 223-5530
email: planning@taber.ca

ZONING: LR-1 ROLL NUMBER: 6146740 APPLICATION NO. 15-89

Date of Application: Sept 16/2015 Date Application Deemed Complete: same

I hereby make application under the provisions of the Land Use Bylaw for a Development Permit in accordance with the plans and supporting information submitted herewith and which form part of this application.

New Construction: Addition: Renovation: Change of Use: Moved in Building:
Discretionary Use: Waiver: Other: (explain: _____)

Applicant: Duncan McGregor Homes Phone Res: _____ Bus: [REDACTED]
Address: _____ Cell: _____ Fax: _____
Postal Code: _____

Registered Owner: [REDACTED] Phone Res: _____ Bus: [REDACTED]
Address: [REDACTED] Cell: _____ Fax: [REDACTED]
Postal Code: _____

Legal Description of Property to be Developed: Lot: 74 Block: 45 Plan: 9311561

Municipal Address: 4638 Majestic Place
Proposed Use of Site: New Garage (2ND GARAGE)

(describe in detail - attach additional information if necessary)

Existing Use of Site: RES

If Development is Temporary, State for What Period _____

Adjacent to Highway: Yes: _____ No: _____

Proposed Setback from Property Lines:

Front Yard: _____ Side Yards: ¹ 4.19 ² _____ Rear Yard: 15m

General Information:

Present Use of Adjacent Properties: _____

Access:

Existing Proposed N/A

- Provincial Highway # _____
- Municipal Road [] [] []
- Internal Subdivision Road [] [] []
- Undeveloped Road Allowance [] [] []
- Private Road (i.e. Condominium)..... [] [] []
- Other (specify) _____ [] [] []

Services:

Water Supply

- Municipally owned and operated piped water system..... [] [] []
- Other (specify) _____ [] [] []

Sewage Disposal

- Municipally owned and operated sanitary sewer system..... [] [] []
- Other (specify) _____ [] [] []

Storm Drainage

- Municipal Sewers..... [] [] []
- Ditches [] [] []
- Swales..... [] [] []

Additional Information (Based on Proposed Development)

- 2 Copies of Site Plan Attached? [] yes [] no
- Drainage Plan/Elevations Included? [] yes [] no
- Will you be applying for a Building Permit? [] yes [] no
- Will you be applying for a Business License? [] yes [] no

Lot Width: _____	Lot Depth: _____
Lot Area: _____	New Construction Area (ft ²): _____
Lot Coverage By New Construction (%): _____	Total Site Coverage (%): <u>± 35%</u>
Number of Loading Spaces: _____	Building Height: _____
Driveway Width: _____	Landscaped Open Space (%): _____
Number of Units: _____	No. Off Street Parking Spaces: _____

Estimated Commencement Date: _____ Estimated Completion Date: _____

Application Fee: _____ Construction Value \$: _____

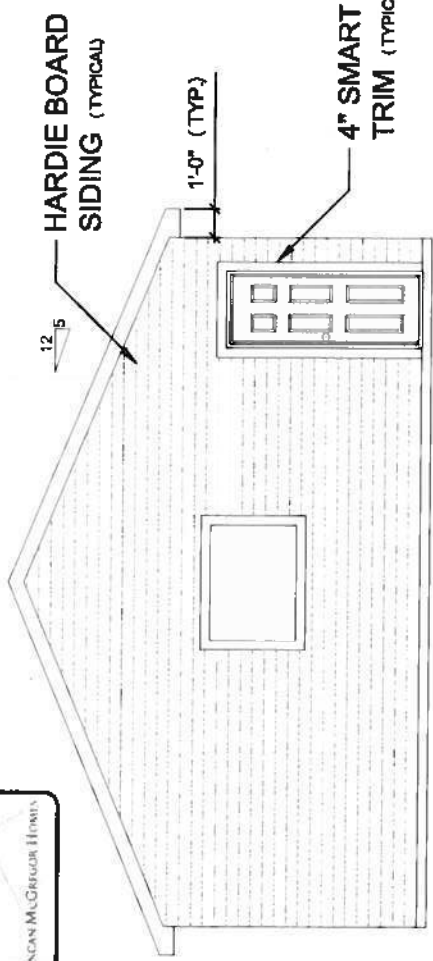
NOTE: THIS DEVELOPMENT PERMIT APPLICATION WILL NOT BE ACCEPTED UNLESS THE APPROPRIATE FEE IS SUBMITTED WITH THE APPLICATION.

The personal information provided as part of this application is collected under Section 303 and 295 of the Municipal Government Act and in accordance with Section 32(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, Land Use Bylaw enforcement and property assessment purposes. The name of the permit holder and the nature of the permit are available to the public upon request.

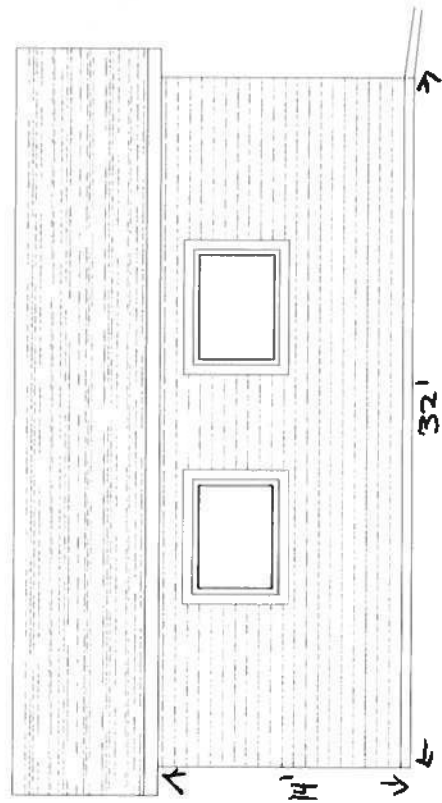
If you have any questions about the collection or use of the personal information provided, please contact the Town of Taber FOIP Coordinator at A4900 - 50th Street, Taber, Alberta T1G 1T1 or phone (403) 223-5500

Signature of Applicant or Agent: CMJ

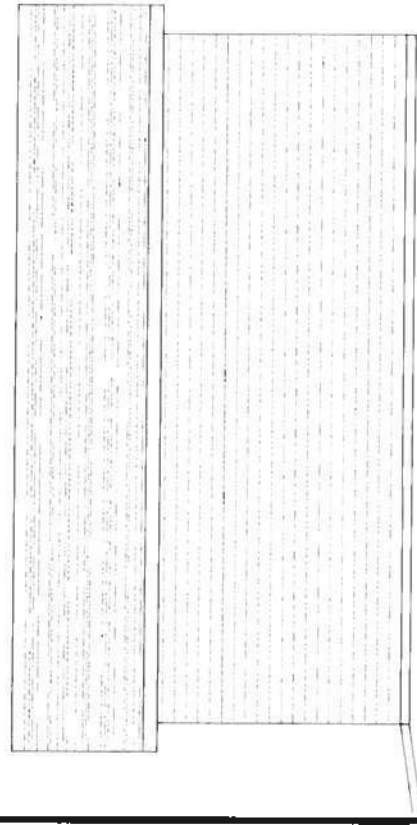
Please Print Signature: Charles McTighe



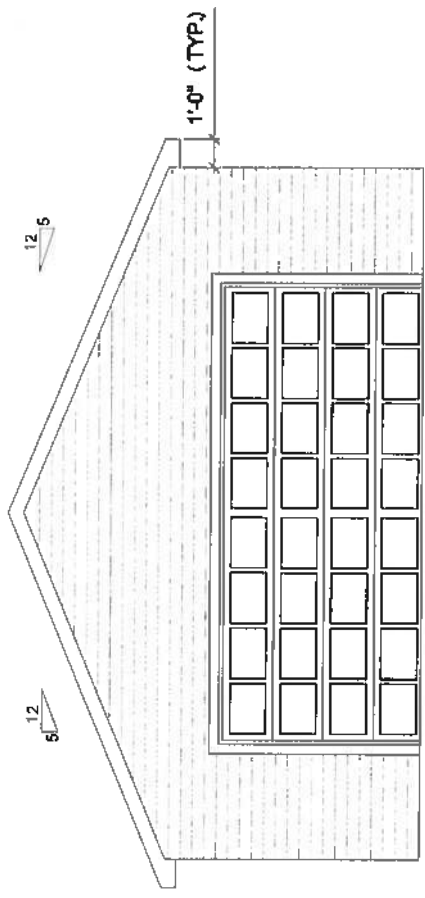
FRONT ELEVATION



RIGHT ELEVATION



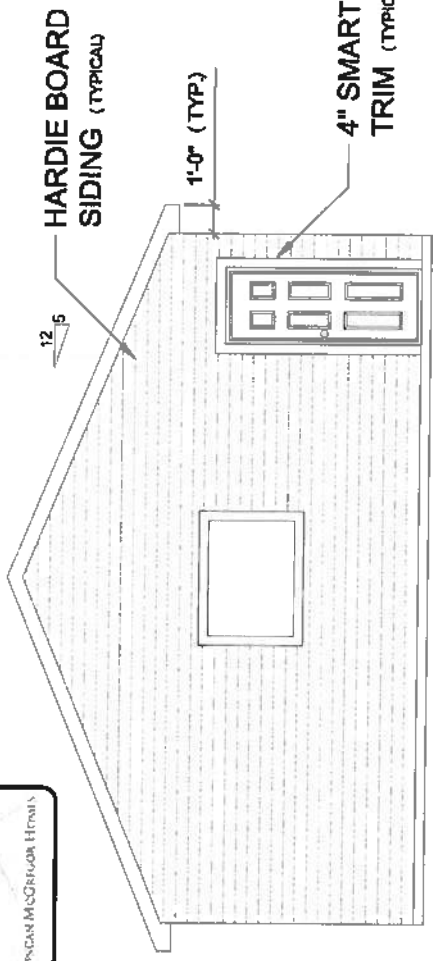
LEFT ELEVATION



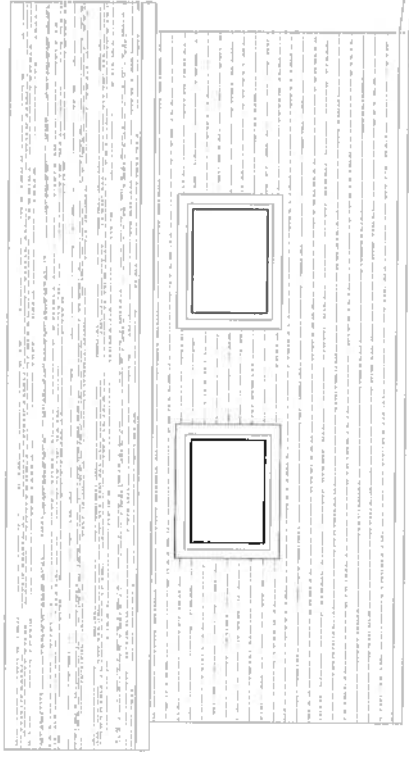
REAR ELEVATION

1	1
1/2" = 1'-0"	

HARDIE BOARD SIDING (TYPICAL)



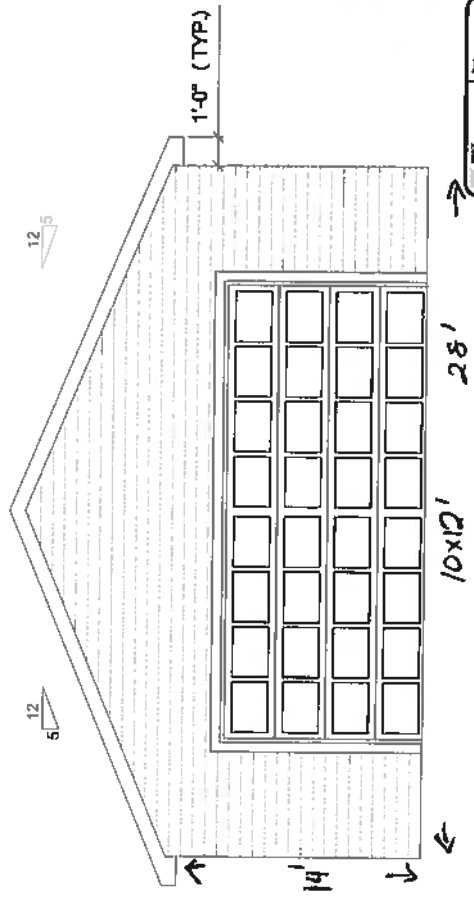
FRONT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



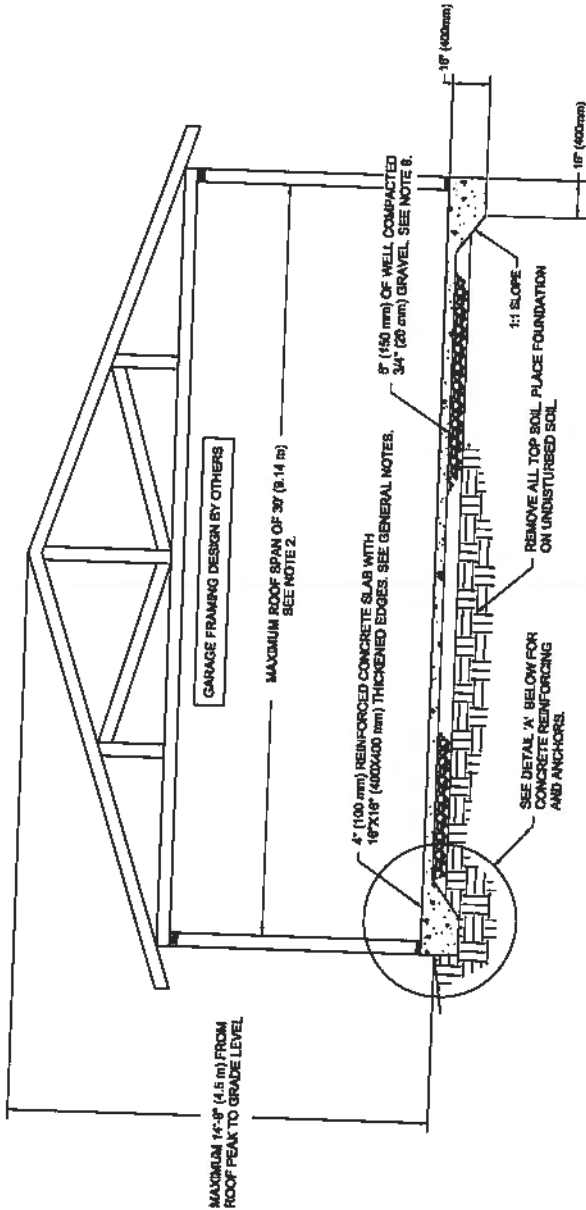
REAR ELEVATION

1
1/4" = 1'-0"

- GENERAL NOTES:**
1. INSTALLATION OF THE GARAGE FOUNDATION MUST CONFORM TO THE REQUIREMENTS OF THE ISSUED DEVELOPMENT AND BUILDING PERMITS AND THE 2008 ALBERTA BUILDING CODE.
 2. THIS FOUNDATION DESIGN IS FOR A MAXIMUM OF A 30' WIDE, SINGLE CLEAR SPAN, GABLE ROOF TRUSS GARAGE DESIGN ONLY. MAXIMUM GARAGE LENGTH IS 30'.
 3. FOR HP2 ROOF CONSTRUCTION, CONSTRUCT THICKENED SLAB EDGES ON ALL FOUR SIDES. MAXIMUM SIZE REBAR IS 1 1/2" X 30'.
 4. THE FOUNDATION IS DESIGNED TO MEET ALL STRUCTURAL REQUIREMENTS. PERFORMANCE REQUIREMENTS INCLUDING: SLIDING, CRACKING, DRAINAGE, ETC. ARE THE RESPONSIBILITY OF THE CLIENT.
 5. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 32 MPa AT 28 DAYS. MAXIMUM WATER/CEMENT RATIO OF 0.45, MAXIMUM OF 3-1/4" (80 mm) SLUMP, & 7% AIR ENTRAINMENT, AND CONFORM TO THE REQUIREMENTS OF CSA A420.
 6. ALL REINFORCEMENT TO BE GRADE 400 DEFORMED BULLET-STEEL BARS CONFORMING TO CSA G30.18 AND/OR WELDED WIRE FABRIC CONFORMING TO CSA G30.15.
 7. USE STANDARD CHAIRS TO ELEVATE REBAR INTO PLACE FOR THE TIE BARS.
 8. TIE BARS SHALL BE PLACED AT INTERSECTIONS. USE VERTICAL REBAR SPACERS TO SUPPORT THE UPPER MAT OFF OF THE LOWER REBAR AT THE THICKENED SLAB EDGES.
 9. ALL REBAR AND/OR WELDED WIRE FABRIC MUST BE PLACED, CHAIRCED AND SECURELY TIED PRIOR TO POURING CONCRETE.
 10. MOISTEN BUT DO NOT SATURATE COMPACTED GRAVEL PRIOR TO POURING CONCRETE.

LEGEND:

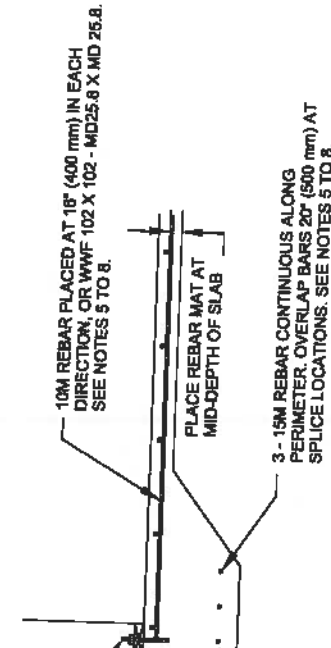
- 18" (400 mm) - IMPERIAL DIMENSION (METRIC EQUIVALENT)
- 10M REBAR - 10mm DIAMETER REBAR; 'M' INDICATES METRIC
- WWF 102X102 - MD25.8 X MD25.8 - WELDED WIRE FABRIC REINFORCEMENT; 102mm X 102mm GRID SPACING, 'M' FOR METRIC, 'I' FOR IMPERIAL, 26.8 mm² CROSS SECTION AREA.



ANCHOR WOOD FRAMING TO FOUNDATION USING 1/2" (12 mm) DIAMETER HILTI HIT HY-160 ANCHORS EVERY 4' (1200 mm) AROUND PERIMETER. CENTER ANCHORS ON SOLE PLATE. EMBED ANCHORS 4-1/2" (110 mm) INTO CONCRETE.

SEE DETAIL 'B' FOR ALTERNATE ANCHOR SYSTEM

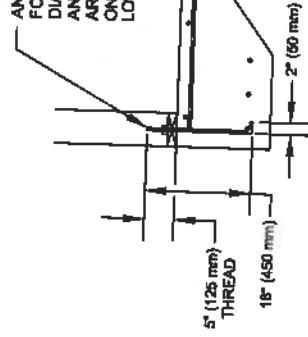
CHAIR REBAR IN PLACE TO ALLOW 3" (76 mm) CONCRETE COVER. SEE NOTES 5 TO 8.



DETAIL 'A' - CONCRETE REINFORCING AND ANCHORS

INSTEAD OF HILTI ANCHORS USE THE FOLLOWING:

ANCHOR WOOD FRAMING TO FOUNDATION USING 1/2" (12 mm) DIAMETER CAST IN PLACE THREADED ANCHOR BOLTS EVERY 4' (1200 mm) AROUND PERIMETER. CENTER ANCHORS ON SOLE PLATE. HOOK ANCHORS ON LOWER 15M REBAR AS SHOWN.



DETAIL 'B' - ALTERNATE ANCHOR

10/23

DATE: _____

SHEET: _____

SCALE: BEST TO SCALE

PROJECT: DETACHED GARAGE FOUNDATION SECTION AND DETAILS

CLIENT: City of Redbridge

DESIGNER: _____

CHECKED: _____

DATE: _____

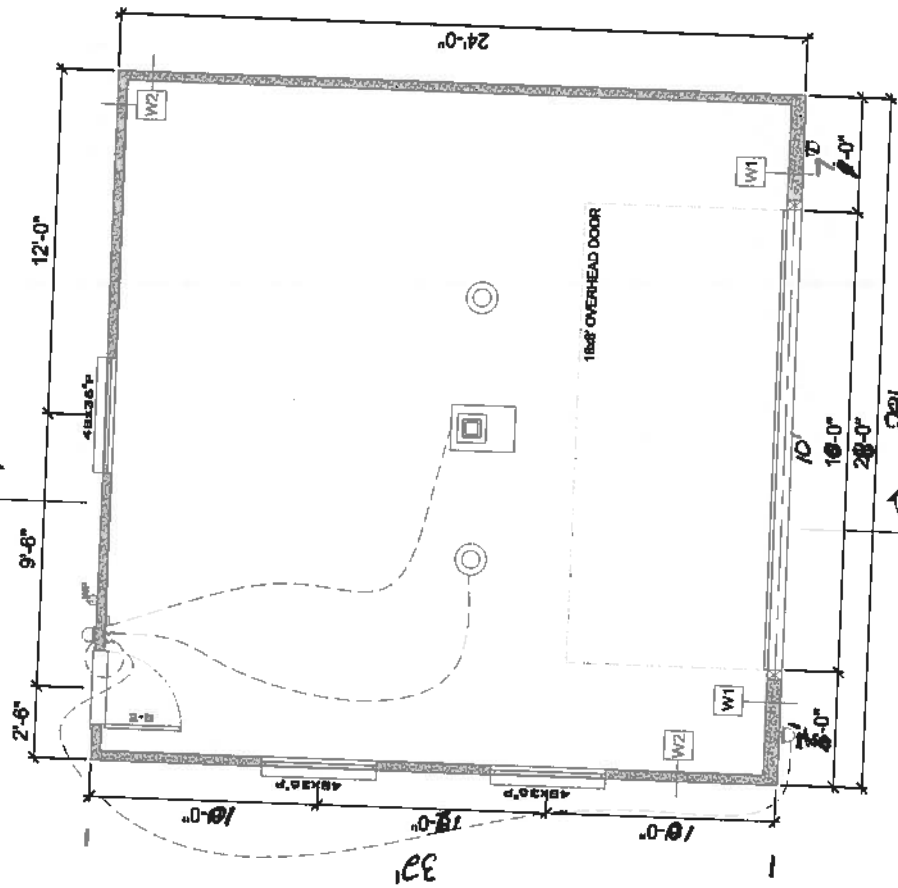
PROJECT NO.: _____

SCALE: _____

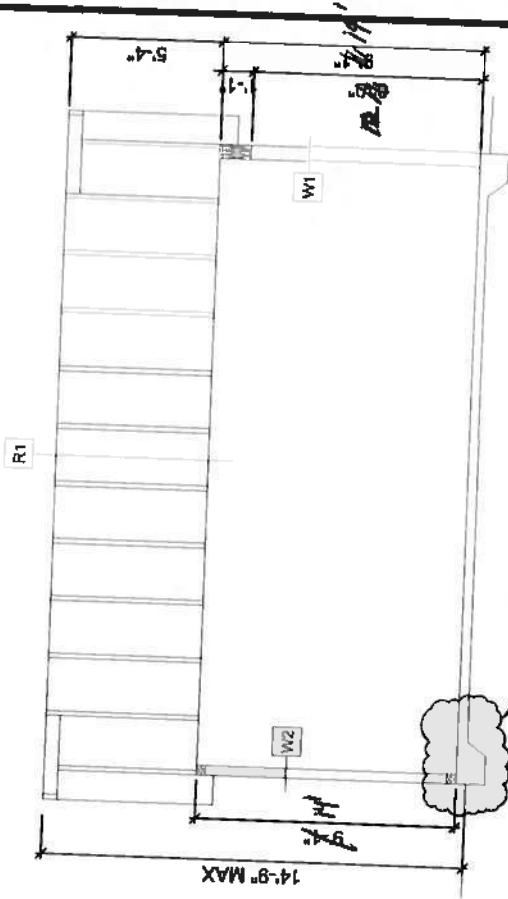
DATE: _____

PROJECT NO.: _____

DUNCAN McGRAW HILLS



PLAN VIEW
SCALE: 1/4" = 1'-0"
576 SqFt



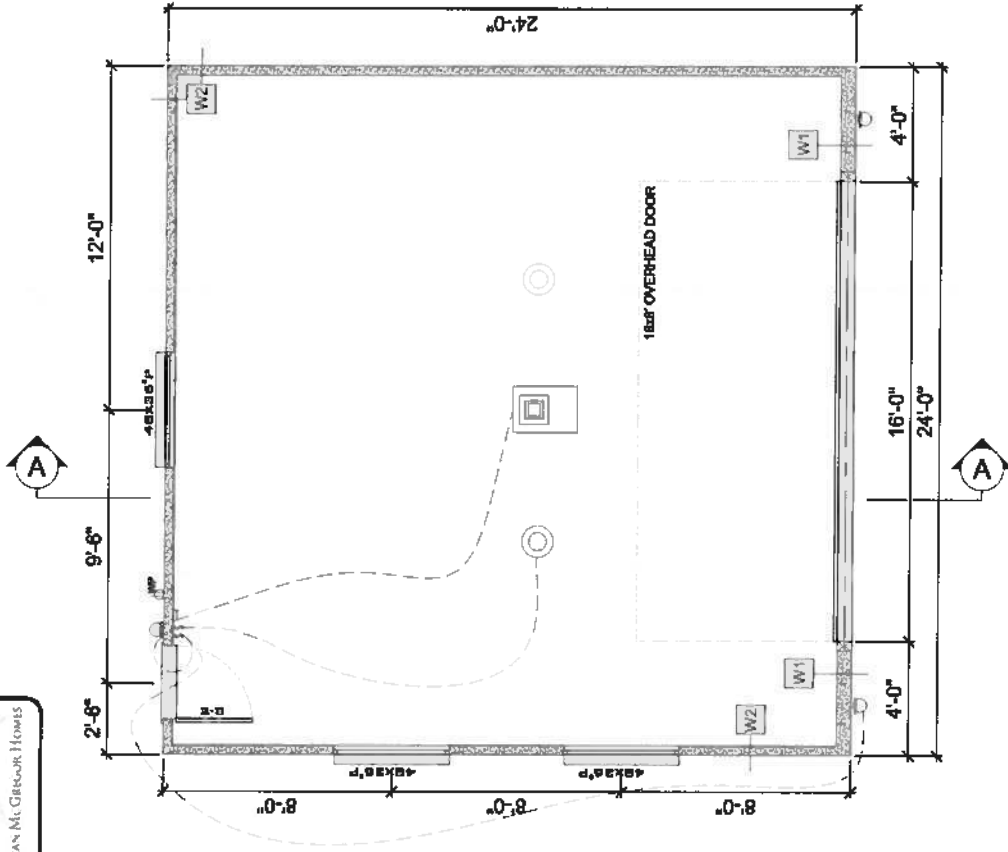
SECTION - A

SEE DETAIL 'A' ON PAGE 3
FOR DETAILS ON PLACEMENT
OF SLAB WITH THICKENED
EDGES, REINFORCING,
AND FRAMING CONNECTION

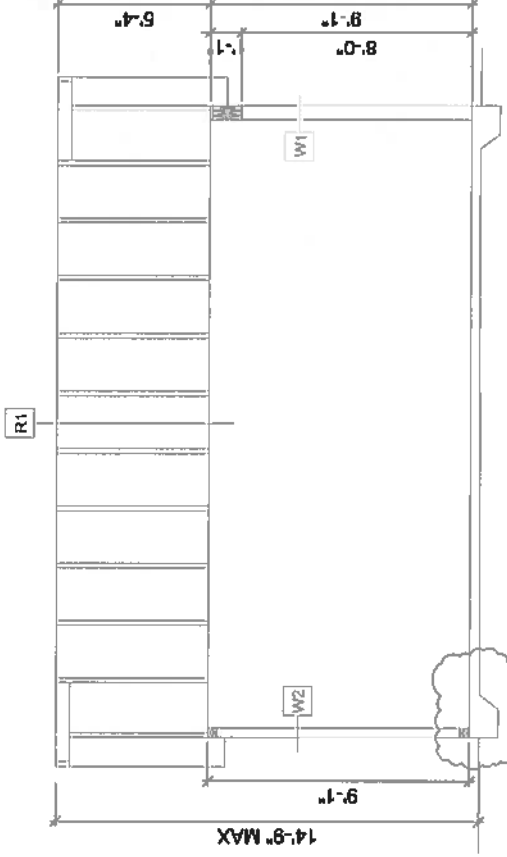
- W1 - EXTERIOR WALL:**
 - HARDIE BOARD SIDING
 - BUILDING PAPER
 - 1/2" O.S.B SHEATING
 - 2x8" SPF STUDS @ 24" W
 - R20 FIBERGLASS INSULATION
 - 6MIL POLY VAPOR BARRIER
 - 1/2" DRYWALL
- W2 - EXTERIOR WALL:**
 - HARDIE BOARD SIDING
 - BUILDING PAPER
 - 1/2" O.S.B SHEATING
 - 2x4" SPF STUDS @ 24" W
 - R20 FIBERGLASS INSULATION
 - 6MIL POLY VAPOR BARRIER
 - 1/2" DRYWALL
- RT - UPPER FLOOR:**
 - ASPHALT SHINGLES ON
 - 3/4" OSB SHEATING
 - ENG NEEDED TRUSSES
 - R40 BLOWN-IN INSULATION
 - 6MIL POLY VAPOR BARRIER
 - 1/2" DRYWALL

2
1/4" = 1'-0"

DUNSMuir, Mc GIBSON & HOWES



PLAN VIEW
SCALE: 1/4" = 1'-0"
576 SqFt



SECTION - A

SEE DETAIL 'A' ON PAGE 3
FOR DETAILS ON PLACEMENT
OF SLAB WITH THICKENED
EDGES, REINFORCING,
AND FRAMING CONNECTION

- W1 - EXTERIOR WALL:**
 - HARDIE BOARD SIDING
 - BUILDING PAPER
 - 1/2" O.S.B SHEATHING
 - 2x6" SPF STUDS @ 24" W
 - R20 FIBERGLASS INSULATION
 - 6MIL POLY VAPOR BARRIER
 - 1/2" DRYWALL
- W2 - EXTERIOR WALL:**
 - HARDIE BOARD SIDING
 - BUILDING PAPER
 - 1/2" O.S.B SHEATHING
 - 2x4" SPF STUDS @ 24" W
 - R20 FIBERGLASS INSULATION
 - 6MIL POLY VAPOR BARRIER
 - 1/2" DRYWALL
- R1 - UPPER FLOOR:**
 - ASPHALT SHINGLES ON
 - 1/2" OSB SHEATHING
 - ENGINEERED TRUSSES
 - R40 BLOWN-IN INSULATION
 - 6MIL POLY VAPOR BARRIER
 - 1/2" DRYWALL

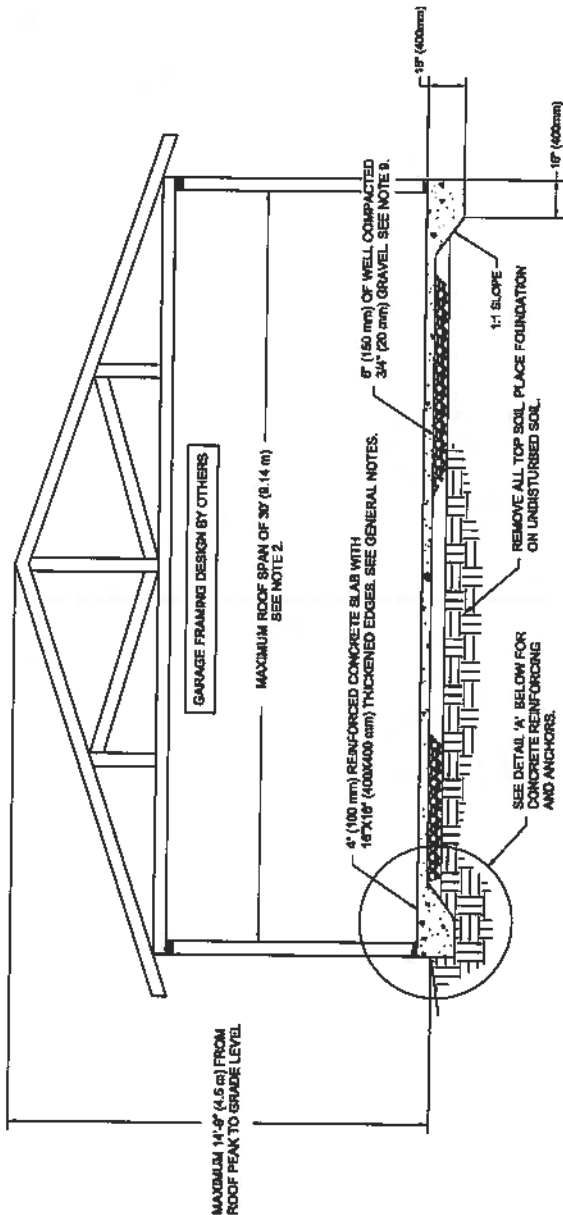
2

GENERAL NOTES:

1. INSTALLATION OF THE GARAGE FOUNDATION MUST CONFORM TO THE REQUIREMENTS OF THE ISSUED DEVELOPMENT AND BUILDING PERMITS AND THE 2006 ALBERTA BUILDING CODE.
2. FOUNDATION DESIGN IS FOR A MAXIMUM OF A .30" WIDE, SINGLE CLEAR SPAN. GARAGE ROOF TRUSS GARAGE DESIGN ONLY. MAXIMUM GARAGE LENGTH IS 47'.
3. FOR RCP ROOF CONSTRUCTION, CONSTRUCT THICKENED SLAB EDGES ON ALL FOUR SIDES. MAXIMUM SIZE REMAINS 30" X 30".
4. THE FOUNDATION IS DESIGNED TO MEET MINIMUM STRUCTURAL REQUIREMENTS. PERFORMANCE REQUIREMENTS REGARDING SPALLING, CRACKING, DRAINAGE, ETC. ARE THE RESPONSIBILITY OF THE BUILDER.
5. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 32 MPa AT 28 DAYS. USE MINIMUM WATER/CEMENT RATIO OF 0.45. MAXIMUM OF 3-1/4" (80 mm) SLUMP. 5 TO 8% AIR ENTRAINMENT, AND CONFORM TO THE REQUIREMENTS OF CSA A23.1.
6. ALL REINFORCEMENT TO BE GRADE 400 DEFORMED BILLET-STEEL BARS CONFORMING TO CSA G30.16 AND/OR WELDED WIRE FABRIC CONFORMING TO CSA G30.15.
7. USE STANDARD CHAIRS TO ELEVATE REBAR INTO PLACE FOR THE CLEARANCES NOTED ON THE DRAWINGS.
8. REBAR TO BE PLACED AT INTERSECTIONS. USE VERTICAL REBAR SPACERS TO SUPPORT REBAR MAT OFF OF THE LOWER REBAR AT THE THICKENED SLAB EDGES.
9. ALL REBAR AND/OR WELDED WIRE FABRIC MUST BE PLACED, CHARGED AND SECURELY TIED PRIOR TO POURING CONCRETE.
10. MOISTEN BUT DO NOT SATURATE COMPACTED GRAVEL PRIOR TO POURING CONCRETE.

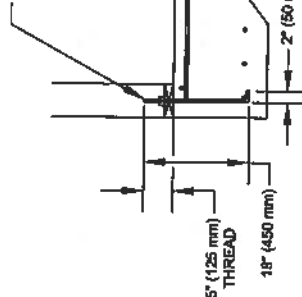
LEGEND

- 18" (400 mm) - IMPERIAL DIMENSION (METRIC EQUIVALENT)
- 10M REBAR - 10mm DIAMETER REBAR. 'M' INDICATES METRIC
- WWF 102X102 - 1025.8 X 1025.8 - WELDED WIRE FABRIC REINFORCEMENT. 102mm X 102mm GRID SPACING, 'M' FOR METRIC. 'I' FOR DEFORMED, 25.8 mm CROSS SECTION AREA.

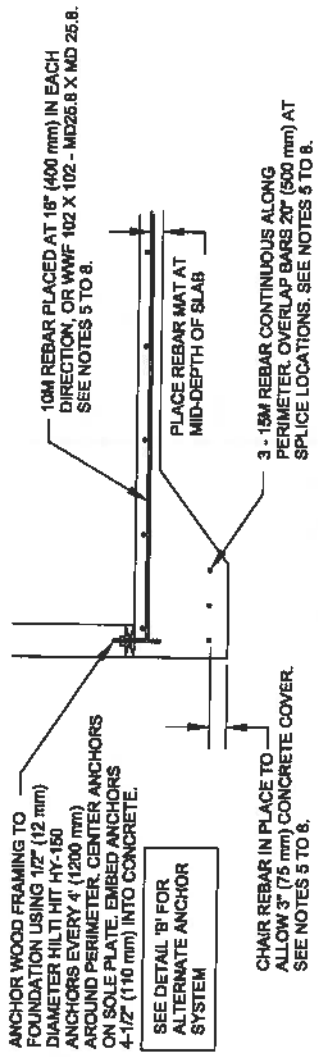


INSTEAD OF HILTI ANCHORS USE THE FOLLOWING:

- ANCHOR WOOD FRAMING TO FOUNDATION USING 1/2" (12 mm) DIAMETER CAST IN PLACE THREADED ANCHOR BOLTS EVERY 4' (1200 mm) AROUND PERIMETER. CENTER ANCHORS ON SOLE PLATE. HOOK ANCHORS ON LOWER 15M REBAR AS SHOWN.



DETAIL 'B' - ALTERNATE ANCHOR

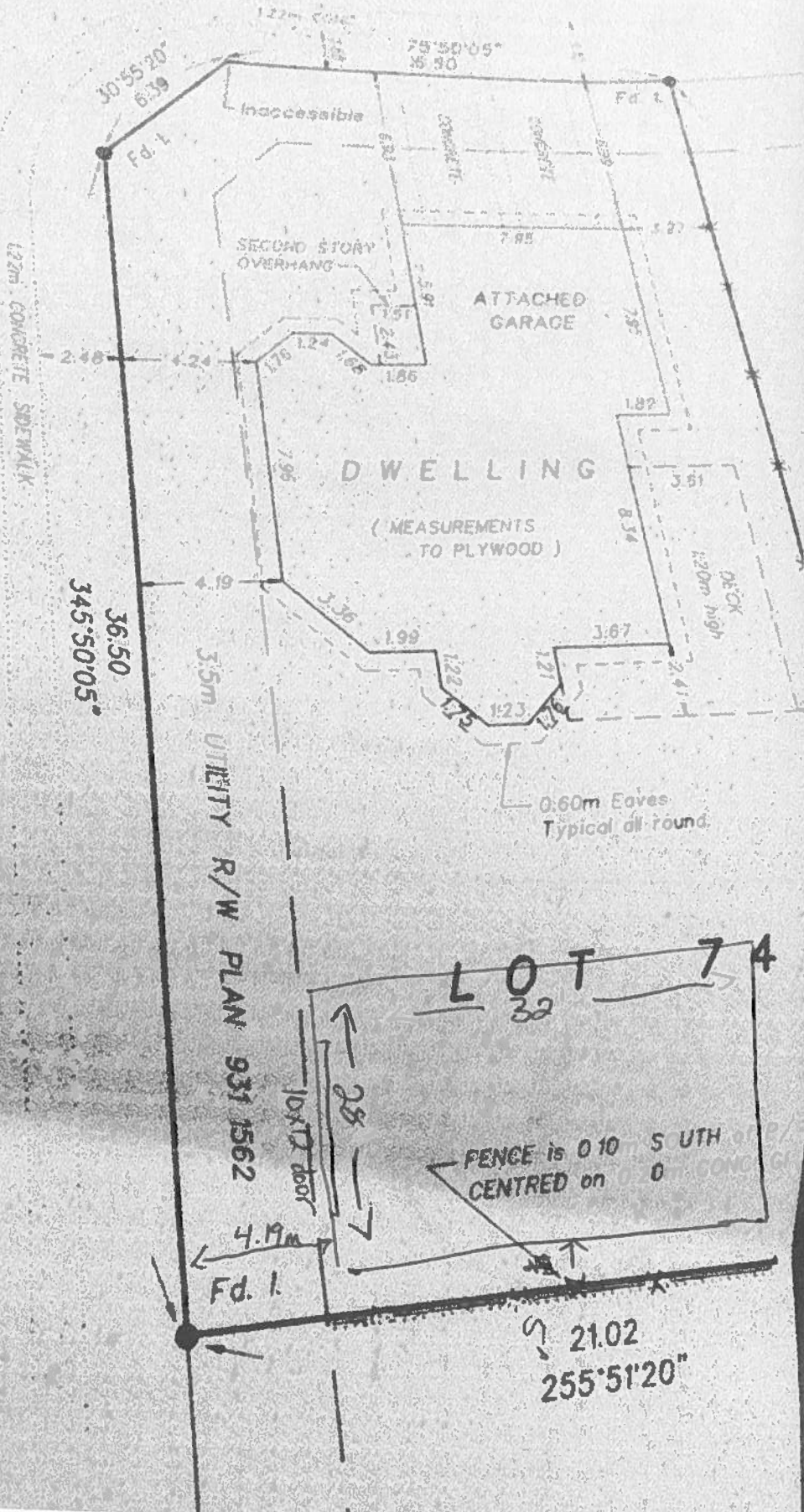


DETAIL 'A' - CONCRETE REINFORCING AND ANCHORS

DATE	REV. 0	SCALE	SHEET NO.	SHEET TOTAL
	DATE			
		DETACHED GARAGE FOUNDATION SECTION AND DETAILS		
PROJECT NO.	DATE	SCALE	SHEET NO.	SHEET TOTAL

MAJESTIC PLACE

46th 'A' STREET





Development Authority Request for Decision

Meeting Date: 21/09/2015

Subject: DP 15 28 5505 48 AVE- LED SUPERSIGNS- RENEWAL PORTABLE SIGN

Recommendation:

That the MPC approve the renewal of application 15-28, LED Super Signs, Portable Sign, 5505 48 Ave, Lot 2, Block 7, Plan 5638L, with the following conditions remaining in force:

1. The permit is for the portable sign shown in the attached application,
2. That MPC has hereby waived the requirement under the Town of Taber LUB 4-2006, Sec. 3 21(b) to allow for third party advertising on the sign.
3. The permit is to be reviewed for renewal in 180 days by the Municipal Planning Commission.

All regulations noted on the attached application are considered to be conditions of the permit.

Background:

The original application for this portable sign at the above noted address was referred to MPC for 2 reasons:

- 1) As per Sec 3. 21(b), "all signs must be related to point of sale advertising, unless otherwise noted in this section or waived by the Municipal Planning Commission"
- 2) Comments during the Downtown Business Consultation process indicated concerns with portable signs and their suitability into revitalization plans for the Downtown area of Taber.

At the May 18, 2015 meeting of MPC, the sign was approved at this location but with a condition that when the sign was up for renewal, MPC would be given a chance to review the application a second time. The renewal date for the sign is September 30, 2015.

The sign in question has been in place for a considerable amount of time and has not been the subject of any complaints to date. It has been used over this time for General Advertising not just Point of Sale Advertising as noted in the LUB requirements. The applicant has remained co-operative with Administration in keeping his sign permits paid and in good order. The intent of original application was to bring this sign into full compliance at this location and provide Administration with input on the role of portable



	signs in the Downtown area. Should MPC approve the renewal, no further circulation would be required, and would be given a chance to evaluate the renewal at the next expiry date.
Legislation / Authority:	Taber LUB 4-2006, Section 3. 21 (a-h)
Strategic Plan Alignment:	No close alignment.
Financial Implication:	N/A
Service Level / Staff Resource Implication:	Applications for portable sign applications are part of the ongoing responsibilities of the Planning and Economic Development Department.
Justification:	The current sign has been in place for a considerable amount of time without complaint.
Alternative(s):	<p>1. That the MPC approve the renewal of application DP 15-28, LED Super Signs, Portable Sign, 5501 48 Ave, Lot 2, Block 7, Plan 5638L, for 180 days with amendments to the attached conditions.</p> <p>2. That the MPC could not approve the renewal of application, DP 15-28, LED Super Signs, Portable Sign, 5505 48 Ave, Lot 2, Block 7, Plan 5638L, with reasons.</p>

Attachment(s):	Original Application package Development Permit
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APPROVALS:	
Originated By:	Lorraine Belanger



Chief Administrative Officer (CAO) or Designate:	
---	--

Renewal



**TOWN OF TABER
APPLICATION FOR PORTABLE SIGN PERMIT**

I/We hereby make application for a sign permit under the provision of Land Use Bylaw No. 4-2006 in accordance with the plans and supporting information submitted herewith and which forms part of this application.

LOCATION OF SIGN: Kost Fire Safety 5501 48 ave

APPLICANT: LED Super Signs PHONE: 315-3214
ADDRESS: 5064 42 ave Taber Alberta T26 1B1

REGISTERED LANDOWNER: Kost Fire Safety PHONE: 223-1500
ADDRESS: 5501 48 ave Taber AB T2G 1S5

Signature of Registered Landowner consenting to the placement of a portable sign on this parcel:

Print name: Irene Volk Signature: [Signature]

SIGN OWNER'S NAME: Wilmer Dueck PHONE: 315 3214
ADDRESS: [Redacted]

REASON/PURPOSE FOR ADVERTISEMENT: General Advertising

Start Date: April 1/15 End Date: Sept. 30/15 Number of Days: 6 months

I CERTIFY THAT THE REGISTERED OWNER OF THE LAND DESCRIBED ABOVE IS AWARE OF THIS APPLICATION.

I HAVE READ THE CONDITIONS LISTED ON THE BACK OF THIS FORM, AND I AM FULLY AWARE THAT ANY PERMIT APPROVED AND ISSUED IS SUBJECT TO REVOCATION AT ANY TIME. WHERE ANY PORTABLE SIGN IS FOUND TO BE IN CONTRAVENTION OF ANY ONE OF THE PROVISIONS OF THE CONDITIONS, THE DEVELOPMENT OFFICER SHALL:

- A) GIVE NOTICE IN WRITING TO THE SIGN OWNER OR OWNER OF THE PARCEL OF LAND UPON WHICH THE SIGN IS LOCATED DIRECTING RECTIFICATION OF THE CONTRAVENTION.
- B) HAVE REMOVED THE SAID SIGN IN THE EVENT THE SIGN CONTINUES TO CONTRAVENE THE PROVISIONS OF THE CONDITIONS 24 HOURS AFTER RECEIPT OF THE NOTIFICATION. COSTS FOR SIGN REMOVAL SHALL BE BORN BY THE SIGN OWNER.

THE TOWN SHALL NOT BE LIABLE NOR RESPONSIBLE IN ANY WAY, FOR ANY LOSS OF, OR DAMAGE OR INJURY TO, ANY PROPERTY BELONGING TO THE GRANTEE, OR TO ANY AGENT, OR EMPLOYEE OF THE GRANTEE, OR TO ANY PERSON, NOR SHALL THE TOWN BE LIABLE NOR RESPONSIBLE IN ANY WAY, FOR ANY PERSONAL INJURY OR DEATH THAT MAY BE SUFFERED OR SUSTAINED BY THE GRANTEE, OR ANY AGENT OR EMPLOYEE OF THE GRANTEE, OR ANY OTHER PERSON WHO MAY BE OR COME UPON THE SAID LANDS. THE GRANTEE SHALL INDEMNIFY AND SAVE HARMLESS THE TOWN OF AND FROM ALL LIABILITIES, FINES, SUITS, CLAIMS, DEMANDS AND ACTIONS OF ANY KIND OR NATURE WHICH MAY BE BROUGHT AGAINST THE TOWN, ITS AGENTS OR EMPLOYEES, ARISING FROM THIS PERMIT WHETHER ARISING BY REASON OF ANY BREACH, VIOLATION OR NON-PERFORMANCE BY THE GRANTEE OF ANY OF THE COVENANTS, TERMS OR PROVISIONS HEREOF, OR ARISING BY REASON OF THE ACT OR NEGLIGENCE OF EITHER THE GRANTEE, ITS AGENTS OR EMPLOYEES. THE GRANTEE'S INDEMNIFICATION OF THE TOWN SHALL SURVIVE ANY TERMINATION OF THIS PERMIT, NOTWITHSTANDING ANYTHING HEREIN CONTAINED TO THE CONTRARY.

DATE: Mar 30/15 SIGNED: [Signature]
Applicant

THIS PERMIT SHALL BE IN EFFECT WITH THE SIGNATURE OF THE DEVELOPMENT OFFICER

SIGNED: _____
Development Officer

THE TOWN OF TABER LAND USE BYLAW June 12, 2006

SECTION 3: General Provisions (for all Districts)

21. Signs

(a) A Development Permit shall be required for all signs, unless otherwise specified in this section.

(b) All signs shall be related to point-of-sale advertising, unless otherwise specified in this section or waived by the Municipal Planning Commission.

(d) The Development Officer may require the removal of any sign which in the opinion of the Development Officer is unsightly or is in such a state of disrepair as to constitute a hazard.

(e) Quality, aesthetic character and finishing of sign construction shall be to the satisfaction of the Development Officer. The area around sign structures shall be kept clean and free of overgrown vegetation, and free from refuse material as a condition of any sign permit.

(f) No person shall erect or place a sign so that it would be considered, in the opinion of the Development Officer, to be a traffic hazard, or distract/obstruct the vision of persons driving motor vehicles.

(g) No signs are allowed on public property without approval from the Development Authority in addition to any permission granted by a relevant public agency.

(h) Portable signs may be allowed, subject to the following:

(i) No portable sign structures are allowed on Town land unless consent is granted by Council. If Council consents to allow a portable sign on Town land, application for a portable sign development permit shall be made and shall be subject to all other relevant provisions of the Land Use By-law, except that Council may be permitted more than one portable sign per parcel if those portable signs are separated by no less than 46 metres measured along the front lot line.

(ii) No portable signs are allowed within 46 metres of a residential district.

(iii) The sign face of each portable sign shall have maximum dimensions of 2.5 metres by 1.7 metres.

(iv) Portable signs shall have a maximum height of 3.5 metres above grade.

(v) Portable signs shall not be fitted with any flasher, animator, or revolving beacon.

(vi) A maximum of one portable sign structure per parcel may be allowed on a commercial or industrial parcel for a period or periods of time not to exceed a total of 180 days in each calendar year. Each portable sign shall be separated from other portable signs by no less than 46 metres, measured along the front lot line and shall be located entirely on the parcel. Approved signs not located completely within the property line may be removed and impounded by a Development Officer or their designate.

(vii) A maximum of one portable sign structure per parcel may be permitted on a commercial or industrial parcel for periods of time not to exceed a total of 180 days. Subsequent to the 180 day period the permit may be renewed at no cost provided there are no complaints with regard to the placement of the sign. The Development Authority or Development Officer may also revoke the permit after 180 day time period. Each portable sign shall be separated from other portable signs by no less than 46 metres, measured along the front lot line and shall be located entirely on the parcel. Approved signs not located completely within the property line may be removed or impounded by the Development Officer or their designate.

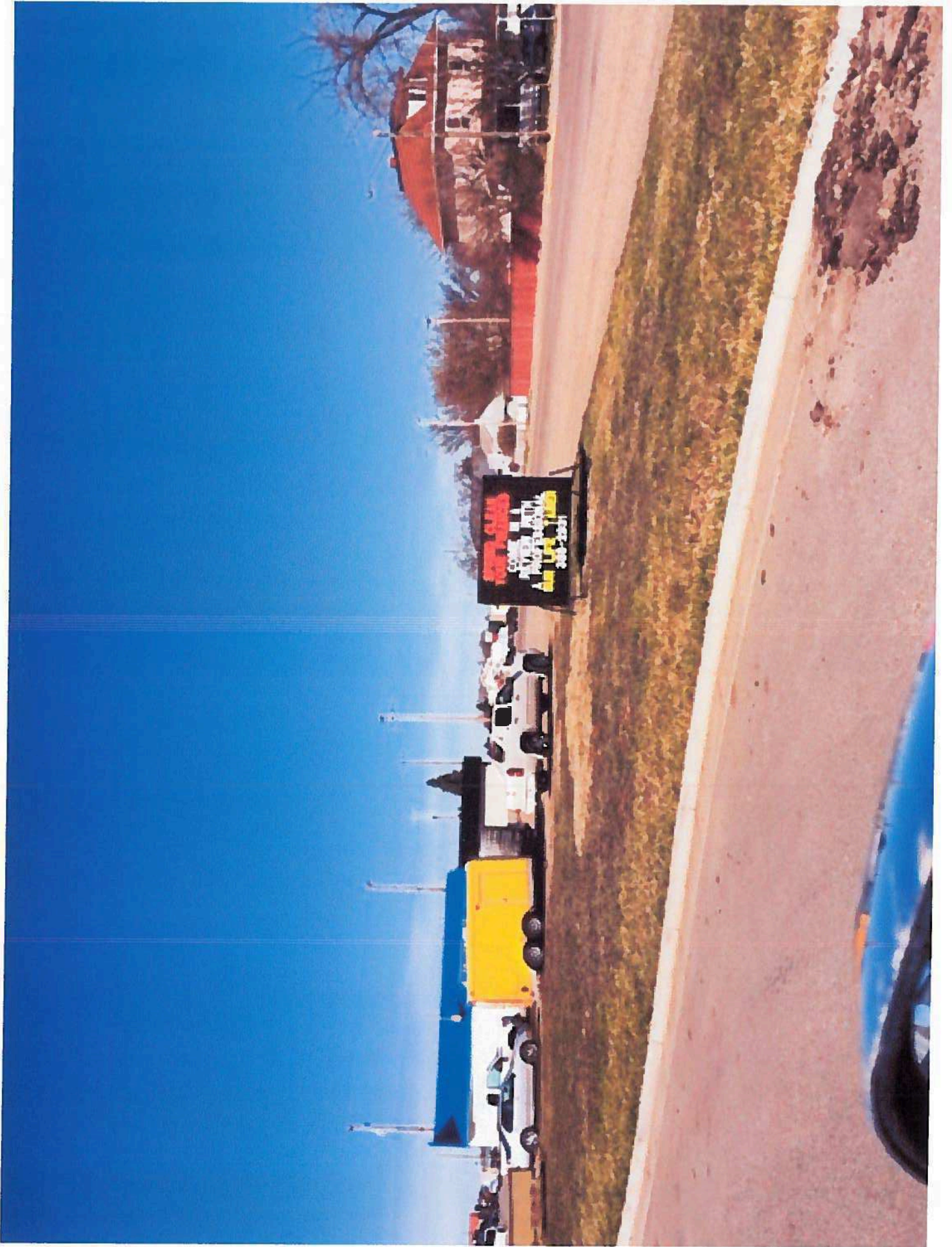
(viii) All portable signs shall be kept in good repair at all times. Any portable sign which, in the opinion of the Development Officer, is not kept in good repair may be removed and impounded at the discretion of the Development Authority/Officer. The Development Officer shall generally give 48 hours notice to the owner of the portable sign of a decision to remove the portable sign that is no longer in good repair unless the sign is deemed to be a safety hazard, in which case the sign may be removed without notice.

(ix) All portable signs shall have the name and phone number of the sign owner permanently affixed to the sign in a visually prominent location on the sign.

(x) A portable sign shall be removed on or before the expiry date noted on the portable sign development permit. Any portable sign not removed by the expiry date may be removed and impounded by a development Officer or their designate.

(xi) Portable signs not approved by the Town will be removed and impounded by a Development Officer or their designate.

(xii) Release of any impounded portable sign shall be subject to a fee established by resolution of Council.





**DEVELOPMENT PERMIT
FORM B**



Planning Department
A4900-50 Street
Taber AB T1G 1T1
ph: (403) 223-5500
fx: (403) 223-5530
email: planning@taber.ca

PERMIT NO. 15-028 ZONING: DT
ISSUE DATE: May 21, 2015 ROLL NO. 4855020

Applicant

Name: LED Super Signs
Address: Box 5064 42 Ave, Taber, AB, T1G 1B1
Tel: 403-315-3214

Owner of Land

Gailenda Holdings Inc
677 14 St. SW, Medicine Hat, AB, T1A 4V5

Location

Municipal Address: 5505 48 AVE
Legal Description: Lot: 3
Block: 7 Plan: 5638L

Description of Work: Portable Sign, as per DP 15-028, Discretionary Use
Downtown Commercial, DT.

Permit Conditions (see Standard Conditions on Reverse)

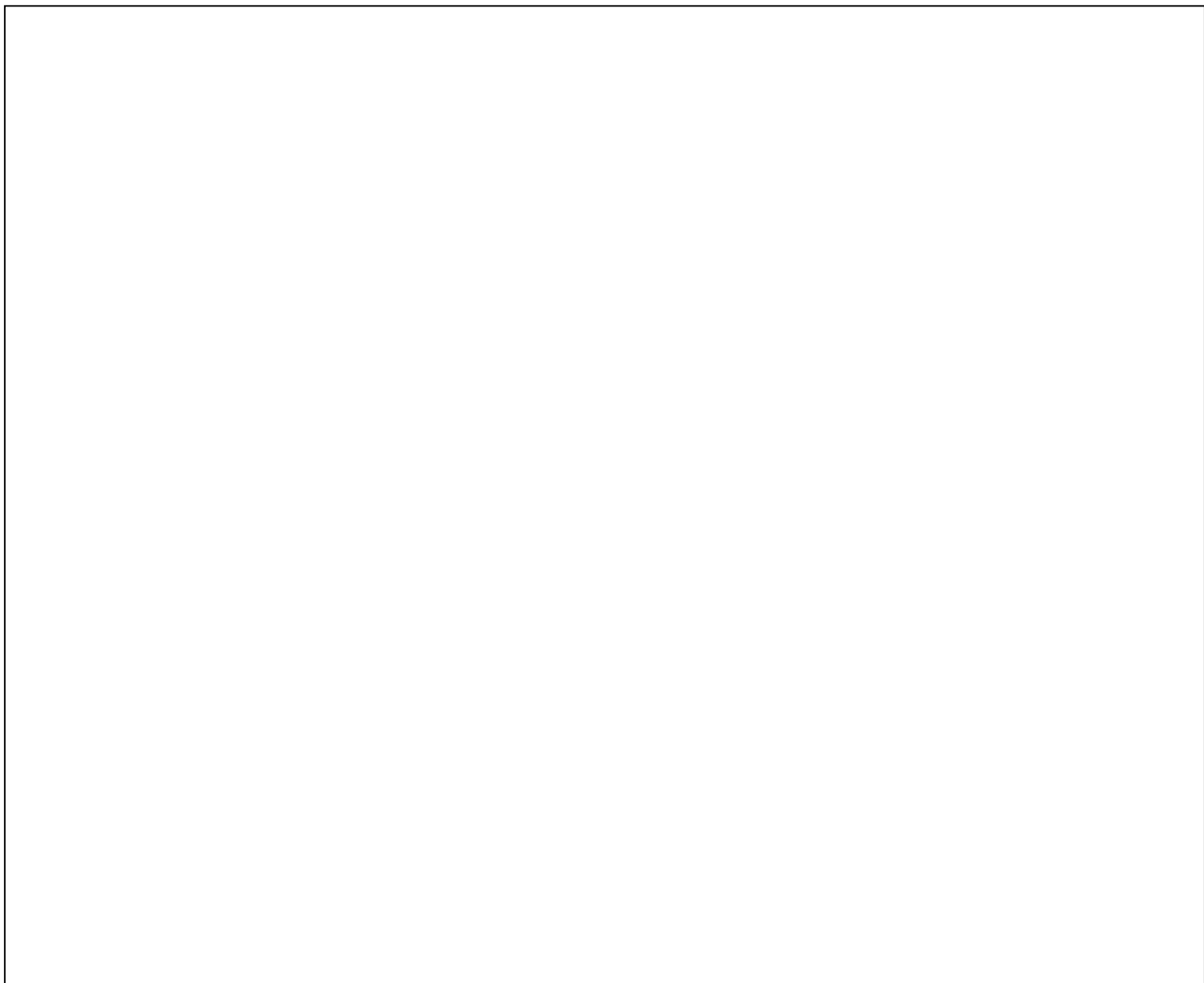
1. The permit is for the portable sign shown in the attached application,
2. That MPC has hereby waived the requirement under the Town of Taber LUB 4-2006, Sec3(21)(b) to allow for third party advertising on the sign,
3. **The permit is to be reviewed for renewal in 180 days by the Municipal Planning Commission,**
4. All regulations noted on the attached application are considered to be conditions of the permit.

Issued by:


Development Officer

The personal information provided as part of this application is collected under Section 303 and 295 of the Municipal Government Act and in accordance with Section 32(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, Land Use Bylaw enforcement and property assessment purposes. The name of the permit holder and the nature of the permit are available to the public upon request.

If you have any questions about the collection or use of the personal information provided, please contact the Town of Taber FOIP Coordinator at A4900 – 50th Street, Taber, Alberta T1G 1T1 or phone at (403) 223-5500.





Development Authority Request for Decision

Meeting Date: 9/21/2015

Subject: DP 15-087 1904098 AB LTD -PERMANENT ELECTRONIC SIGN

Recommendation:

1. The sign design, display and layout must be approved by Alberta Transportation prior to installation,
2. The sign must meet any applicable Provincial Signage requirements,
3. The J&L Auto sales sign must be removed prior to construction of the new electronic sign,
4. The new electronic sign must maintain a 3m clearance from the bottom of the sign to ground level,
5. The applicant must update the lease with the Town of Taber for use of the land the sign is located on,
6. The Electronic Message Centre (EMC) approved under this permit must comply with the following requirements at all times:
 - a) Each display must last not less than 8 seconds,
 - b) Each display must be a self contained message with no continuation of one message into a subsequent message,
 - c) The display must be static with no motion pictures, scrolling, flashing or emission of intermittent light, animation, or movement between displays and the change between displays must be immediate,
 - d) The display must be self dimming for night time conditions and the level of lighting at all times must be to the satisfaction of the Development Authority who may direct the level of lighting be adjusted,
 - e) The EMC must be monitored by the Applicant at all times and in the event of a malfunction, the EMC must be designed to either
 - i) Provide a continuous static display without varying or increasing the lighting level or
 - ii) Provide no display
7. The EMC must not employ any supplementary flashing or intermittent lighting either as part of the sign or on its supporting structure.
8. Prior to installation of the EMC the applicant must apply for a Building and Electric Permit where required.

Background:

An application for a permanent freestanding electronic sign at this site was originally made in January 2013 and approved by MPC with the conditions attached, as per Sec2. 21(q) of the Land Use Bylaw. This section states all Portable and permanent electronic changeable copy signs will be permitted by the Municipal Planning Commission.



	<p>Since this time, the Development Permit has lapsed, the owner of the Shell Station has changed as well as the messages on the sign itself, thus resulting in the application coming back to MPC for a second time for review.</p> <p>In the current design of the sign, there are 2 issues that are in non-conformity with the Land Use Bylaw. The first is the lower sign for J&L Auto sales does not have a Development Permit and does not meet the 3m minimum clearance from ground level. (Sec 2. 21 (a) and Sec. 2. 21 (i)(ii) state the following “ A Development Permit is required for all signs unless otherwise specified” and “ No part of a sign shall be less than 3m above grade”).</p> <p>Administration has no issues with the new electronic sign itself, subject to the conditions attached. However in order for the sign to be compliant under the Land Use Bylaw, the J&L Auto Sales Sign would need to be removed prior to the installation of the new sign.</p> <p>It is important to note that presently the land that the sign is located on is being leased from the Town of Taber, and the current land owner will need to update the lease.</p>
Legislation / Authority:	Town of Taber Land Use Bylaw 4-2006, Sec 2. 21 (a) and Sec. 2. 21(i) (II)
Strategic Plan Alignment:	N/A
Financial Implication:	The application fee for the Electronic Sign is \$210.
Service Level / Staff Resource Implication:	Processing Development Permit Applications is part of the ongoing responsibilities of the Planning and Economic Development Department.
Justification:	The electronic sign would be a modern enhancement to a major traffic corridor in the Town.
Alternative(s):	<ol style="list-style-type: none"> 1. MPC could approve the application with amendments to the recommendations. 2. MPC could not approve the application, with reasons.



Attachment(s):	Site plan and Drawing Application Current photo of sign
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APPROVALS:	
Originated By:	Lorraine Belanger
Chief Administrative Officer (CAO) or Designate:	

46TH AVENUE
SERVICE ROAD)
(formerly PLAN NO. 951 0236)

HORIZON
1 MILE MARK

BARTON DRIVE

Fd. NO. MK.
Re-est.
Pl. 1. (top half only)

R=123.600
dt 11' 11" 06"

R=123.600
dt 4' 56" 24"

Fd. L., E.C
c.s. 0.35

Highway 3

Electrical Service

CONCRETE SWALE

ROAD SERVICES

LOT 6
0.133 ha.

BLOCK 2

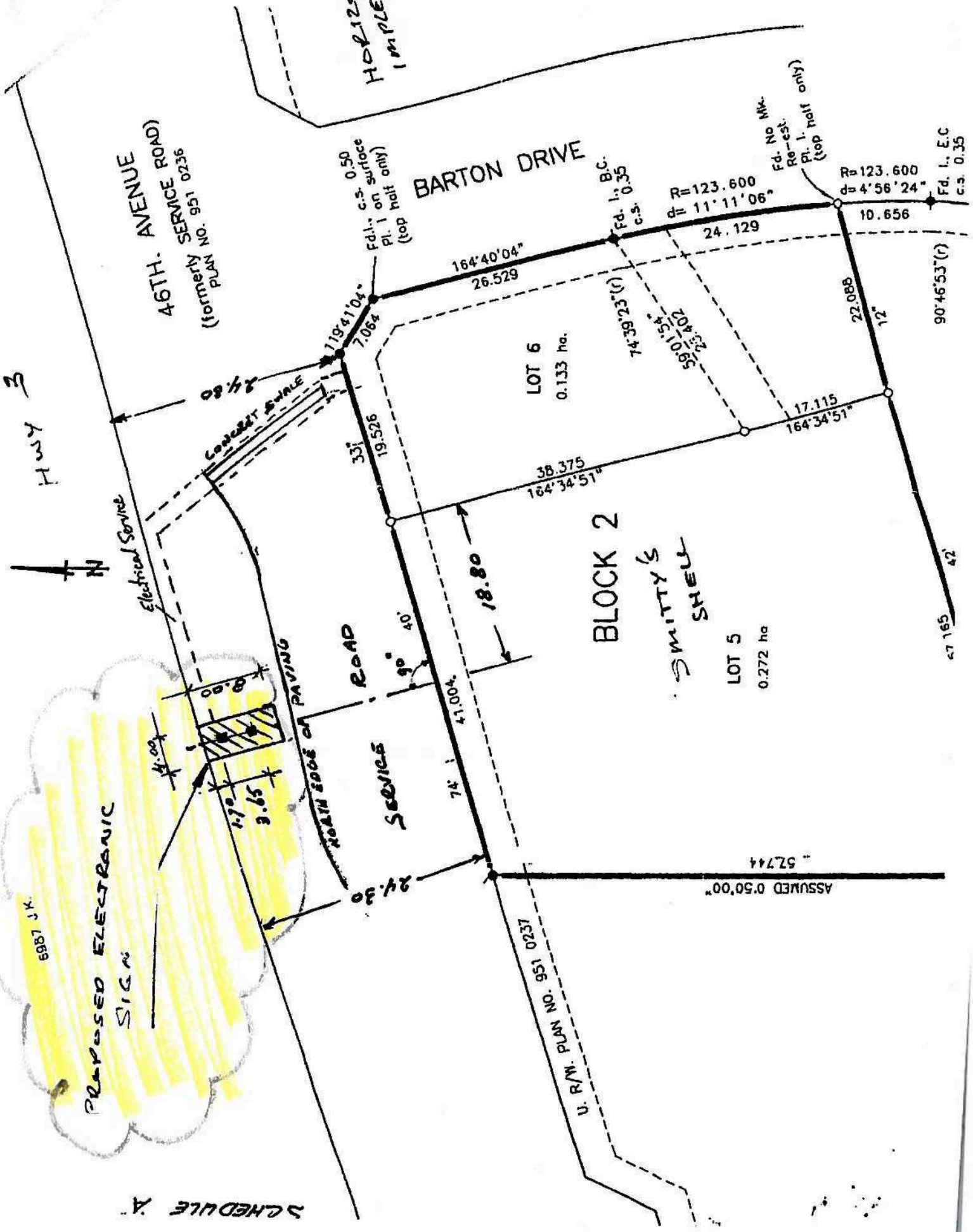
SMITTY'S
SHELL

LOT 5
0.272 ha

PROPOSED ELECTRONIC
SIGN

6987 J.K.

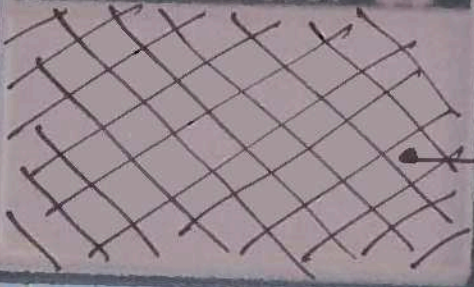
SCHEDULE A



Smitty's
RESTAURANT



RV Park
Full Hook-Ups →
See Shell Clerk for Details
☎ 223-5997



PROPOSED ELECTRONIC
SIGN 4' X 8'



Application For A Development Permit
FORM A
(OFFICE USE ONLY)



Planning Department
A4900-50 Street
Taber AB T1G 1T1
ph: (403) 223-5500
fx: (403) 223-5530
email: planning@taber.ca

Land Use District: _____ Roll Number: _____ Application Number: _____
Date of Application: SEPT 01, 2015 Date Application Deemed Complete: _____

I hereby make application under the provisions of the Land Use Bylaw for a Development Permit in accordance with the plans and supporting information submitted herewith and which form part of this application.

New Construction: Addition: Renovation: Change of Use: Moved In Building:
Discretionary Use: Waiver: Other: (explain: _____)

Applicant: 1904098 ALBERTA LTD Phone Res: _____ Bus: _____
Address: _____ Cell: _____ Fax: _____
Postal Code: _____

Registered Owner: TOWN OF TABER Phone Res: _____ Bus: _____
Address: _____ Cell: _____ Fax: _____
Postal Code: _____

Legal Description of Property to be Developed: _____ Lot: _____ Block: _____ Plan: _____

Municipal Address: ROAD RIGHT-OF-WAY NORTHWEST OF INTERSECTION
46 AVE & BARTON DR NE (SEE ATTACHED AGREEMENT)

Proposed Use of Site: _____
(describe in detail - attach additional information if necessary)
EXISTING SIGN BLANK AREA TO BE
FILLED WITH ELECTRONIC SIGN BOTH SIDES
4'x8'

Existing Use of Site: EXISTING SIGN

If Development is Temporary, State for What Period _____
Adjacent to Highway: Yes: No:

Proposed Setback from Property Lines:
Front Yard: _____ Side Yards: 1 2 Rear Yard: _____

Present Use of Adjacent Properties: _____

Access:

	Existing	Proposed	N/A
Provincial Highway # _____			
Municipal Road	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Internal Subdivision Road	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Undeveloped Road Allowance	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Private Road (i.e. Condominium)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify) _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Services:

Water Supply

Municipally owned and operated piped water system	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify) _____			

Sewage Disposal

Municipally owned and operated sanitary sewer system	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify) _____			

Storm Drainage

Municipal Sewers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ditches	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Swales	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Additional Information (Based on Proposed Development)

- 2 Copies of Site Plan Attached? yes no
- Drainage Plan/Elevations Included? yes no
- Will you be applying for a Building Permit? yes no
- Will you be applying for a Business License? yes no

Lot Width: _____

Lot Depth: _____

Lot Area: _____

New Construction Area (ft²) _____

Lot Coverage By New Construction (%): _____

Total Site Coverage (%) _____

Number of Loading Spaces: _____

Building Height: _____

Driveway Width: _____

Landscaped Open Space (%): _____

Number of Units: _____

No. Off Street Parking Spaces: _____

Estimated Commencement Date: OCT. 10 2015 Estimated Completion Date: NOV 01, 2015

Application Fee: _____ Construction Value \$: 15,000.00

NOTE: THIS DEVELOPMENT PERMIT APPLICATION WILL NOT BE ACCEPTED UNLESS THE APPROPRIATE FEE IS SUBMITTED WITH THE APPLICATION.

The personal information provided as part of this application is collected under Section 303 and 296 of the Municipal Government Act and in accordance with Section 32(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, Land Use Bylaw enforcement and property assessment purposes. The name of the permit holder and the nature of the permit are available to the public upon request. If you have any questions about the collection or use of the personal information provided, please contact the Town of Taber FOIP Coordinator at A4800 - 50th Street, Taber, Alberta T1G 1T1 or phone (403) 223-5500.

I swear/ affirm the information contained in this application is true to the best of my knowledge, and that no further progress will occur on the development until a decision on the permit has been rendered.

Signature of Applicant or Agent: _____

Print Name HENK DE VRIE GEN

Letter of Authorization from _____

Registered Owner or
Signature of Registered Owner

(if different from Applicant): _____

Print Name KLAAS WOLIJWYK

Smitty's
RESTAURANT



RV Park
Full Hook-Ups
See Shell Clerk for Details
403-223-5997



J&L
RV, CAR, TRUCK
TRAILER SALES
403-795-8723

← **BEHIND SMITTY'S**

Get
10X
more miles per gallon
on all grades of Shell fuel.

PORK ROAST \$2/LB
2L PEPSI \$1
BUTTER 1LB \$3
LEAN GROUND BEEF \$3.99/LB
TRAY BUN \$2/DZ



Development Authority Request for Decision

Meeting Date: September 21, 2105	
Subject: Building Permit Statistics - August 2015	
Recommendation:	The Municipal Planning Commission accept the report on the August 2015 Building Permit Statistics as information.
Background:	Building Permit Statistics are compiled monthly and provided to the Municipal Planning Commission as an information item.
Legislation / Authority:	Bylaw 1-356(14)(j)
Strategic Plan Alignment:	N/A
Financial Implication:	N/A
Service Level / Staff Resource Implication:	The task is part of the mandate of the Planning and Economic Development Department.
Justification:	The Statistical records are an important record of building and business activity.
Alternative(s):	MPC could accept the information with amendments.

Attachment(s):	Building Permit Statistics
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APPROVALS:	
Originated By:	Lorraine Belanger
Chief Administrative Officer (CAO) or Designate:	



TOWN OF TABER

BUILDING PERMIT STATISTICS
Aug-15

	2015 AUGUST			2014 AUGUST		
	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value
SINGLE FAMILY DWELLINGS				2	2	512,175
2 FAMILY DWELLING						
SEMI DETACHED DWELLING						
MULTI FAMILY DWELLING						
RESIDENTIAL ADDITIONS & ACCESS.	1		5,880	8		177,240
GARAGES & CARPORTS	2		65,380	1		29,400
MANUFACTURED HOMES						
SWIMMING POOLS	1		5,000			
FARM & AGRICULTURE BUILDINGS						
NEW COMMERCIAL						
COMMERCIAL ADDITIONS/ALTER						
NEW INDUSTRIAL						
INDUSTRIAL ADDITIONS/ALTER						
NEW INSTITUTIONAL						
INSTITUTIONAL ADDITIONS/ALTER	1		270,000			
MOBILE HOME PARK						
DEMOLITIONS						
OCCUPANCY/INSPECTION ONLY						
PERMANENT SIGNS						
	5	0	346,260	11	2	718,815

	2015 YEAR TO DATE (08 2015)			2014 YEAR TO DATE (08 2014)		
	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value
SINGLE FAMILY DWELLINGS	14	14	2,827,830	17	17	4,217,666
2 FAMILY DWELLING	1	2	265,160	1	2	171,625
SEMI DETACHED DWELLING	2	2	299,890			
MULTI FAMILY DWELLING	1	4	114,333			
RESIDENTIAL ADDITIONS & ACCESS.	37		503,308	27		557,864
GARAGES & CARPORTS	13		348,340	10		210,481
MANUFACTURED HOMES						
SWIMMING POOLS	1		5,000			
FARM & AGRICULTURE BUILDINGS						
NEW COMMERCIAL						
COMMERCIAL ADDITIONS/ALTER	3		11,000	2		12,990
NEW INDUSTRIAL	2		778,900			
INDUSTRIAL ADDITIONS/ALTER	7		791,043	4		737,920
NEW INSTITUTIONAL				2		589,172
INSTITUTIONAL ADDITIONS/ALTER	6		392,600	2		7,665,370
MOBILE HOME PARK						
DEMOLITIONS	6		30,000	3		15,000
OCCUPANCY/INSPECTION ONLY						
PERMANENT SIGNS	2		26,000	3		27,200
	95	22	6,393,404	71	19	14,205,288

Town of Taber

Building Permits AUGUST 2015

<i>Bldg Permit #</i>	<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TT BB 0067 15 MU	21-Aug-15	STEVE DEBIENNE	SAME	
<i>Project Site Address</i>	<i>Project Description</i>		<i>Value of Project</i>	<i>Tax Roll #</i>
4922 58 AVE	ABOVE GROUND POOL		\$5,000.00	5749370

<i>Bldg Permit #</i>	<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TT BB 0098 15 MU	05-Aug-15	TOWN OF TABER	VENTURE HOLDINGS LTD	
<i>Project Site Address</i>	<i>Project Description</i>		<i>Value of Project</i>	<i>Tax Roll #</i>
A 4720 50 ST	DRESSING ROOM ADDTION TO ARENA		\$270,000.00	4745700

<i>Bldg Permit #</i>	<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TT BB 0099 15 MU	19-Aug-15	RYAN CANNADY	SELF	
<i>Project Site Address</i>	<i>Project Description</i>		<i>Value of Project</i>	<i>Tax Roll #</i>
4918 61 AVE	DETACHED GARAGE 1006 SF		\$37,660.00	6049200

<i>Bldg Permit #</i>	<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TT BB 0101 15 MU	20-Aug-15	BRETT MCCOY	MK BUILDERS	
<i>Project Site Address</i>	<i>Project Description</i>		<i>Value of Project</i>	<i>Tax Roll #</i>
4209 56 AV	DECK 196 SF		\$5,880.00	5642120

<i>Bldg Permit #</i>	<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TT BB 0102 15 MU	27-Aug-15	AGATHA WALL	SOUTH SAVANNAH	
<i>Project Site Address</i>	<i>Project Description</i>		<i>Value of Project</i>	<i>Tax Roll #</i>
5617 55 ST	DETACHED GARAGE 792SF		\$27,720.00	5655030

GARAGES AND CARPORTS

2 Permits

19-Aug-15 \$37,660.00

27-Aug-15 \$27,720.00

\$65,380.00

INSTITUTIONAL ADDITIONS OR ALTERATION

1 Permit

05-Aug-15 \$270,000.00

\$270,000.00

RESIDENTIAL ADDITION AND ACCESS

1 Permit

20-Aug-15 \$5,880.00

\$5,880.00

SWIMMING POOLS

1 Permit

21-Aug-15 \$5,000.00

\$5,000.00

\$346,260.00