



## **AGENDA**

REGULAR MEETING OF THE DEVELOPMENT AUTHORITY OF THE TOWN OF TABER, TO BE HELD IN THE COUNCIL CHAMBERS, ADMINISTRATION BUILDING, ON MONDAY, JULY 11, 2022 AT 1:30 PM.

	<b><u>MOTION</u></b>
<b>1. CALL TO ORDER</b>	<b>X</b>
<b>2. ADOPTION OF THE AGENDA</b>	<b>X</b>
<b>3. ADOPTION OF THE MINUTES</b>	
ITEM No.3.1 Minutes for the June 20, 2022 Regular Planning Commision Meeting	<b>X</b>
<b>4. BUSINESS ARISING FROM THE MINUTES</b>	<b>X</b>
<b>5. ACTION ITEMS</b>	
ITEM No.5.1 DP 22-063 4605 Heritage Drive - Side Yard Setback Variance	<b>X</b>
ITEM No.5.2 DP 22-065 - 5 Westview Court - Deck and Driveway Variances	<b>X</b>
ITEM No.5.3 Building Permit Statistics	
ITEM No.5.4 Standing Items	
<b>6. DELEGATIONS</b>	
<b>7. MEDIA INQUIRIES</b>	
<b>8. CLOSED SESSION</b>	
<b>9. OPEN SESSION</b>	
<b>10. CLOSE OF MEETING</b>	<b>X</b>



## Development Authority Request for Decision

**Meeting Date:** July, 11/2022

**Subject:**

Minutes for the June 20, 2022 Regular Planning Commission Meeting

**Recommendation:**

That the Municipal Planning Commission adopts the minutes of the Regular Municipal Planning Commission meeting held June 20, 2022 as presented.

**Background:**

The minutes of the regular Municipal Planning Commission meeting held on June 20, 2022 are attached.

**Legislation / Authority:**

Section 203 of the Municipal Government Act allows the Municipal Planning Commission to adopt the minutes and perform other duties as delegated by Council.

**Strategic Plan Alignment:**

N/A

**Financial Implication:**

There is no financial implication for the creation of minutes.

**Service Level / Staff Resource Implication:**

Time was required by Administration to record the minutes of the Municipal Planning Commission's regular meeting.

**Justification:**

Adoption of the minutes will provide a record of the regular meeting of the Municipal Planning Commission meeting held on June 20, 2022.

**Alternative(s):**

Alternative #1: That the Municipal Planning Commission adopts the minutes of the regular Municipal Planning Commission meeting held on June 20, 2022 with amendments.

**Attachment(s):** Minutes of the June 20, 2022 Regular Municipal Planning Commission Meeting

**APPROVALS:**

**Originated By:**

Celina Newberry

**Chief Administrative Officer (CAO) or Designate:** \_\_\_\_\_

MINUTES OF THE REGULAR MEETING OF THE DEVELOPMENT  
AUTHORITY OF THE TOWN OF TABER, IN THE PROVINCE OF  
ALBERTA, HELD IN THE COUNCIL CHAMBERS, ADMINISTRATION  
BUILDING, ON MONDAY, JUNE 20, 2022, AT 1:30 PM.

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**Chairperson**

Roger Miles

**Vice Chairperson**

Ron Hadden

**Members**

Jack Brewin

Cody Fletcher

Monica McLean - Absent

**Chief Administrative Officer**

Derrin Thibault

**Staff**

Chris Eagan

Celina Newberry

**CALL TO ORDER**

The meeting was called to order by R. Miles at 1:30 pm.

**ADOPTION OF THE AGENDA**

RES 42/2022            MOVED by J. Brewin that the Municipal Planning  
Commission adopts the Agenda of the regular  
Municipal Planning Commission meeting held on  
June 20, 2022 as presented.

CARRIED UNANIMOUSLY

**ADOPTION OF THE MINUTES**

**Minutes for the May 16, 2022 Regular Planning Commission  
Meeting**

RES 43/2022            MOVED by R. Hadden that the Municipal Planning Commission adopts the minutes of the Regular Municipal Planning Commission meeting held May 16, 2022 as presented.

CARRIED UNANIMOUSLY

**BUSINESS ARISING FROM THE MINUTES**

None

**ACTION ITEMS**

**HO 22-007 - 5318 52 Street - Salon**

RES 44/2022            MOVED by R. Hadden that the Municipal Planning Commission approves Home Occupation Permit HO 22-007 for a Salon at 5318 52 Street, Lot 9, Block 44, Plan 266JK, with the following nine (9) conditions:

1. The development shall conform to the district requirements of the Residential Single & Two Dwelling District (R-2), the Home Occupation conditions in Town of Taber Land Use Bylaw 13-2020 and the Town of Taber Business License Bylaw 08-2022;
2. A fire inspection is required;
3. If required, the applicant must obtain a Building Permit to ensure the development complies with the Alberta Fire Code and Alberta Building Code. It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical and Gas permits;
4. The applicant must maintain Quiet Hours as per the Community Standards Bylaw;
5. The applicant must not cause electronic interference, dust, noise, odour, smoke, or anything of offensive or objectionable nature, which is detectable to normal sensory perception, outside of the building containing the use;
6. The applicant must obtain a Town of Taber Business License;

7. The applicant must register the business with Alberta Health Services by going to <https://ephisahs.albertahealthservices.ca/create-case-psn/>.
8. Any intensification of the use will require a new development permit application, this includes but is not limited to changes to the number of client visits, hours of operation, parking changes, number of people working at the property and location of the business activity.
9. The approval shall be applicable only for a period of five (5) years after which a new home occupation permit must be applied for.

CARRIED UNANIMOUSLY

**DP 22-046 - 40 Sage Brush Avenue - Multi-Unit**

RES 45/2022

MOVED by J. Brewin that the Municipal Planning Commission approves Development Permit DP 22-045 for Multi-Unit Residence at 40 Sage Brush Avenue, Lot 48, Block 5, Plan 2110220, with the following twelve (12) conditions:

1. The site is developed as per the site plan submitted;
2. The development conforms to the district requirements of the Residential Single and Two Dwelling District (R-2);
3. A Party Wall Agreement must be registered on the titles of Lots 48-49, Block 5, Plan 2110220;
4. A landscaping plan shall be provided to the Development Authority demonstrating that the landscaping requirements for Multi-Unit Development have been met prior to construction;
5. A driveway width variance of 2.61 metres was granted by the Municipal Planning Commission on June 20, 2022. The driveway width has been varied to 7.01 metres;
6. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the

responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;

7. If sprinkler permits are required under the Alberta Building Code, a separate Building Permit application must be made in conjunction with the permit for the building, and a copy provided to the Town of Taber; New Home Warranty documentation must be supplied prior to the issuance of the Building Permit;
8. The curb stop shall only be operated by the Town of Taber's Public Services. Any attempt to contravene this may be subject to a fine as outlined in Bylaw 20-2020 part 8.0. The water curb stop shall be set at finished grade elevation to ensure accessibility by Public Services prior to installation of water metre and access to Town water. Public Services shall determine if water curb stop is acceptable and so advise the Town office prior to occupancy of the dwelling. As per Bylaw 20-2020 part 5.30, temporary water service for a maximum of 60 days must be arranged through the Town Office;
9. In accordance with Section 2.15.3(5) of the Land Use Bylaw 13-2020 a minimum of 2 parking spaces per residential unit are required with each space designated for a particular unit through signage.
10. The contractor commissioned for construction must have a valid Business License for the Town of Taber;
11. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust

is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021);

12. Applicant shall provide an updated real property report and obtain a compliance certificate prior to occupancy.

CARRIED UNANIMOUSLY

**DP 22-045 - 46 Sage Brush Avenue - Multi-Unit**

RES 46/2022

MOVED by J. Brewin that the Municipal Planning Commission approves Development Permit DP 22-045 for Multi-Unit Residence at 46 Sage Brush Avenue, Lot 49, Block 5, Plan 2110220, with the following twelve (12) conditions:

1. The site is developed as per the site plan submitted;
2. The development conforms to the district requirements of the Residential Single and Two Dwelling District (R-2);
3. A Party Wall Agreement must be registered on the titles of Lots 48-49, Block 5, Plan 2110220;
4. A landscaping plan shall be provided to the Development Authority demonstrating that the landscaping requirements for Multi-Unit Development have been met prior to construction;
5. A driveway width variance of 2.61 metres was granted by the Municipal Planning Commission on June 20, 2022. The driveway width has been varied to 7.01 metres;
6. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
7. If sprinkler permits are required under the Alberta Building Code, a separate Building Permit application must be made in

conjunction with the permit for the building, and a copy provided to the Town of Taber; New Home Warranty documentation must be supplied prior to the issuance of the Building Permit;

8. The curb stop shall only be operated by the Town of Taber's Public Services. Any attempt to contravene this may be subject to a fine as outlined in Bylaw 20-2020 part 8.0. The water curb stop shall be set at finished grade elevation to ensure accessibility by Public Services prior to installation of water metre and access to Town water. Public Services shall determine if water curb stop is acceptable and so advise the Town office prior to occupancy of the dwelling. As per Bylaw 20-2020 part 5.30, temporary water service for a maximum of 60 days must be arranged through the Town Office;
9. In accordance with Section 2.15.3(5) of the Land Use Bylaw 13-2020 a minimum of 2 parking spaces per residential unit are required with each space designated for a particular unit through signage.
10. The contractor commissioned for construction must have a valid Business License for the Town of Taber;
11. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021);
12. Applicant shall provide an updated real property report and obtain a compliance



certificate prior to occupancy.

CARRIED UNANIMOUSLY

**DP 22-051 - 118 Prairie Gold Street - Deck Variance**

RES 47/2022

MOVED by C. Fletcher that the Municipal Planning Commission approves Development Permit DP 22-051 for Deck Height Variance at 118 Prairie Gold Street, Lot 30, Block 5, Plan 1910155, with the following Eight (8) conditions:

1. The site is developed as per the site plan submitted;
2. The development conforms to the district requirements of the Residential Single & Two Dwelling District (R-2);
3. A deck height variance of 0.50 metres on May 16, 2022 by the Municipal Planning Commission. The maximum deck height is varied to 2.00 metres;
4. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
5. The architectural controls and vertical grade points must be approved by the developer,
6. The contractor commissioned for construction must have a valid Business License for the Town of Taber;
7. A lot drainage (grade) plan illustrating water will not accumulate at or near the buildings (positive drainage), nor accumulate on the lot, and will not adversely affect adjacent properties shall be produced by a qualified professional and supplied to the Town of Taber prior to the Building Permit being issued. In addition, the foundation must be staked by a qualified professional;
8. During construction, the site shall be maintained in a neat and orderly manner so as

to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021).

CARRIED UNANIMOUSLY

**DP 22-053 - Unit 36 6200 46 Avenue - Digital Menu Boards**

RES 48/2022

MOVED by R. Hadden that the Municipal Planning Commission approves Development Permit DP 22-053 for Digital Menu Boards at Unit 36 6200 46 Avenue, Lot 2, Block 4, Plan 0512581, with the following six (6) conditions:

1. The sign must meet any applicable Provincial Signage requirements;
2. The sign may only be located at the proposed locations as seen on the attached site plan;
3. The sign must adhere to all Digital Media and Illumination Rules as outlined in The Town of Taber's Land Use Bylaw 13-2020;
4. The sign must not employ any supplementary flashing or intermittent lighting either as part of the sign or on its supporting structure;
5. Prior to installation of the sign, the applicant must obtain a Building and Electrical Permit as required;
6. The signs must not display third party advertising.

CARRIED UNANIMOUSLY

## **DP 22-054 - 50 Sage Brush Avenue - Semi Detached with Suite**

RES 49/2022

MOVED by J. Brewin that the Municipal Planning Commission approves Development Permit DP 22-054 for Semi-detached with a Suite at 50 Sage Brush Avenue, Lot 13, Block 5, Plan 1810297, with the following sixteen (16) conditions:

1. The site is developed as per the attached site plan;
2. A Secondary Suite has been approved for development as per the attached site plan;
3. The applicant must provide three (3) on-site parking stalls with a minimum measurement of 3 metres by 6 metres each as per the attached site plan;
4. A Party Wall Agreement must be registered on the titles of Lots 13 & 14 , Block 5, Plan 1810297;
5. The development conforms to the district requirements of the Residential Single and Two Dwelling District (R-2),
6. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
7. New Home Warranty documentation must be supplied prior to the issuance of the Building Permit,
8. The applicant must ensure that the contractor commissioned for the construction has a valid Business License for the Town of Taber;
9. Prior to commencing construction, a landscaping plan must be submitted to, and approved by the Director of Planning & Economic Development. This landscaping plan must include soft-scaping, and indicate a 7.5m<sup>2</sup> outdoor amenity space for the secondary suite;
10. A lot drainage (grade) plan illustrating water will not accumulate at or near the buildings (positive drainage), nor accumulate on the lot,

and will not adversely affect adjacent properties shall be produced by a qualified professional and supplied to the Town of Taber prior to the Building Permit being issued. In addition, the foundation must be staked by a qualified professional;

- 11.** The architectural controls and vertical grade points must be approved by the developer;
- 12.** During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021);
- 13.** The curb stop shall only be operated by the Town of Taber's Public Services. Any attempt to contravene this may be subject to a fine as outlined in Bylaw 20-2020 part 8.0. The water curb stop shall be set at finished grade elevation to ensure accessibility by Public Services prior to installation of water metre and access to Town water. Public Services shall determine if water curb stop is acceptable and so advise the Town office prior to occupancy of the dwelling. As per Bylaw 20-2020 part 5.30, temporary water service for a maximum of 60 days must be arranged through the Town Office;
- 14.** In accordance with policy PLN-4, a \$2,500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets, sidewalks, or services as a result of construction of this building shall be restored to

- Town standards at the applicant's expense prior to issuance of an occupancy permit;
15. Prior to occupancy, the shallow utilities, curb and gutter must be installed to the satisfaction of the Development Authority;
  16. Prior to occupancy, the applicant will provide an Updated Real Property Report to the Town of Taber and obtain a compliance certificate.

CARRIED UNANIMOUSLY

**DP 22-055 - 54 Sage Brush Avenue - Semi-Detached with Suite**

RES 50/2022

MOVED by J. Brewin that the Municipal Planning Commission approves Development Permit DP 22-055 for Semi-Detached with Suite at 54 Sage Brush Avenue, Lot 14, Block 5, Plan 1810297, with the following sixteen (16) conditions:

1. The site is developed as per the attached site plan;
2. A Secondary Suite has been approved for development as per the attached site plan;
3. The applicant must provide three (3) on-site parking stalls with a minimum measurement of 3 metres by 6 metres each as per the attached site plan;
4. A Party Wall Agreement must be registered on the titles of Lots 13 & 14 , Block 5, Plan 1810297;
5. The development conforms to the district requirements of the Residential Single and Two Dwelling District (R-2),
6. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
7. New Home Warranty documentation must be supplied prior to the issuance of the Building Permit,

8. The applicant must ensure that the contractor commissioned for the construction has a valid Business License for the Town of Taber;
9. Prior to commencing construction, a landscaping plan must be submitted to, and approved by the Director of Planning & Community Services. This landscaping plan must include soft-scaping, and indicate a 7.5m<sup>2</sup> outdoor amenity space for the secondary suite;
10. A lot drainage (grade) plan illustrating water will not accumulate at or near the buildings (positive drainage), nor accumulate on the lot, and will not adversely affect adjacent properties shall be produced by a qualified professional and supplied to the Town of Taber prior to the Building Permit being issued. In addition, the foundation must be staked by a qualified professional;
11. The architectural controls and vertical grade points must be approved by the developer;
12. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021);
13. The curb stop shall only be operated by the Town of Taber's Public Services. Any attempt to contravene this may be subject to a fine as outlined in Bylaw 20-2020 part 8.0. The water curb stop shall be set at finished grade elevation to ensure accessibility by Public Services prior to installation of water metre and access to Town water. Public Services shall

determine if water curb stop is acceptable and so advise the Town office prior to occupancy of the dwelling. As per Bylaw 20-2020 part 5.30, temporary water service for a maximum of 60 days must be arranged through the Town Office;

14. In accordance with policy PLN-4, a \$2,500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets, sidewalks, or services as a result of construction of this building shall be restored to Town standards at the applicant's expense prior to issuance of an occupancy permit;
15. Prior to occupancy, the shallow utilities, curb and gutter must be installed to the satisfaction of the Development Authority;
16. Prior to occupancy, the applicant will provide an Updated Real Property Report to the Town of Taber and obtain a compliance certificate.

CARRIED UNANIMOUSLY

**DP 22-057 - 6003 54 Avenue - Bulk Fuel and Chemical Sales**

RES 51/2022

MOVED by R.Hadden that the Municipal Planning Commission approves Development Permit DP 22-057 for Bulk Fuel and Chemical Storage and Sales at 6003 54 Avenue Lots 9-10, 22-23, Block 1, Plan 3042JK, with the following nine (9) conditions:

1. The site is developed as per the site plan submitted;
2. The development conforms to the district requirements of the Medium Industrial District (M-2);
3. This permit only covers the use of the existing building for the business and the development of the Bulk Fuel Storage Tanks and Cardlock will, therefore, require a separate permit;
4. The development of any additional accesses will require the applicant/property owner to obtain approval from and enter into a servicing

- agreement with the Town of Taber prior to any works being commenced;
5. The applicant shall meet all Provincial and Federal regulations pertaining to the storage and operation of the business on the site (ie. Alberta Environment, Alberta Health Services and any other agency having Jurisdiction);
  6. A front yard setback variance of 3.5 metres was granted (for the existing building only) by the Municipal Planning Commission on June 20, 2022. The front yard setback (for the existing building only) has been varied to 4.0 metres;
  7. A side yard setback variance of 5.6 metres was granted (for the existing building only) by the Municipal Planning Commission on June 20, 2022. The front yard setback (for the existing building only) has been varied to 1.4 metres;
  8. A business license and fire inspection shall be obtained prior to operating from the existing building;
  9. The applicant must obtain all required Safety Code Permits to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits.

CARRIED UNANIMOUSLY

### **Proposed Land Use Bylaw Amendment 14-2022**

RES 52/2022            MOVED by C. Fletcher that the Municipal Planning Commission accepts Bylaw 14-2022 to amend Land Use Bylaw 13-2020 as information and recommends adoption by Council.

CARRIED UNANIMOUSLY

### **Building Permit Statistics**

None



**Standing Items**

None

**ACTION ITEMS**

None

**DELEGATIONS**

None

**MEDIA INQUIRIES**

None

**CLOSED SESSION**

None

**OPEN SESSION**

None

**CLOSE OF MEETING**

RES 53/2022

MOVED by J. Brewin that the meeting be closed at 2:10 pm.

CARRIED UNANIMOUSLY

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CHAIRPERSON

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CHIEF ADMINISTRATIVE OFFICER OR DESIGNATE

## Development Authority Request for Decision

**Meeting Date: July 11/2022**

**Subject:**

DP 22-063 4605 Heritage Drive - Side Yard Setback Variance

**Recommendation:**

That the Municipal Planning Commission approves Development Permit DP 22-063 for Side Yard Setback Variance for Carport at 4605 Heritage Drive, Lot 30, Block 1, Plan 7710425, with the following eight (8) conditions:

1. The site is developed as per the attached site plan and as presently exists;
2. The development conforms to the district requirements of the Residential Single Dwelling District (R-1);
3. A side yard setback variance of 0.63 metres has been granted for the carport wall by the Municipal Planning Commission on July 11, 2022. The side yard setback has been varied to 0.57 metres for the carport wall;
4. A side yard setback variance of 0.60 metres has been granted for the carport eaves by the Municipal Planning Commission on July 11, 2022. The Side yard setback has been varied to 0 metres for the car port eaves;
5. The applicant must obtain a Building Permit within 40 days of the approval of this permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
6. Applicant to ensure water will not accumulate at or near the buildings (positive drainage) on site, nor accumulate on the lot, and will not adversely affect adjacent properties;
7. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021);
8. All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development.

**Background:**

Administration has received an application for a side yard setback variance for the property located at 4605 Heritage Drive. This application has come about as a result of a compliance letter request. The eaves of the existing carport extend to the property line and will need a variance to remain in their current position.

The carport was approved under DP 85-125 with a statement that said “the eaves shall not be less than 0.5 metres from the property line”. The walls for the carport were built at 0.57 metres from the property line. There were renovations/updates made to the carport and due to these change’s we cannot determine if the carport was not built to the requirements of DP 85-125 or if there were changes to the roof that caused the shortfall. Therefore, an application for a variance was brought forward.

The neighbouring property has communicated that the changes the applicant made to the roof did improve drainage issue’s that had existed from the previous roof on the carport. If the variance is approved the roof/carport would need to meet building code. There is approximal a little more than 1 metre between the eaves of the two properties at their closest point. If the application was not approved it would need to have the eaves reduced to what the original permit granted. This could possibly have a negative effect on the drainage.

**Legislation / Authority:**

Subdivision Authority, Development Authority, and Municipal Planning Commission Bylaw 10-2018 Section 1(8)(c) The Municipal Planning Commission shall be the Development Authority for development permits applications for permitted uses which require a variance in excess of Ten Percent (10%) of a measurable standard established in the Land Use Bylaw or any other variance for which the Municipal Planning Commission is specifically authorized to provide in the Land Use Bylaw.

**Strategic Plan Alignment:**

Develop Community and Promote Growth #2: Review Town policies and regulations that pertain to development.

**Financial Implication:**

The applicant has paid the appropriate fees and penalties.

**Service Level / Staff Resource Implication:**

Administration’s time was required for the review and processing of the application.

**Justification:**

Granting this variance would allow the structure to remain as it currently sits on the property. The impacts to the neighbour’s property appear to have been improved with the renovations the applicant performed. The neighbouring property will be notified of any approval and have the opportunity to appeal if they were to choose to do so.

**Alternative(s):**

Alternative #1: That the Municipal Planning Commission approves Development Permit DP 22-063 for Side Yard Setback Variance for Carport at 4605 Heritage Drive, Lot 30, Block 1, Plan 7710425, with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit DP 22-063 for Side Yard Setback Variance for Carport at 4605 Heritage Drive, Lot 30, Block 1, Plan 7710425, with reasons.



**Attachment(s):** Application  
Site Plan  
Pictures  
Comments

**APPROVALS:**

**Originated By:**  
Celina Newberry

**Chief Administrative Officer (CAO) or Designate:** \_\_\_\_\_



# RESIDENTIAL DWELLING DEVELOPMENT PERMIT APPLICATION

TOWN OF TABER: A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

## Applicant Information

APPLICANT NAME: [REDACTED]  
MAILING ADDRESS: [REDACTED]  
TOWN: [REDACTED] POSTAL CODE: [REDACTED]  
EMAIL: \_\_\_\_\_ PHONE NUMBER: [REDACTED]

## Owner Information (if different from applicant)

OWNER NAME: [REDACTED]  
MAILING ADDRESS: [REDACTED]  
TOWN: Taber AB POSTAL CODE: [REDACTED]  
EMAIL: \_\_\_\_\_ PHONE NUMBER: [REDACTED]

## Property Information (property to be developed)

MUNICIPAL ADDRESS: 4605 - Heritage Drive Taber, Alberta  
LOT(S): 30 BLOCK: 1 PLAN: 7710425

## Description of Project

DESCRIBE YOUR PROJECT

Variance for side yard setback on existing carport.

# Type of Development

TYPE OF DEVELOPMENT PROPOSED (check all that apply)

- Single Family Dwelling
- Semi-detached Dwelling
- Duplex Dwelling
- Row House Dwelling
- Multi-unit Residential
- Mixed-use Development
- Moved-in Dwelling
- Addition
- Renovation
- Other \_\_\_\_\_

## DOES THE DEVELOPMENT REQUIRE ANY WAIVERS?

Note that all waiver requests must go to the Municipal Planning Commission.

- Setback
- Deck Height (1.5m max)
- Parking (Min. 2 / dwelling unit)
- Other \_\_\_\_\_

# Start Date and Cost

ESTIMATED START DATE: \_\_\_\_\_ ESTIMATED COST: \_\_\_\_\_

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: \_\_\_\_\_ DATE: 06/24/22

REGISTERED OWNER SIGNATURE: \_\_\_\_\_ DATE: 06/24/22

PLANNING OFFICER SIGNATURE: \_\_\_\_\_ DATE: 06/24/22

*The personal information on this form is being collected for the purpose of reviewing your application to the municipality of the Town of Taber. The information is collected under the authority of Section 146 of the Municipal Government Act (MGA) and Section 33 of the Freedom of Information and Protection of Privacy Act (FOIPP). Under Section 33 of the FOIPP Act, the Town of Taber reserves the right to collect information that relates directly to and is necessary for an operating program or activity of the public body. Names of applicants will be provided to the public. If you have any questions about the collection of this information, please contact the FOIPP coordinator at 403-223-5500 ext. 5519.*

**Note:** This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction.

Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).

At the completion of the development, you will be required to submit an updated *Real Property Report* to the Town of Taber to verify that the project has been constructed in the correct location.

# Development Application Submission Requirements

THE FOLLOWING ITEMS MUST BE INCLUDED WITH YOUR APPLICATION (1 copy of each)

- |   |  |
|---|--|
| <input type="checkbox"/> Site Plan                    | <input type="checkbox"/> Building Plan                                   |
| <input type="checkbox"/> Elevation/Drainage/Plot Plan | <input type="checkbox"/> New Home Warranty Documentation                 |
| <input type="checkbox"/> Security Deposit             | <input type="checkbox"/> Architectural Controls Approval (if applicable) |
- 

## SITE PLAN REQUIREMENTS:

- Lot dimensions
  - Dimensions and locations of all existing and proposed structures (including structures under 10m<sup>2</sup>)
  - Dimensions, locations, and heights of all existing and proposed decks/patios
  - All utility right of ways and easements located within or directly adjacent to the site
  - Distances between all structures and property lines
  - Site access with dimensions
  - On-site parking stalls (6m x 3m per stall)
  - Landscaping
  - Adjacent roads and lanes
  - North arrow
- 

## BUILDING PLAN REQUIREMENTS

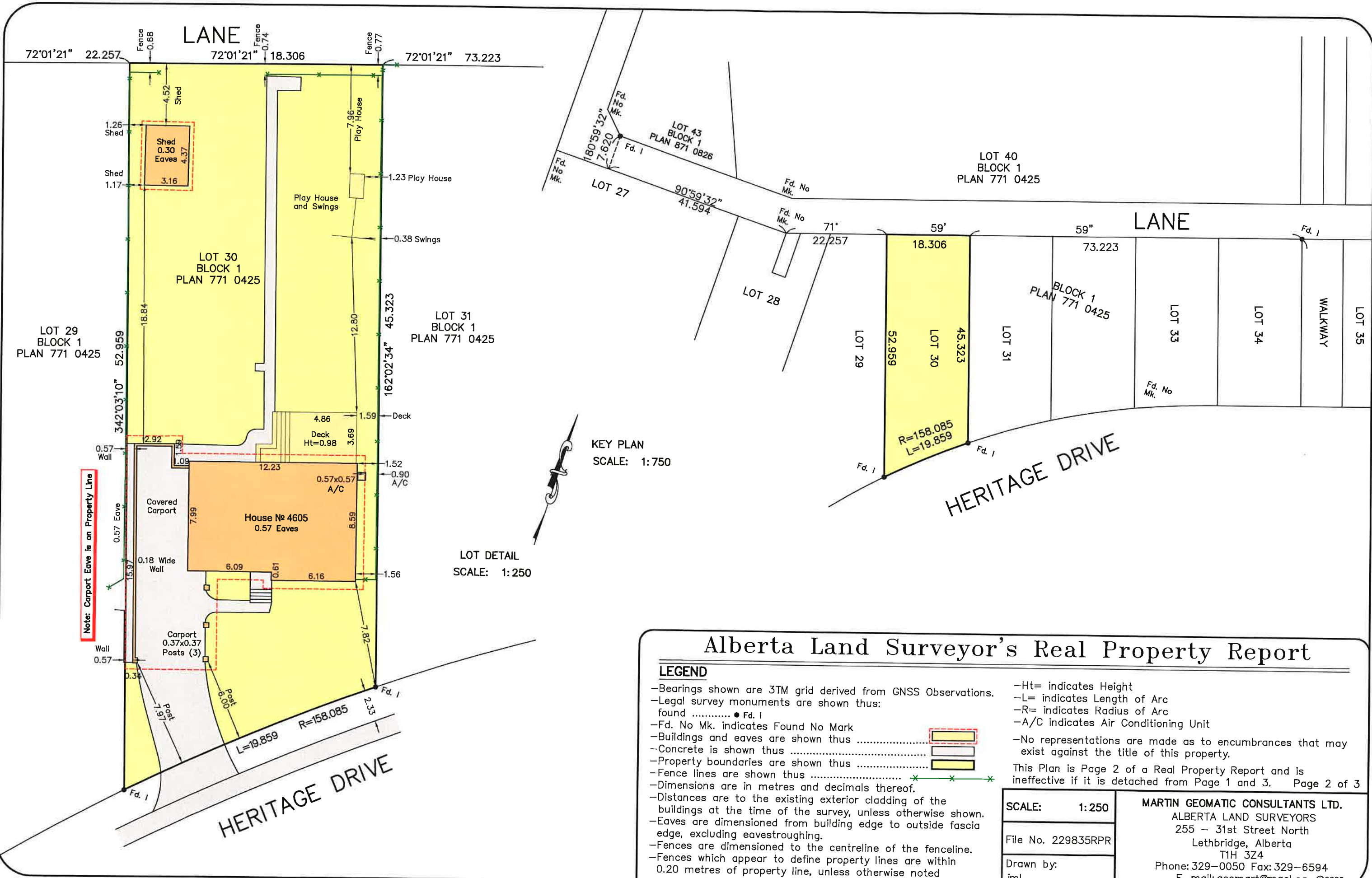
- Scale and dimensions of exterior walls and interior rooms
  - Floor plan(s) of entire dwelling
  - Building elevations and heights from finished grade
  - Exterior materials, architectural features, and colours to be used
- 

## ELEVATION/DRAINAGE/PLOT PLAN REQUIREMENTS

- Property boundary elevations
  - Building Foundation elevations
  - Proposed lot drainage patterns (must not impact neighbouring properties)
-







KEY PLAN  
SCALE: 1:750

LOT DETAIL  
SCALE: 1:250

## Alberta Land Surveyor's Real Property Report

### LEGEND

- Bearings shown are 3TM grid derived from GNSS Observations.
- Legal survey monuments are shown thus:  
found ..... ● Fd. 1
- Fd. No Mk. indicates Found No Mark
- Buildings and eaves are shown thus .....
- Concrete is shown thus .....
- Property boundaries are shown thus .....
- Fence lines are shown thus .....
- Dimensions are in metres and decimals thereof.
- Distances are to the existing exterior cladding of the buildings at the time of the survey, unless otherwise shown.
- Eaves are dimensioned from building edge to outside fascia edge, excluding eavestroughing.
- Fences are dimensioned to the centreline of the fence line.
- Fences which appear to define property lines are within 0.20 metres of property line, unless otherwise noted

- Ht= indicates Height
- L= indicates Length of Arc
- R= indicates Radius of Arc
- A/C indicates Air Conditioning Unit
- No representations are made as to encumbrances that may exist against the title of this property.

This Plan is Page 2 of a Real Property Report and is ineffective if it is detached from Page 1 and 3. Page 2 of 3

SCALE: 1:250  
File No. 229835RPR  
Drawn by: jml

MARTIN GEOMATIC CONSULTANTS LTD.  
ALBERTA LAND SURVEYORS  
255 - 31st Street North  
Lethbridge, Alberta  
T1H 3Z4  
Phone: 329-0050 Fax: 329-6594  
E-mail: geomart@mgcl.ca ©2022

# Alberta Land Surveyor's Real Property Report

## ALBERTA LAND SURVEYOR'S CERTIFICATION:

I hereby certify that this Report, which includes the attached plan and related survey, was prepared and performed under my personal supervision and in accordance with the Alberta Land Surveyors' Association's Manual of Standard Practice and supplements thereto. Accordingly, within those standards and as of the date of this Report, I am of the opinion that:

1. The plan illustrates the boundaries of the property, the improvements as defined in Part D Section 8.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, and registered easements, and rights-of-way, affecting the extent of the title to the Property;
2. The Improvements are entirely within the boundaries of the Property, **unless otherwise shown.**
3. No visible encroachments exist on the property from any improvements situated on an adjoining property, **unless otherwise shown.**
4. No visible encroachments exist on registered easements or rights of way affecting the extent of property, **unless otherwise shown.**

## PURPOSE OF REPORT

This Report and related plan have been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose of a submittal to the municipality for a compliance certificate. Copying is permitted only for the benefit of these parties, and only if the plan remains attached. Where applicable, registered easements, and utility rights of way affecting the extent of the property have been shown on the attached plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report.

The attached plan should not be used to establish boundaries (e.g., for fencing) because of the risk of misinterpretation or measurement error by the user.

The information shown on this Real Property Report reflects the status of this Property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements because subsequent development changes on the property will not be reflected on the Report.

Dated at Lethbridge, Alberta  
this 1st day of June, 2022



*Bruce A. Barnett*

Bruce A. Barnett, A.L.S.  
(copyright reserved)

This document is not valid unless it bears the original signature (in blue ink) of a Alberta Land Surveyor and a Martin Geomatic Consultants Ltd. permit stamp (in red ink).

## MARTIN GEOMATIC CONSULTANTS LTD.

ALBERTA LAND SURVEYORS  
255 - 31st Street North  
Lethbridge, Alberta  
Phone: 329-0050 Fax: 329-6594  
E-mail: geomart@mgcl.ca

# ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

## DESCRIPTION OF PROPERTY

Lot 30  
Block 1  
Plan 771 0425  
C. of T. 141 251 867

## MUNICIPAL ADDRESS

4605 - Heritage Drive  
Taber, Alberta

Date of Survey: May 12th, 2022

Date of Title Search: May 10th, 2022

## MARTIN GEOMATIC CONSULTANTS LTD.

ALBERTA LAND SURVEYORS  
255 - 31st Street North  
Lethbridge, Alberta  
Phone: 329-0050 Fax: 329-6594  
E-mail: geomart@mgcl.ca











Celina,

The concerns raised by Mr. PIERSON appear to meet any concerns we would have, thanks,

**Steve SWARBRICK**  
**Assistant Fire Chief – Fire Prevention**



Hi Celina,

My only concerns, if allowed to stay, would be required fire rating (45 min) of the underside of the ceiling of the carport within 4' (1.2 m) of the property line and required non-vented soffits within 4' (1.2 m) of the property line as well. No overhang can be within 18" of the property line. Building permit would be required for this project. Let me know if you have any other questions or concerns.

Regards,  
Curt Pierson  
Building Safety Codes Officer  
Superior Safety Codes Inc.  
[177 North Main Street](#)

## Development Authority Request for Decision

**Meeting Date: July 11/2022**

**Subject:**

DP 22-065 - 5 Westview Court - Deck and Driveway Variances

**Recommendation:**

That the Municipal Planning Commission approves Development Permit DP 22-065 for Deck and Driveway Variances at 5 Westview Court, Lot 3, Block 9, Plan 2110184, with the following nine (9) conditions:

1. The site is developed as per the site plan submitted;
2. The development conforms to the district requirements of the Residential Single and Two Dwelling District (R-2);
3. A deck height variance of 0.97 metres on July 11, 2022 by the Municipal Planning Commission. The maximum deck height is varied to 2.47 metres;
4. A driveway width variance of 2.5 metres on July 11, 2022 by the Municipal Planning Commission. The maximum driveway width is varied to 7.62 metres;
5. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
6. The architectural controls and vertical grade points must be approved by the developer;
7. The contractor commissioned for construction must have a valid Business License for the Town of Taber;
8. A lot drainage (grade) plan illustrating water will not accumulate at or near the buildings (positive drainage), nor accumulate on the lot, and will not adversely affect adjacent properties shall be produced by a qualified professional and supplied to the Town of Taber prior to the Building Permit being issued. In addition, the foundation must be staked by a qualified professional;
9. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021).

---

**Background:**

Administration has received an application for variances for the driveway and deck for 5 Westview Court. The requested variances are all in line with other development in the surrounding area.

The proposed driveway is for a two-car garage that is 25 feet wide or 7.62 metres. The respective driveway would come in at 7.62 metres or 60% of the lot frontage, which is over both the 6.7 metre's or 40% allowed in the bylaw. This driveway width is in line with many others in the area.

The proposed deck requires a height variance of 0.97 metres as the height is 2.47 metres and it is over the maximum allowable height of 1.5 metres. The proposed deck height is similar to many other properties in the area and is located off the main floor of the home.

**Legislation / Authority:**

Subdivision Authority, Development Authority, and Municipal Planning Commission Bylaw 10-2018 Section 1(8)(c) The Municipal Planning Commission shall be the Development Authority for development permits applications for permitted uses which require a variance in excess of Ten Percent (10%) of a measurable standard established in the Land Use Bylaw or any other variance for which the Municipal Planning Commission is specifically authorized to provide in the Land Use Bylaw.

**Strategic Plan Alignment:**

Develop Community and Promote Growth #2: Review Town policies and regulations that pertain to development.

**Financial Implication:**

The applicant has paid the appropriate application fees which will cover costs of advertising and notifications.

**Service Level / Staff Resource Implication:**

Administration's time was required for the review and processing of the application.

**Justification:**

Allowing for the driveway and deck to be developed as presented would provide the most benefit to the property owner. The development is in line with many of the other properties in the area and there are no foreseen negative effects to the enjoyment of the surrounding properties.

**Alternative(s):**

Alternative #1: That the Municipal Planning Commission approves Development Permit DP 22-065 for Deck and Driveway Variances at 5 Westview Court, Lot 3, Block 9, Plan 2110184, with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit DP 22-065 for Deck and Driveway Variances at 5 Westview Court, Lot 3, Block 9, Plan 2110184, with reasons.





**Attachment(s):** Application  
Drawings  
Photo  
Check List

**APPROVALS:**

**Originated By:**  
Celina Newberry

**Chief Administrative Officer (CAO) or Designate:** \_\_\_\_\_



# RESIDENTIAL DWELLING DEVELOPMENT PERMIT APPLICATION

TOWN OF TABER: A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

## Applicant Information

APPLICANT NAME:

MAILING ADDRESS:

TOWN:  POSTAL CODE:

EMAIL:  PHONE NUMBER:

## Owner Information (if different from applicant)

OWNER NAME:

MAILING ADDRESS:

TOWN:  POSTAL CODE:

EMAIL:  PHONE NUMBER:

## Property Information (property to be developed)

MUNICIPAL ADDRESS:

LOT(S):  BLOCK:  PLAN:

## Description of Project

DESCRIBE YOUR PROJECT

To construct a SFD bi-level home with finished basement on a serviced lot.

To apply for variances for the deck height and driveway width.

# Type of Development

TYPE OF DEVELOPMENT PROPOSED (check all that apply)

- |  |   |  |
|--|---|--|
| <input checked="" type="checkbox"/> Single Family Dwelling | <input type="checkbox"/> Semi-detached Dwelling | <input type="checkbox"/> Duplex Dwelling       |
| <input type="checkbox"/> Row House Dwelling                | <input type="checkbox"/> Multi-unit Residential | <input type="checkbox"/> Mixed-use Development |
| <input type="checkbox"/> Moved-in Dwelling                 | <input type="checkbox"/> Addition               | <input type="checkbox"/> Renovation            |
| <input type="checkbox"/> Other                             | <input type="text"/>                            |  |

## DOES THE DEVELOPMENT REQUIRE ANY WAIVERS?

Note that all waiver requests must go to the Municipal Planning Commission.

- |                                  |   |   |
|----------------------------------|---|---|
| <input type="checkbox"/> Setback | <input type="checkbox"/> Deck Height (1.5m max) | <input type="checkbox"/> Parking (Min. 2 / dwelling unit) |
| <input type="checkbox"/> Other   | <input type="text"/>                            |   |

# Start Date and Cost

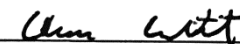
ESTIMATED START DATE:

ESTIMATED COST:

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: 

DATE: June 8, 2022

REGISTERED OWNER SIGNATURE: 

DATE: June 8, 2022

PLANNING OFFICER SIGNATURE: 

DATE: July 4, 2022

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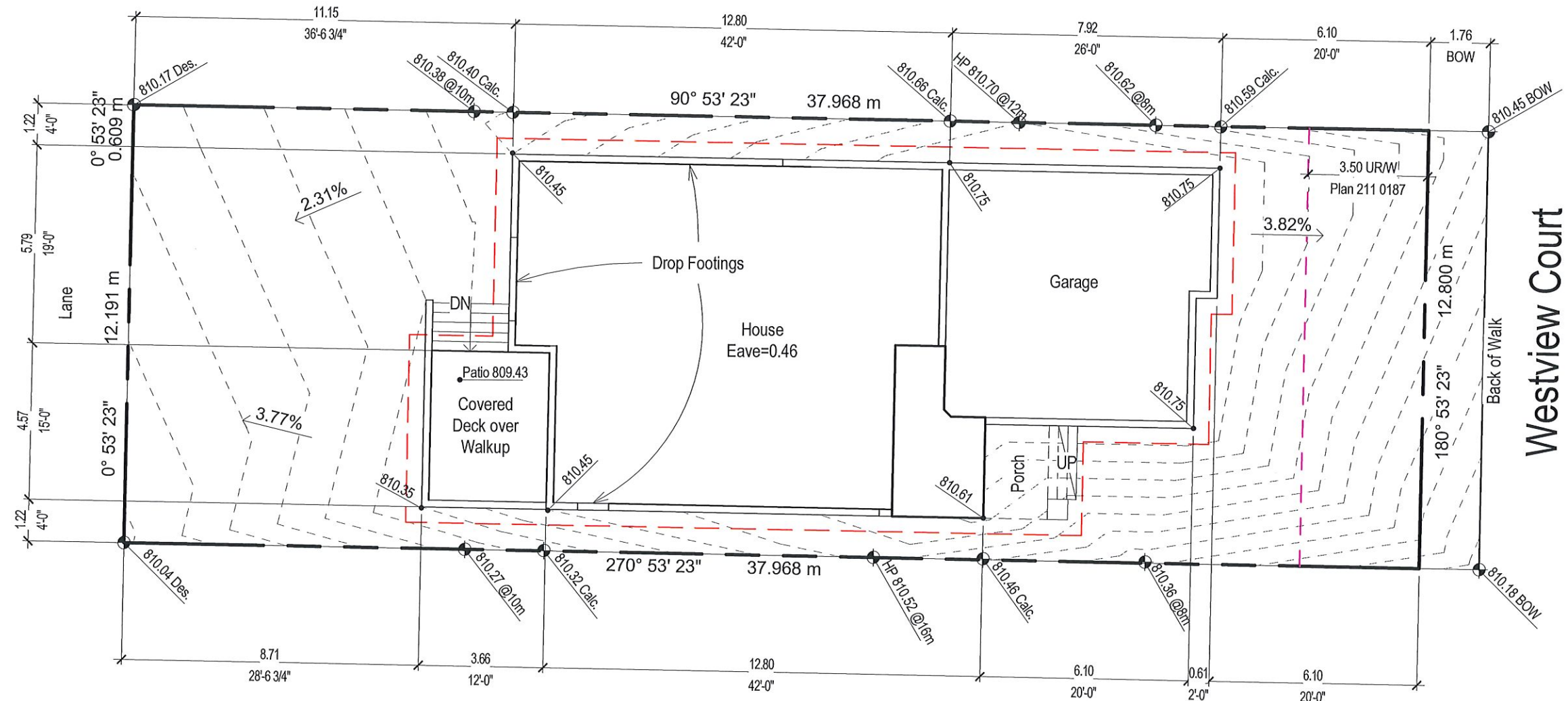


Date: June 2, 2022 SP

APPROVED ARCHITECTURAL CONTROL  
BUILDER IS RESPONSIBLE FOR FOLLOWING  
THE ARCHITECTURAL CONTROLS

Area Schedule (Gross Building)		
Name	Area	Area (sq.ft.)
Covered Deck over Walkup	17 m <sup>2</sup>	188 ft <sup>2</sup>
Covered Porch	5 m <sup>2</sup>	56 ft <sup>2</sup>
Garage	58 m <sup>2</sup>	624 ft <sup>2</sup>
Main Floor & Entry	130 m <sup>2</sup>	1402 ft <sup>2</sup>
Total Areas	211 m <sup>2</sup>	2270 ft <sup>2</sup>

Design Elevation Schedule	
Description (Level)	Elevation
Top Plate	815.26
04-T/O Main Floor	812.49
T/O Garage Fdn Walls	810.95
02-T/O House Fdn Walls	810.95
03-T/O Garage Slab	810.75
BOW	810.45
T/O Garage Ftg	809.73
01-T/O Bsmt Slab	809.53
BOF Garage	809.53
T/O House Ftg	809.43
BOF House (Front)	809.22
LTF	808.41
T/O Walkup Ftg	808.21
BOF Walkup Ftg	808.00
San. Inv.	807.93



Westview Court

Property Schedule	
Description	Elevation
Property Line	810.17 Des
Property Setback Line	810.38 @10m
Swale	810.40 Calc
(URW) Utility Right of Way	810.66 Calc
Hidden or Beyond	810.70 @12m
Eaves	810.62 @8m
HP High Point	810.59 Calc
BOW Back of Walk	810.45 BOW
TOW Top of Foundation Wall	810.75
Des Design Grade (From Engineer)	810.75
Calc Calculated Grade Elevation	810.75
Design Grade @ Building	810.61
Design Grade @ Property Line	810.18 BOW

1 Site & Grading Plan  
1 : 150

- Note:
- House footings will have to be adjusted as necessary to maintain a minimum 1.22m frost coverage.
  - Top of foundation walls will need to be adjusted as necessary to provide a minimum of 0.15m above finished grade.

Property Schedule			
Description	Lot Area	Lot Area (sq.ft.)	% Property Coverage
	486 m <sup>2</sup>	5231 ft <sup>2</sup>	43.4%

PERMIT TO PRACTICE			
Martin Geomatic Consultants Ltd.			
PERMIT NUMBER: P 5852			
The Association of Professional Engineers, Geologists and Geophysicists of Alberta			
Issue for Approval	SP	June 2, 2022	
No.	Description	By	Date
Revisions			

SEAL/STAMP

MARTIN GEOMATIC CONSULTANTS LTD.  
(or authorized representative)

DATE: June 2, 2022 SP

APPROVED VERTICAL GRADES

BUILDER IS RESPONSIBLE FOR FOLLOWING THESE APPROVED VERTICAL GRADES AS SHOWN ON THIS PLAN

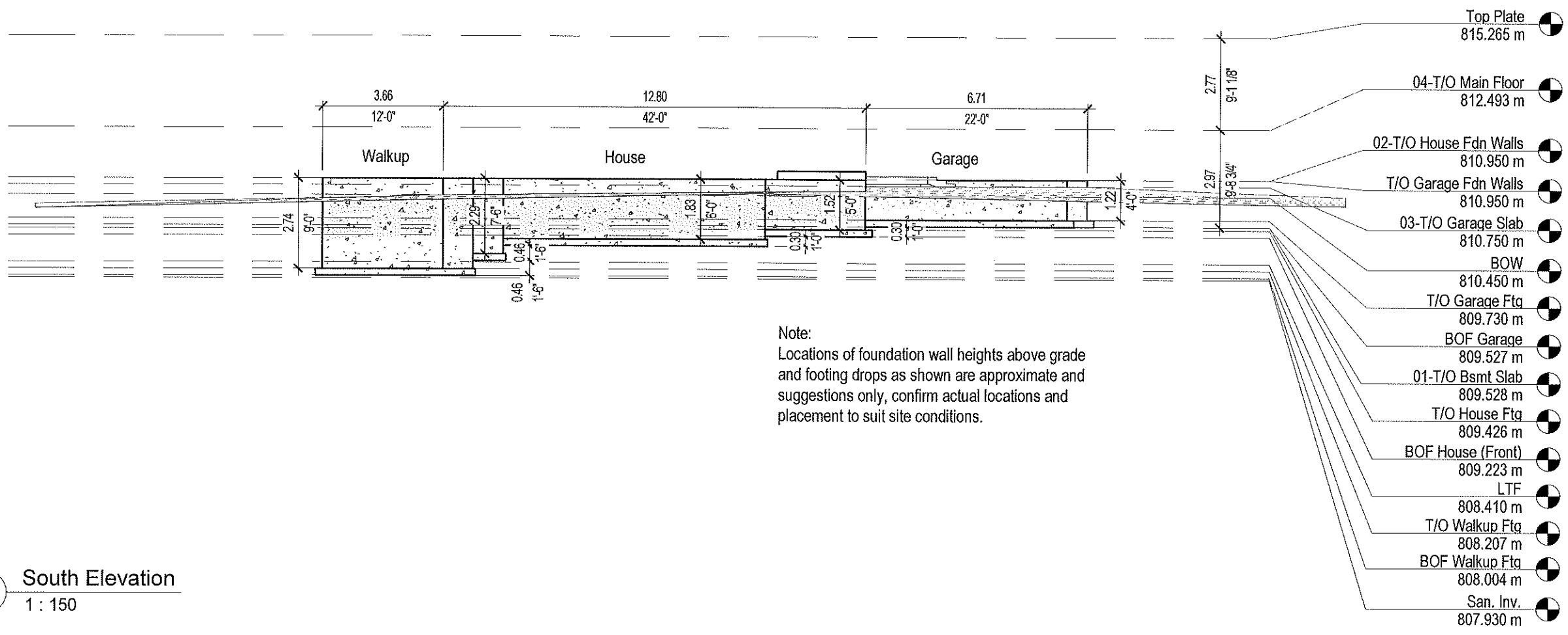
MARTIN GEOMATIC CONSULTANTS LTD

Consulting Engineers, Planners, and Land Surveyors

255-31st Street North Lethbridge, Alberta T1H 3Z4

Ph: (403) 329-0050 E-mail: geomart@mgcl.net Fax: (403) 329-6594

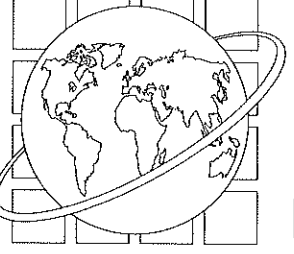
TITLE:	Site & Grading Plan
PROJECT:	Lot 3, Block 9, Plan 211 0184
MUNICIPAL ADDRESS:	5 Westview Court, Taber, AB
CLIENT:	Willowcrest Construction
SCALE:	As indicated
DATE:	June 2, 2022
DRAWN:	SP
CHECKED BY:	DM
DESIGN:	SP
DATE STAMP:	06/03/2022 9:55:28 AM
PROJECT NUMBER:	229884GPS
DRAWING NUMBER:	A100
Z:\DATA\Active RPR\229884RPR\229884GPS.rvt	REV



1 South Elevation  
1 : 150

PERMIT			
<b>PERMIT TO PRACTICE</b> Martin Geomatic Consultants Ltd. PERMIT NUMBER: <b>P 5852</b> The Association of Professional Engineers, Geologists and Geophysicists of Alberta			
Issue for Approval		SP	June 2, 2022
No.	Description	By	Date
<b>Revisions</b>			

SEAL/STAMP

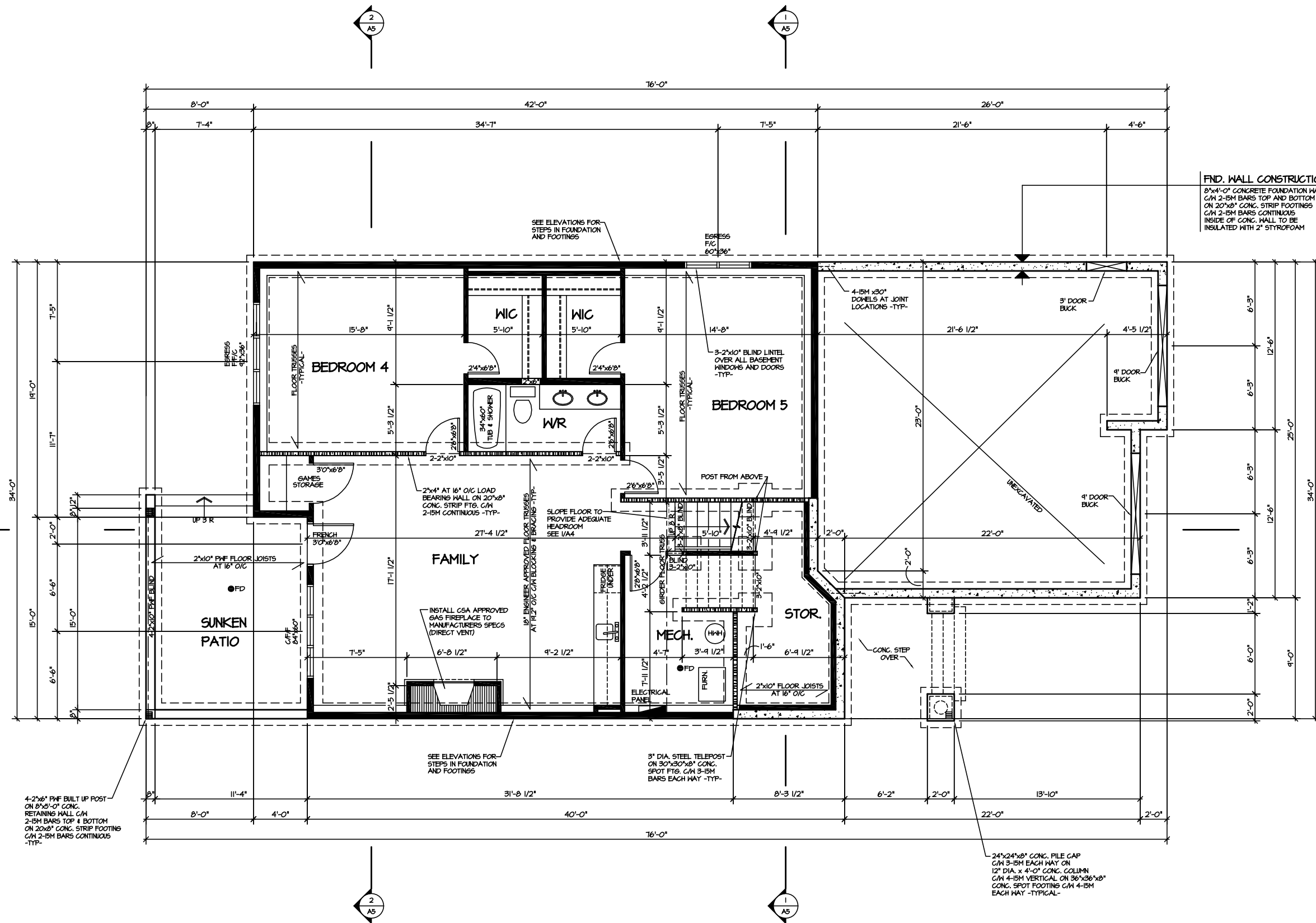


# MARTIN

## GEOMATIC CONSULTANTS LTD

Consulting Engineers, Planners, and Land Surveyors  
 255-31st Street North Lethbridge, Alberta T1H 3Z4  
 Ph: (403) 329-0050 E-mail: geomart@mgcl.net Fax: (403) 329-6594

TITLE: Elevations (Foundation Only)	
PROJECT: Lot 3, Block 9, Plan 211 0184	
MUNICIPAL ADDRESS: 5 Westview Court, Taber, AB	
CLIENT: Willowcrest Construction	
SCALE: 1 : 150	DATE: June 2, 2022
DRAWN: SP	CHECKED BY: DM
DESIGN: SP	DATE STAMP: 06/03/2022 9:55:29 AM
PROJECT NUMBER: 229884GPS	DRAWING NUMBER: A102
Z:\DATA\Active RPR\229884RPR\229884GPS.rvt	
	REV



**FND. WALL CONSTRUCTION**  
 8"x4'-0" CONCRETE FOUNDATION WALL  
 C/M 2-15M BARS TOP AND BOTTOM  
 ON 20"x8" CONC. STRIP FOOTINGS  
 C/M 2-15M BARS CONTINUOUS  
 INSIDE OF CONC. WALL TO BE  
 INSULATED WITH 2" STYROFOAM

REVISIONS  
 CONSULTANTS

• THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY DESIGNER OF ANY ERRORS AND/OR OMISSIONS.  
 • SCALING OF THIS DRAWING IS NOT PERMITTED  
 • MODIFICATIONS AND VARIATIONS TO THIS DESIGN ARE NOT PERMITTED WITHOUT WRITTEN CONSENT.  
 • ALL CONSTRUCTION IS TO COMPLY WITH THE ALBERTA BUILDING CODE AND ANY APPLICABLE LOCAL REGULATIONS.  
 • ALL ENGINEERED BEAMS, JOISTS, AND TRUSSES SPECIFIED ARE TO BE DESIGNED BY THE SUPPLIER.  
 • THE DESIGNER DOES NOT ASSUME LIABILITY FOR ANY ERRORS AND/OR OMISSIONS ON THESE DRAWINGS.

PROJECT TITLE  
**SPEC HOUSE**  
**5 WESTVIEW COURT**  
**TABER, AB T4L**  
 TA  
 CLIENT

DRAWING TITLE  
**FOUNDATION PLAN**

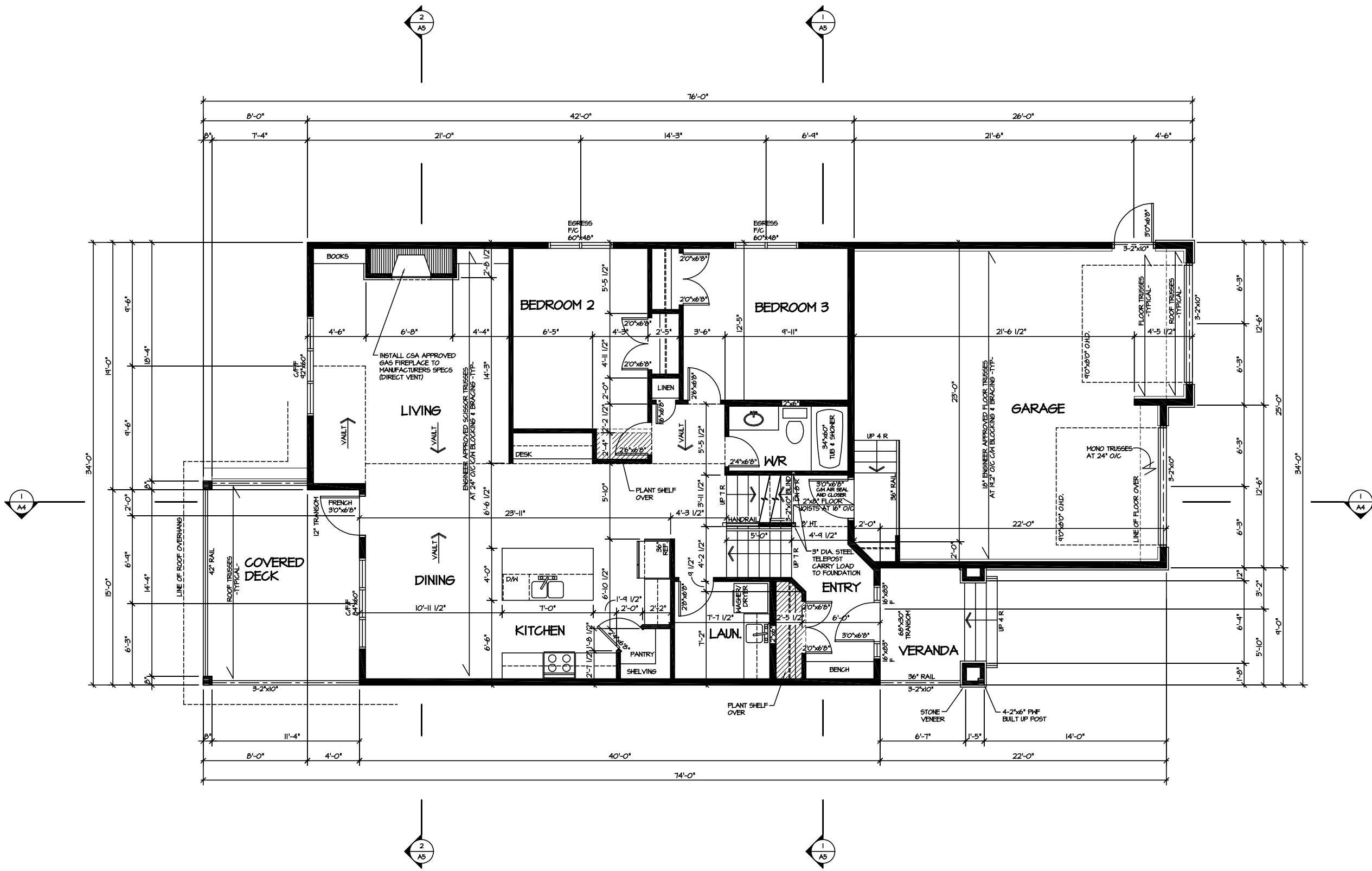
DATE  
 PROJECT NO.  
 SCALE AS SHOWN  
 DRAWN  
 CADD FILE

SHEET NO.  
**A1**

**FOUNDATION PLAN**  
 SCALE 1/8" = 1'-0"  
 1300 SQ. FT.  
 1151 SQ. FT. DEVELOPED

**HIDDEN TYPES**  
 C - CASEMENT  
 F - FIXED  
 A - AWNING  
 P - PICTURE  
 S - SLIDER

STAIR DETAILS			
BASEMENT TO ENTRY	ENTRY TO MAIN	MAIN TO UPPER	GARAGE TO MAIN
RISE T-3/4"	RISE T-13/16"	RISE T-1/16"	RISE T-1/2"
RUN 10"	RUN 10"	RUN 10"	RUN 10"
TREAD 11"	TREAD 11"	TREAD 11"	TREAD 11"



1 MAIN FLOOR PLAN  
 SCALE 1/8" = 1'-0"  
 1366 SQ. FT.  
 1973 SQ. FT. - TOTAL

**HIDDEN TYPES**

- C - CASEMENT
- F - FIXED
- A - AWKING
- P - PICTURE
- S - SLIDER

**STAIR DETAILS**

BASEMENT TO ENTRY	ENTRY TO MAIN	MAIN TO UPPER	GARAGE TO MAIN
RISE 7-3/4"	RISE 7-13/16"	RISE 7-1/16"	RISE 7-1/2"
RUN 10"	RUN 10"	RUN 10"	RUN 10"
TREAD 11"	TREAD 11"	TREAD 11"	TREAD 11"

REVISIONS  
 CONSULTANTS

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PROJECT TITLE  
**SPEC HOUSE**  
 5 WESTVIEW COURT  
 TABER, AB

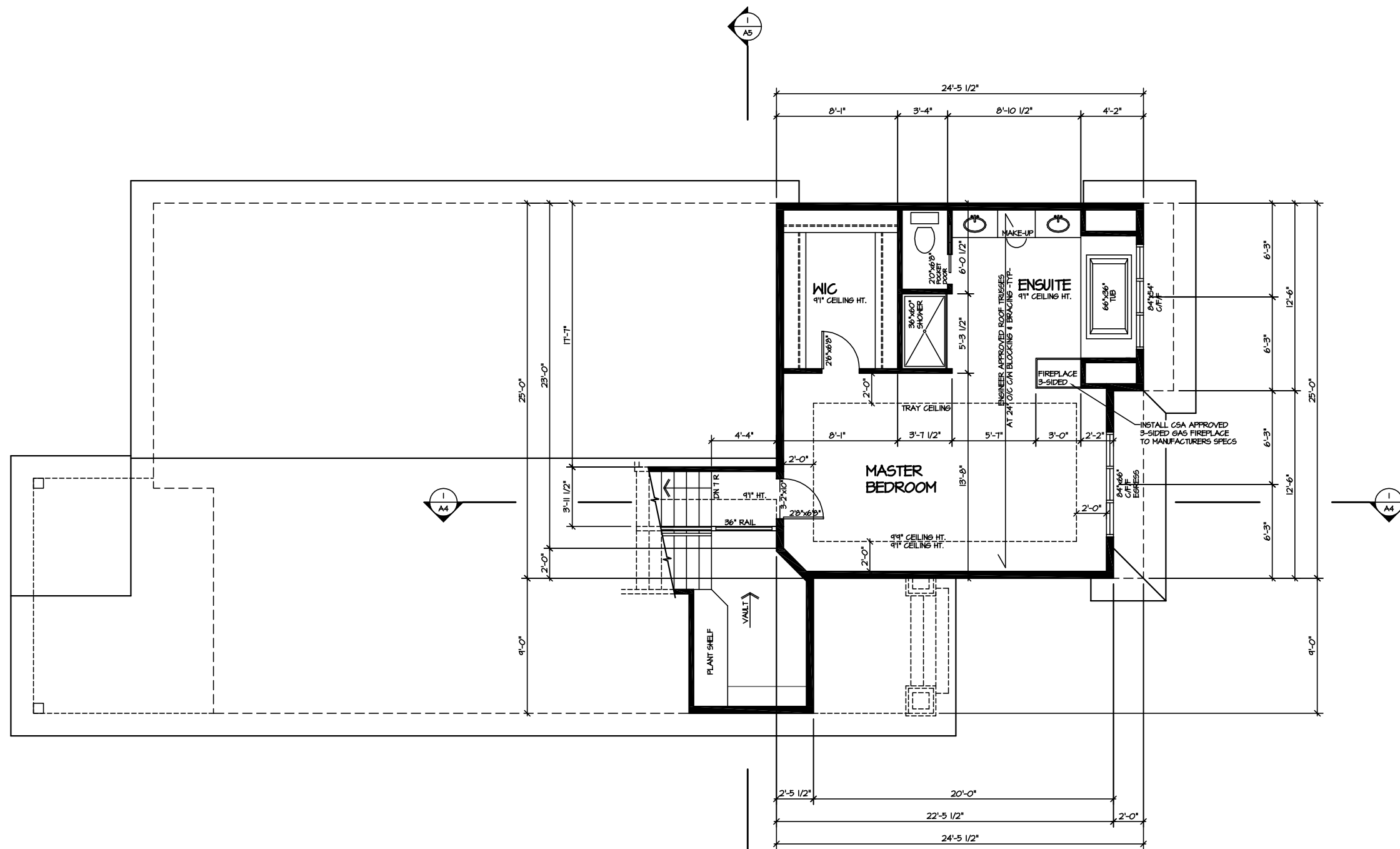
CLIENT

DRAWING TITLE  
**MAIN FLOOR PLAN**

DATE  
 PROJECT NO.  
 SCALE AS SHOWN  
 DRAWN  
 CADD FILE

SHEET NO.  
**A2**





1  
A3  
UPPER FLOOR PLAN  
SCALE 1/8" = 1'-0"  
585 SQ. FT.

**HIDDEN TYPES**

- C - CASEMENT
- F - FIXED
- A - AWNING
- P - PICTURE
- S - SLIDER

**STAIR DETAILS**

BASEMENT TO ENTRY	ENTRY TO MAIN	MAIN TO UPPER	GARAGE TO MAIN
RISE 7-3/4"	RISE 7-13/16"	RISE 7-1/16"	RISE 7-1/2"
RUN 10"	RUN 10"	RUN 10"	RUN 10"
TREAD 11"	TREAD 11"	TREAD 11"	TREAD 11"

REVISIONS

CONSULTANTS

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PROJECT TITLE  
**SPEC HOUSE**  
5 WESTVIEW COURT  
TABER, AB

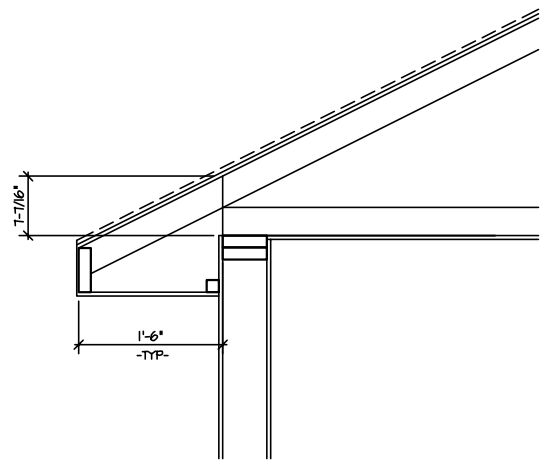
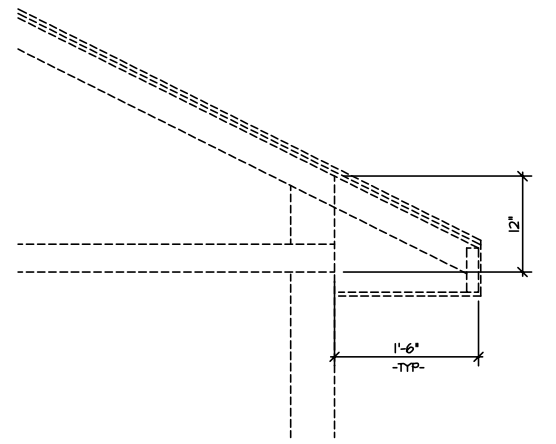
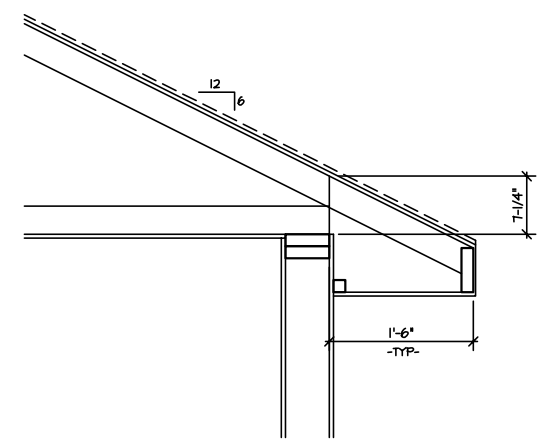
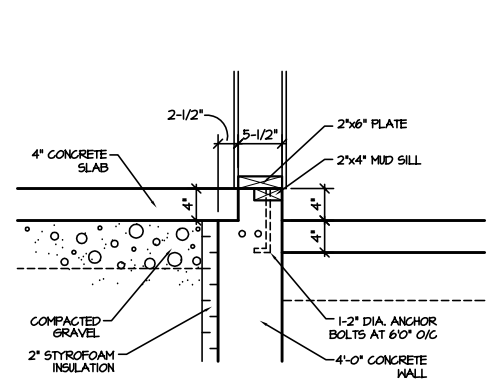
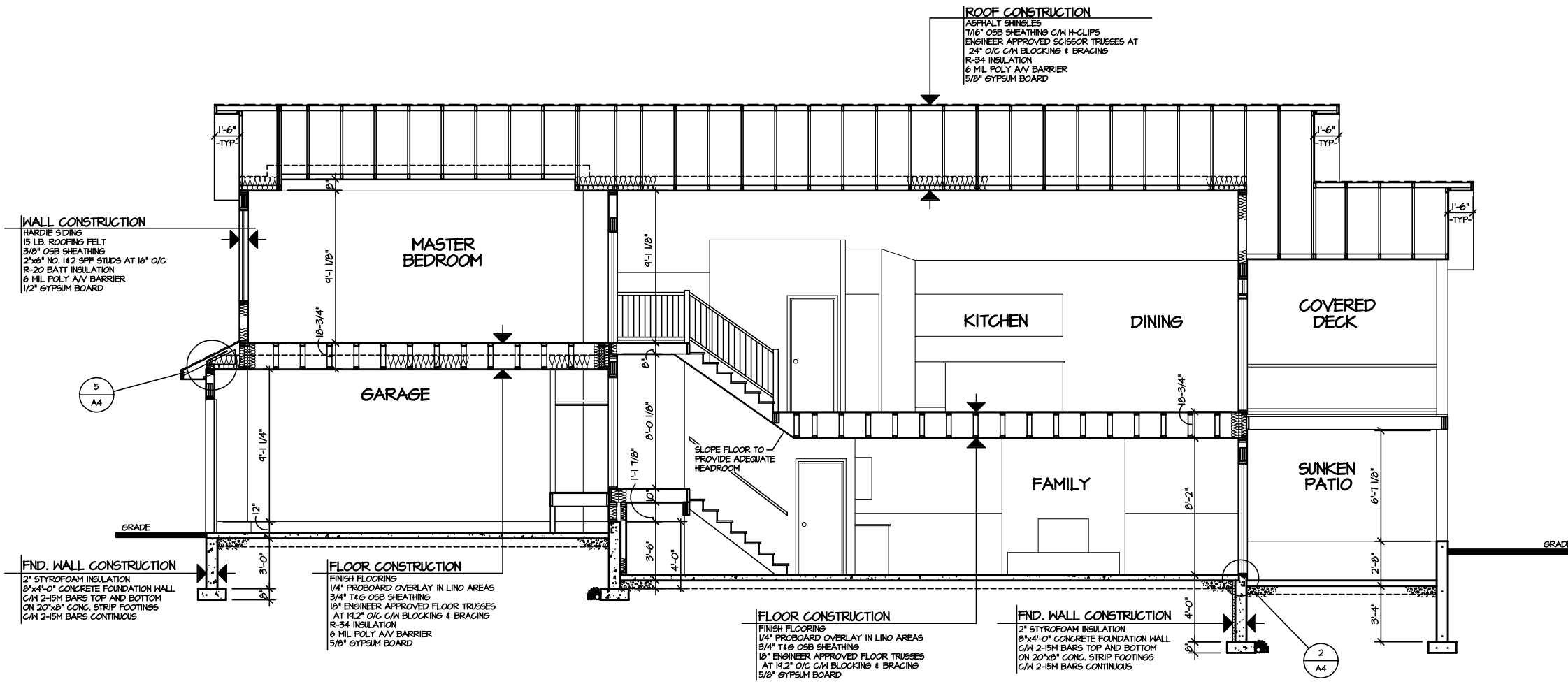
CLIENT

DRAWING TITLE  
**UPPER FLOOR PLAN**

DATE  
PROJECT NO.  
SCALE AS SHOWN  
DRAWN  
CADD FILE

SHEET NO.  
**A3**





REVISIONS  
 CONSULTANTS

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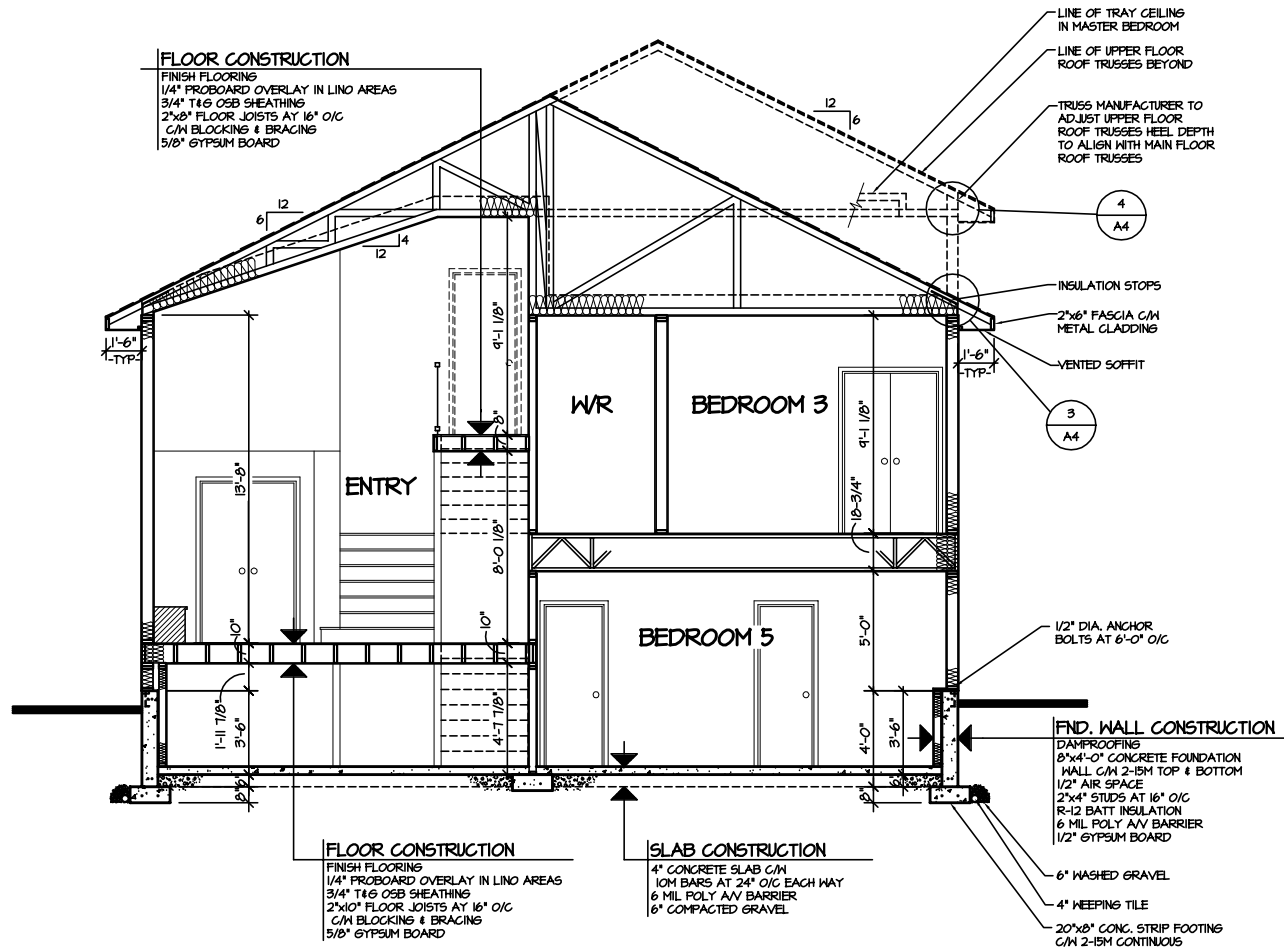
PROJECT TITLE  
**SPEC HOUSE**  
**5 WESTVIEW COURT**  
**TABER, AB**

CLIENT

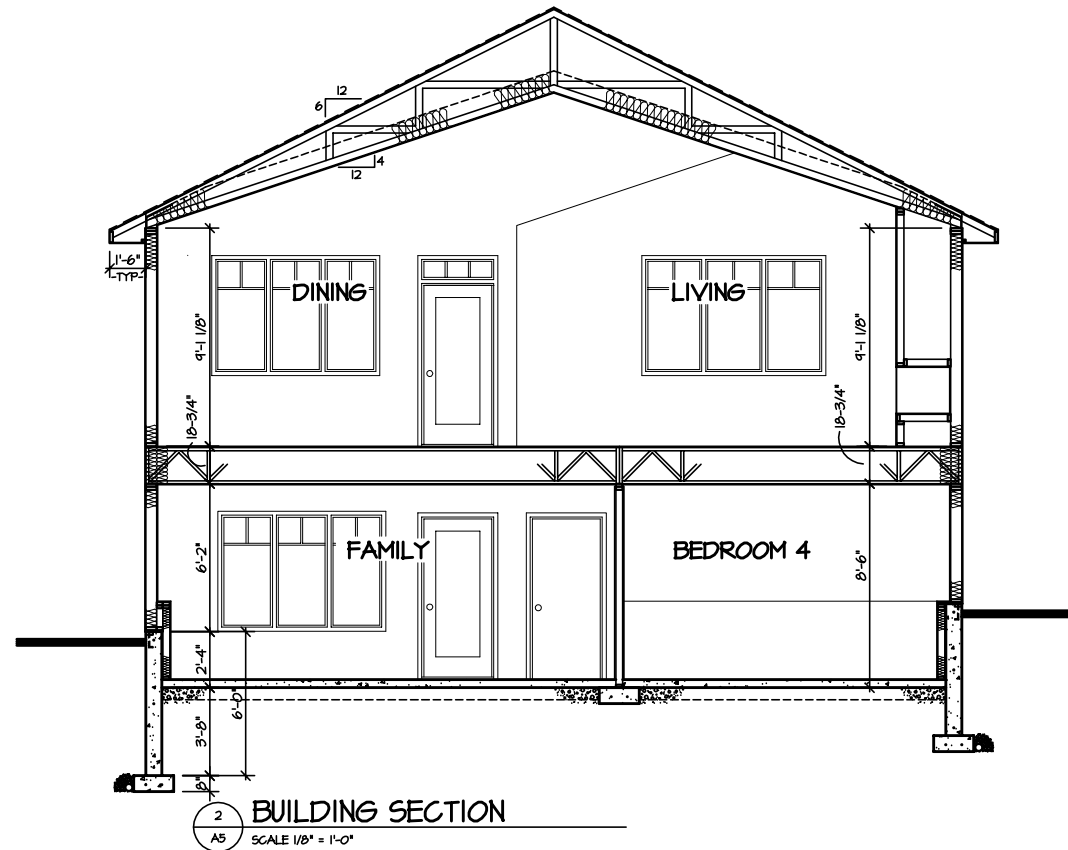
DRAWING TITLE  
**BUILDING SECTIONS**  
**DETAILS**

DATE  
 PROJECT NO.  
 SCALE AS SHOWN  
 DRAWN  
 CADD FILE

SHEET NO.  
**A4**



1 BUILDING SECTION  
 A5 SCALE 1/8" = 1'-0"



REVISIONS

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PROJECT TITLE  
**SPEC HOUSE**  
**5 WESTVIEW COURT**  
**TABER, AB**

CLIENT

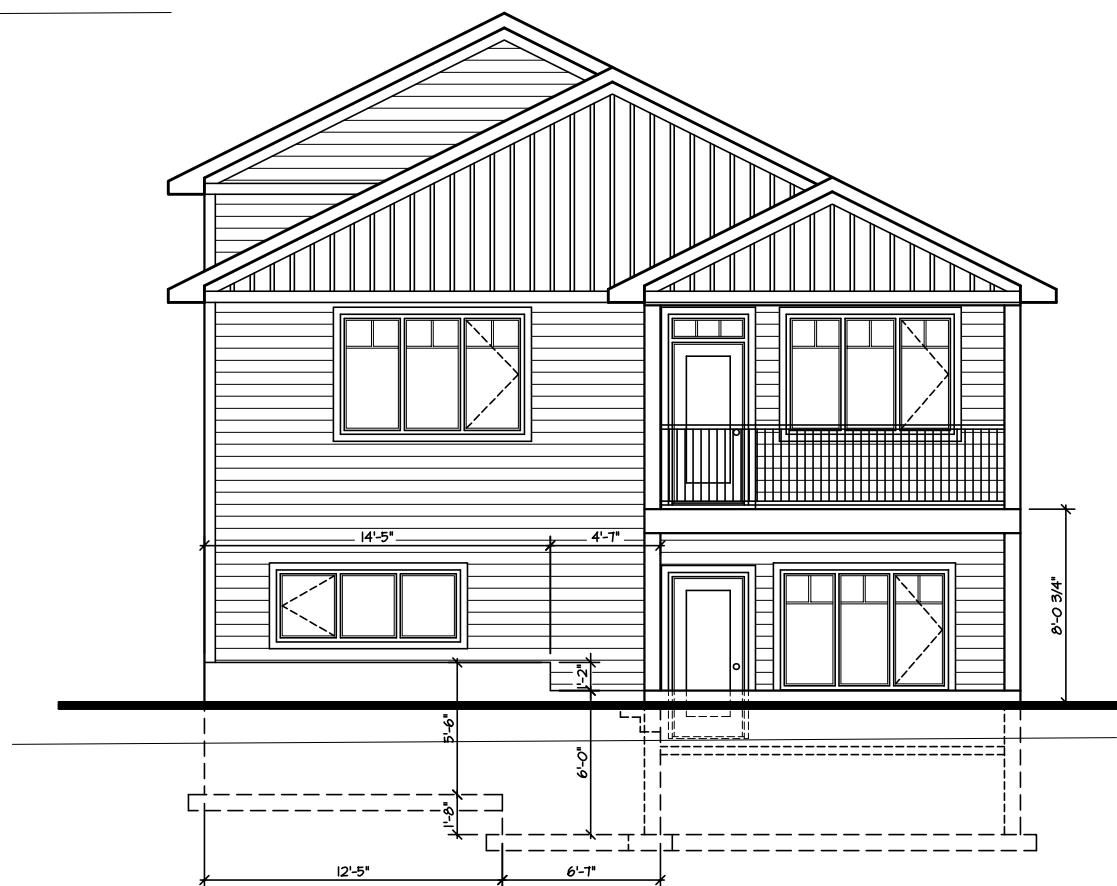
DRAWING TITLE  
**BUILDING SECTIONS**

DATE  
 PROJECT NO.  
 SCALE AS SHOWN  
 DRAWN  
 CADD FILE

SHEET NO.  
**A5**



1 FRONT ELEVATION  
 A6 SCALE 1/8" = 1'-0"



2 REAR ELEVATION  
 A6 SCALE 1/8" = 1'-0"

**NOTE**  
 ALL WINDOW AND DOOR FLASHINGS  
 TO BE INSTALLED IN ACCORDANCE  
 WITH ABC 2006

REVISIONS

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PROJECT TITLE  
**SPEC HOUSE**  
**5 WESTVIEW COURT**  
**TABER, AB**

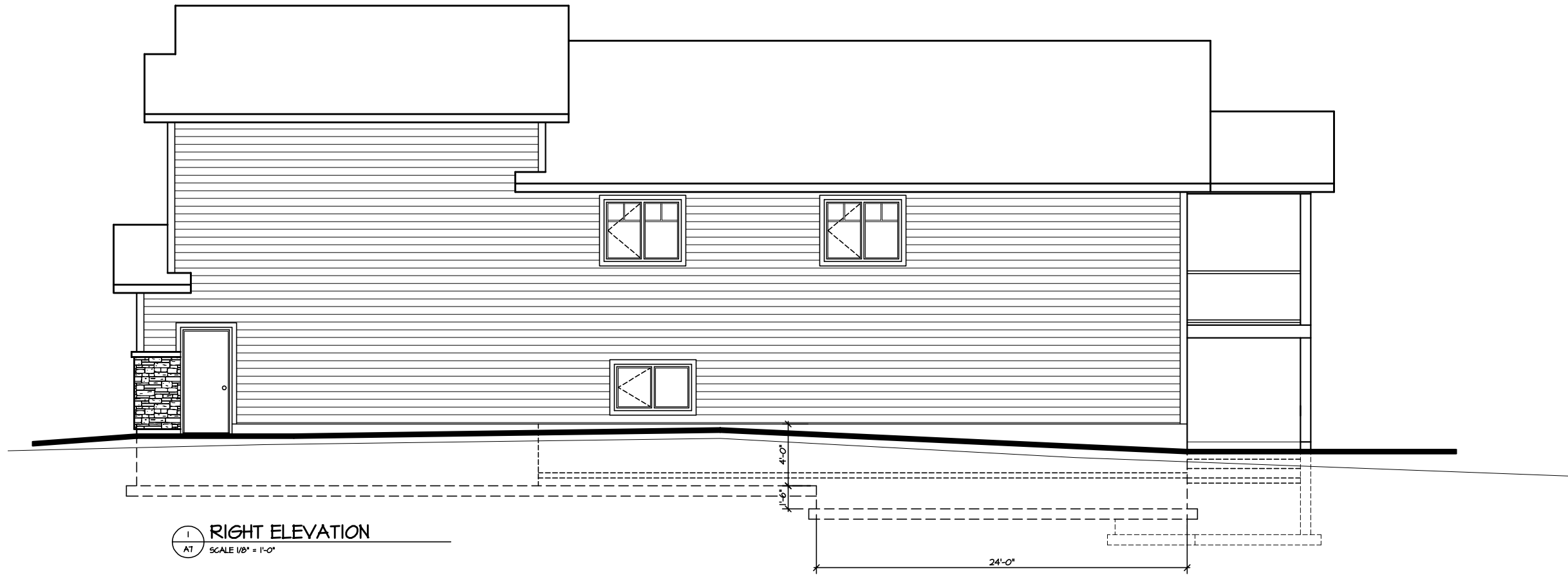
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DRAWING TITLE  
**ELEVATIONS**

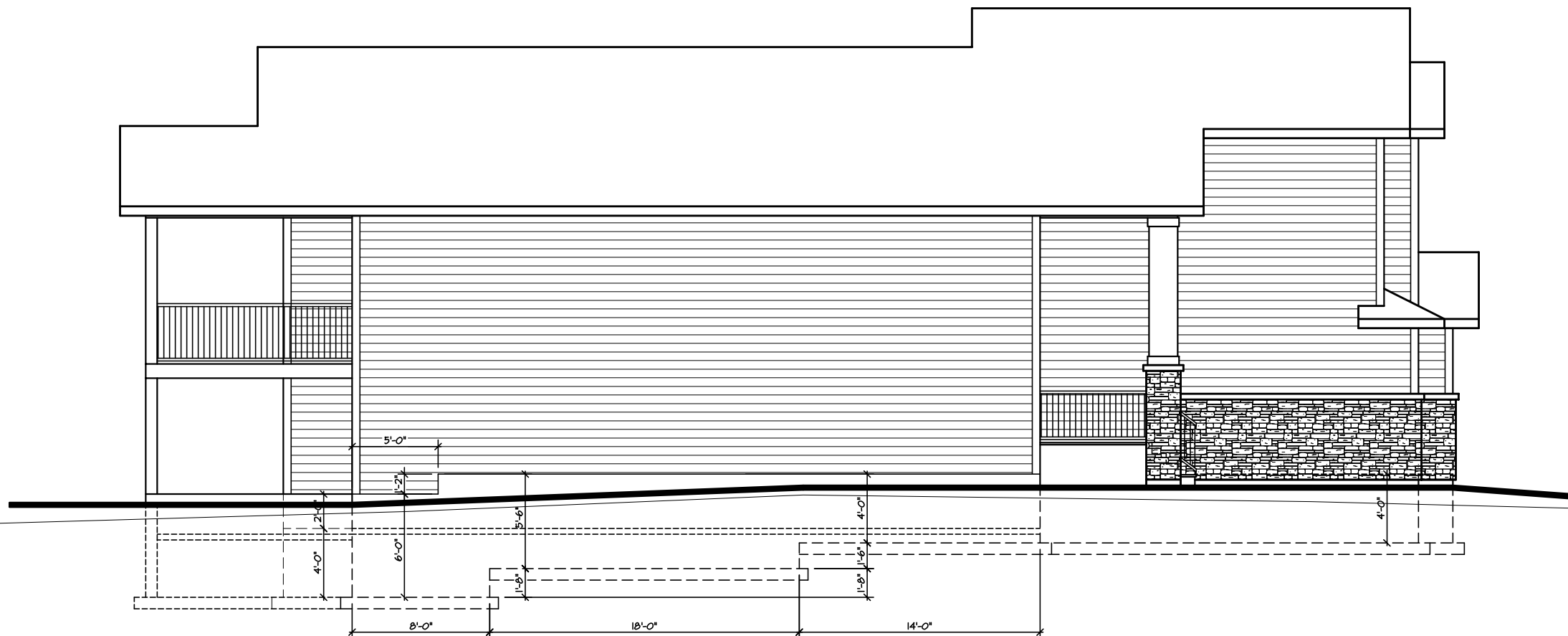
DATE  
 PROJECT NO.  
 SCALE AS SHOWN  
 DRAWN  
 CADD FILE

SHEET NO.

A6



1 RIGHT ELEVATION  
SCALE 1/8" = 1'-0"



2 LEFT ELEVATION  
SCALE 1/8" = 1'-0"

**NOTE**  
ALL WINDOW AND DOOR FLASHINGS  
TO BE INSTALLED IN ACCORDANCE  
WITH ABC 2006

**UNPROTECTED OPENING CALCULATIONS (CODE 9.10.14)**  
LEFT SIDE EXPOSED BUILDING FACE: 641 SF (59.6 SQM)  
WINDOW OPENINGS: 0 SF (0 SQM)  
CALCULATION: 0 SF / 641 SF = 0%  
(0 SQM / 59.6 SQM = 0%)  
BASED ON A LIMITING DISTANCE OF 1.2m (4'-0") MAX. 0%  
RIGHT SIDE EXPOSED BUILDING FACE: 1167 SF (108.4 SQM)  
WINDOW OPENINGS: 65 SF (6.04 SQM)  
CALCULATION: 65 SF / 1167 SF = 5.6%  
(6.04 SQM / 108.4 SQM = 5.6%)  
BASED ON A LIMITING DISTANCE OF 2.4m (8'-0") MAX. 7%

REVISIONS

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PROJECT TITLE  
**SPEC HOUSE**  
**5 WESTVIEW COURT**  
**TABER, AB**

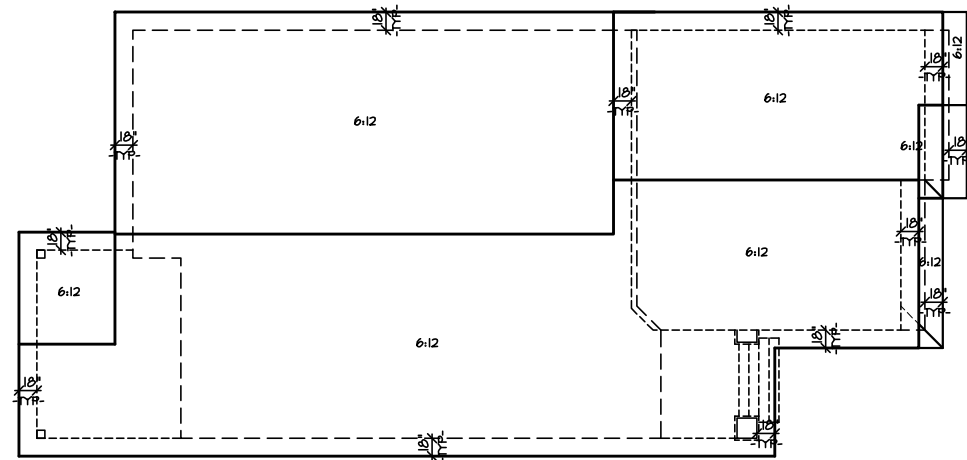
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DRAWING TITLE  
**ELEVATIONS**

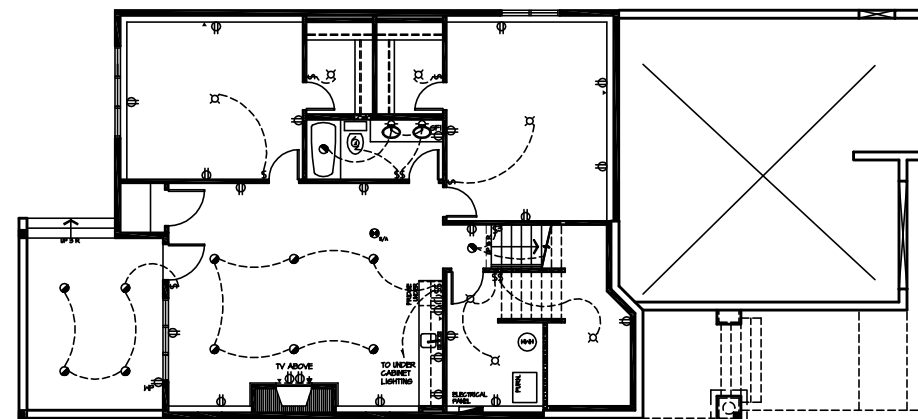
DATE  
PROJECT NO.  
SCALE AS SHOWN  
DRAWN  
CADD FILE

SHEET NO.

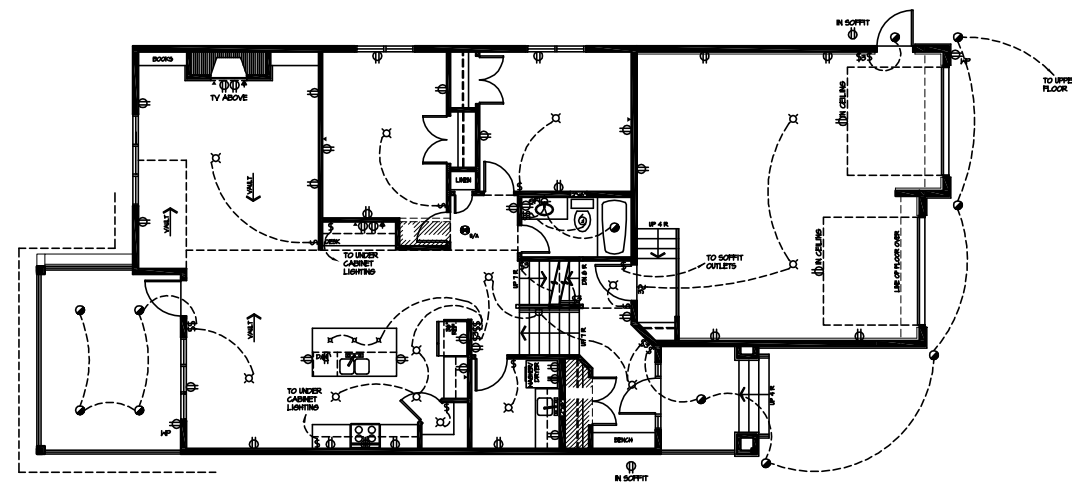
A7



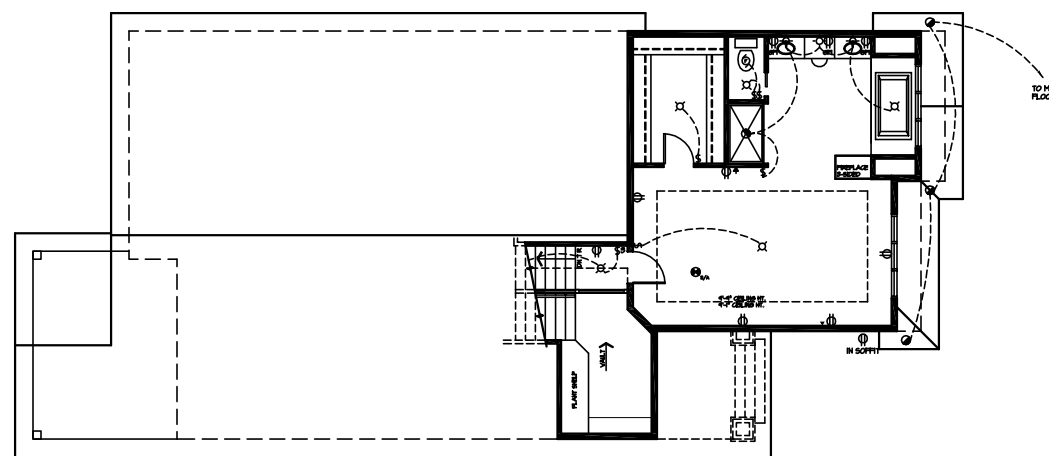
1 ROOF PLAN  
SCALE 1/16" = 1'-0"



2 BASEMENT ELECTRICAL PLAN  
SCALE 1/16" = 1'-0"



3 MAIN FLOOR ELECTRICAL PLAN  
SCALE 1/16" = 1'-0"



4 UPPER FLOOR ELECTRICAL PLAN  
SCALE 1/16" = 1'-0"

NOTE:  
1. VERIFY ALL LIGHTING WITH HOME OWNER PRIOR TO ELECTRICAL ROUGH IN.

**ELECTRICAL LEGEND**

- ⊕ DUPLEX OUTLET
- ⊕ WEATHERPROOF
- ⊕ GROUND FAULT INTERRUPT
- ⊕ SWITCH
- ⊕ 3-WAY SWITCH
- ⊕ POT LIGHT
- ⊕ HEAT LAMP
- ⊕ INCANDESCENT LIGHT
- ⊕ WALL MOUNT
- ⊕ TELEPHONE
- ⊕ CABLE TV
- ⊕ COMPUTER NETWORK CABLE
- ⊕ EXHAUST FAN
- ⊕ SMOKE ALARM
- ⊕ ELECTRICAL PANEL

REVISIONS

CONSULTANTS

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PROJECT TITLE  
SPEC HOUSE  
5 WESTVIEW COURT  
TABER, AB

CLIENT

DRAWING TITLE  
ROOF PLAN  
ELECTRICAL PLANS

DATE  
PROJECT NO.  
SCALE AS SHOWN  
DRAWN  
CADD FILE

SHEET NO.

A8



<b>Project Name:</b>		<b>5 Westview Court</b>			
<b>Date Submitted:</b> 22-065		<b>District</b> R-2		<b>Proposed Use</b>	
<b>Permit Number:</b> 5444030		<b>Address</b> Court		<b>Permitted?</b> Permitted	
<b>Roll Number:</b> 5444030		<b>Lot, Block, Plan</b> Plan 2110184			
<b>Meeting and Notification Requirements</b>					
<b>Council</b>		<b>Required?</b>	<b>Date</b>	<b>Newspaper</b>	<b>Required?</b>
MPC		Yes	7/11/2022	Mailout	Yes
<b>Payments</b>					
		<b>Amount</b>	<b>Paid?</b>	<b>Date</b>	
DP Application Fee		200	No		
Damage Deposit in			No		
Const. Water Fee			No		
<b>Total</b>		200	No		
Deposit Returned?			No		

<b>DP Submission</b>	<b>Required?</b>	<b>Completed</b>	<b>Notes</b>	
Application Filled?	Yes	No		
Site Plan	Yes	No		
Drainage Plan	N/A	No		
Payment	Yes	No		
All materials submitted?	Yes	No		
<b>DP Review</b>	<b>Required?</b>	<b>Completed</b>	<b>Notes</b>	
LUB Review	Yes	No		
Waiver or Variance	Yes	No		
Internal Circulation	Yes	No		
Council or MPC	MPC	No		
Mail Outs	Yes	No		
Approval/Refusal	Yes	No		
<b>Following Approval</b>	<b>Required?</b>	<b>Sent/Taken</b>	<b>Returned</b>	<b>Notes/Reasons for Decision:</b>
Damage Deposit	N/A	No	No	
Send to Superior (if BP)	Yes	No	No	
Pre-Inspection Reports	N/A	No	No	
Post-Inspection Reports	N/A	No	No	

<b>Lot Coverage Calculation</b>		
Lot Size	486	
Principle Building	130	
Attached Garage	58	
Poarch	5	0.397119342
Decks	17	0.034979424
Detached Garage		
Accessory Structures		
Accessory Structures		
Accessory Structures		0
Total Structures	210	0.432098765

<b>Driveway Calculations</b>		
Frontage for Lot	12.8	5.12
Driveway Width	7.62	
Percentage of Lot	0.5953125	
Allowable Waiver	1.28	6.4

<b>Land Use Bylaw Checklist (units in metres)</b>			
<b>Principal Building Setbacks</b>	<b>Required</b>	<b>Proposed</b>	<b>Acceptable</b>
Front Setback	6	6.1	Yes
Rear Setback	6	8.71	Yes
Side Setback 1	1.2	1.22	Yes
Side Setback 2	1.2	1.22	Yes
<b>Accessory Setbacks</b>	<b>Required</b>	<b>Proposed</b>	<b>Acceptable</b>
Front Setback	6		Yes
Rear Setback	0.6		Yes
Side Setback	0.6		Yes
Side Setback Adjacent Street	1.2		Yes
Principal Building	1.0		Yes
<b>Coverages</b>			
Max Building Coverage	50%	43.2%	Yes
Principal Building		39.7%	No
Accessory Buildings		0.0%	Yes
Decks		3.5%	No
Driveway Coverage	40%	59.5%	
<b>Landscaping</b>	<b>Required</b>	<b>Proposed</b>	<b>Acceptable</b>
Amount required	Review		#VALUE!
<b>Parcel Size</b>	<b>Required</b>	<b>Proposed</b>	<b>Acceptable</b>
Min. Parcel Area	Review		#VALUE!
Min. Parcel Width	Review		#VALUE!
<b>Heights</b>	<b>Required</b>	<b>Proposed</b>	<b>Acceptable</b>
Max Building Height	10.5	6.63	Yes
Max Deck Height	1.5	2.47	No
Max Accessory Height			Yes
<b>Parking</b>	<b>Required</b>	<b>Proposed</b>	<b>Acceptable</b>
Stalls			Yes
Handicap			Yes
<b>Other</b>	<b>Required</b>	<b>Proposed</b>	<b>Acceptable</b>
Corner Site Triangle			Yes

<b>Parking Calculation</b>			
<b>Use(s)</b>	<b>1 Stall per X m2</b>	<b>Area</b>	<b>Stalls required</b>
Automobile Supply			#DIV/0!
Automotive Sales			#DIV/0!
Note: Total always rounds up			<b>Total</b> #DIV/0!



## Development Authority Request for Decision

**Meeting Date:** July 11/2022

**Subject:**

Building Permit Statistics

**Recommendation:**

No Motion Required

**Background:**

Building Permit Statistics for the month of June 2022 have been compiled and are attached.

**Legislation / Authority:**

Subdivision and Development Authority and MPC Bylaw 10-2018 (43)(h)

**Strategic Plan Alignment:**

N/A

**Financial Implication:**

N/A

**Service Level / Staff Resource Implication:**

The compiling of building permit statistics is a requirement of the Planning and Economic Development Department.

**Justification:**

That statistical records are an important tool for monitoring building activity within the Town of Taber.

**Alternative(s):**

Alternative #1: That the Municipal Planning Commission does not accept the Building Permit Statistics for the month of June 2022 as information.

**Attachment(s):** Statistics for June 2022

**APPROVALS:**

**Originated By:**

Celina Newberry

**Chief Administrative Officer (CAO) or Designate:** \_\_\_\_\_





TOWN OF TABER

### BUILDING PERMIT STATISTICS

June 2022

	Month of June by Year								
	2022			2021			2020		
	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value
SINGLE FAMILY DWELLINGS	3	0	\$ 1,048,600.00	0	0	\$ -	1	1	\$ 290,000.00
2 FAMILY DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
SEMI DETACHED DWELLING	0	0	\$ -	2	0	\$ 420,000.00	0	0	\$ -
MULTI FAMILY DWELLING	0	8	\$ -	0	0	\$ -	0	0	\$ -
RESIDENTIAL ADDITIONS & ACCESS.	5	0	\$ 33,000.00	3	0	\$ 115,000.00	6	0	\$ 54,500.00
GARAGES & CARPORTS	1	0	\$ 20,000.00	0	0	\$ -	1	0	\$ 60,000.00
MANUFACTURED HOMES	0	0	\$ -	0	0	\$ -	1	1	\$ 20,000.00
SWIMMING POOLS	0	0	\$ -	0	0	\$ -	0	0	\$ -
FARM & AGRICULTURE BUILDINGS	0	0	\$ -	0	0	\$ -	0	0	\$ -
NEW COMMERCIAL	0	0	\$ -	1	0	\$ 1,100,000.00	0	0	\$ -
COMMERCIAL ADDITIONS/ALTER	1	0	\$ 500.00	1	0	\$ 20,000.00	1	0	\$ 40,000.00
NEW INDUSTRIAL	0	0	\$ -	0	0	\$ -	1	0	\$ 380,000.00
INDUSTRIAL ADDITIONS/ALTER	0	0	\$ -	0	0	\$ -	0	0	\$ -
NEW INSTITUTIONAL	0	0	\$ -	0	0	\$ -	0	0	\$ -
INSTITUTIONAL ADDITIONS/ALTER	0	0	\$ -	1	0	\$ 8,000.00	0	0	\$ -
MOBILE HOME PARK	0	0	\$ -	0	0	\$ -	0	0	\$ -
DEMOLITIONS	0	0	\$ -	1	0	\$ 5,000.00	0	0	\$ -
OCCUPANCY/INSPECTION ONLY	0	0	\$ -	0	0	\$ -	0	0	\$ -
PERMANENT SIGNS	0	0	\$ -	1	0	\$ 5,000.00	0	0	\$ -
	<b>10</b>	<b>8</b>	<b>\$ 1,102,100.00</b>	<b>10</b>	<b>0</b>	<b>\$ 1,673,000.00</b>	<b>11</b>	<b>2</b>	<b>\$ 844,500.00</b>

	Year to Date (January 1 to June 30)								
	2022			2021			2020		
	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value
SINGLE FAMILY DWELLINGS	10	1	\$ 3,288,600.00	6	1	\$ 2,003,000.00	6	6	\$ 1,470,000.00
2 FAMILY DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
SEMI DETACHED DWELLING	2	0	\$ 450,000.00	4	0	\$ 750,000.00	2	4	\$ 380,000.00
MULTI FAMILY DWELLING	2	12	\$ 1,050,000.00	0	0	\$ -	0	0	\$ -
RESIDENTIAL ADDITIONS & ACCESS.	16	0	\$ 287,305.77	13	0	\$ 324,500.00	16	0	\$ 149,000.00
GARAGES & CARPORTS	4	0	\$ 193,000.00	1	0	\$ 35,000.00	3	0	\$ 110,000.00
MANUFACTURED HOMES	1	0	\$ 195,000.00	0	0	\$ -	1	1	\$ 20,000.00
SWIMMING POOLS	1	0	\$ 500.00	1	0	\$ 2,499.00	0	0	\$ -
FARM & AGRICULTURE BUILDINGS	0	0	\$ -	0	0	\$ -	0	0	\$ -
NEW COMMERCIAL	2	0	\$ 1,425,000.00	2	0	\$ 3,100,000.00	0	0	\$ -
COMMERCIAL ADDITIONS/ALTER	3	0	\$ 9,500.00	6	0	\$ 2,442,300.00	8	0	\$ 557,500.00
NEW INDUSTRIAL	1	0	\$ 190,000.00	0	0	\$ -	2	0	\$ 1,580,000.00
INDUSTRIAL ADDITIONS/ALTER	2	0	\$ 1,059,932.00	2	0	\$ 124,000.00	1	0	\$ 8,000.00
NEW INSTITUTIONAL	0	0	\$ -	1	0	\$ 1,000,000.00	0	0	\$ -
INSTITUTIONAL ADDITIONS/ALTER	0	0	\$ -	2	0	\$ 13,000.00	3	0	\$ 502,000.00
MOBILE HOME PARK	0	0	\$ -	0	0	\$ -	0	0	\$ -
DEMOLITIONS	0	0	\$ -	3	0	\$ 77,229.00	1	0	\$ 1,500.00
OCCUPANCY/INSPECTION ONLY	1	0	\$ 225,991.56	0	0	\$ -	1	0	\$ 3,500.00
PERMANENT SIGNS	0	0	\$ -	1	0	\$ 5,000.00	1	0	\$ 11,500.00
	<b>45</b>	<b>13</b>	<b>\$ 8,374,829.33</b>	<b>42</b>	<b>1</b>	<b>\$ 9,876,528.00</b>	<b>45</b>	<b>11</b>	<b>\$ 4,793,000.00</b>

	Permits by District					
	2022		2021		2020	
	No. of Permits	Construction Value	No. of Permits	Construction Value	No. of Permits	Construction Value
RESIDENTIAL	36	\$ 5,464,405.77	25	\$ 3,114,999.00	28	\$ 2,129,000.00
INDUSTRIAL	3	\$ 1,249,932.00	5	\$ 201,229.00	4	\$ 1,589,500.00
COMMERCIAL	6	\$ 1,660,491.56	9	\$ 5,547,300.00	10	\$ 572,500.00
INSTITUTIONAL	0	\$ -	3	\$ 1,013,000.00	3	\$ 502,000.00

**Town of Taber Building Permits June 2022**

Building Permit #	Issue Date	Owner	Contractor
TTB B 0036 22 22 LT	8-Jun-22		Home Owner
Project Site Address	Project Description	Value of Project	Tax Roll
4012 49 Avenue	Residential Additions & Accessory Uses	\$ 3,000.00	4839470
Building Permit #	Issue Date	Owner	Contractor
TTB B 0037 22 22 LT	8-Jun-22	South Alta	Willowcrest Construction Ltd.
Project Site Address	Project Description	Value of Project	Tax Roll
118 Piraire Gold Street	Single Family Dwelling	\$ 230,000.00	4358300
Building Permit #	Issue Date	Owner	Contractor
TTB B 0038 22 22 LT	8-Jun-22		Standard Flooring and Deck Centre
Project Site Address	Project Description	Value of Project	Tax Roll
4102 48 Avenue	Residential Additions & Accessory Uses	\$ 20,000.00	4741240
Building Permit #	Issue Date	Owner	Contractor
TTB B 0039 22 22 LT	8-Jun-22		Home Owner
Project Site Address	Project Description	Value of Project	Tax Roll
5416 45 Avenue	Garages and Carports	\$ 20,000.00	4454090
Building Permit #	Issue Date	Owner	Contractor
TTB B 0040 22 22 LT	15-Jun-22		Willowcrest Construction Ltd.
Project Site Address	Project Description	Value of Project	Tax Roll
4903 57 Avenue	Single Family Dwelling	\$ 418,600.00	5749170
Building Permit #	Issue Date	Owner	Contractor
TTB B 0041 22 22 LT	15-Jun-22	Jon Ohler	Willowcrest Construction Ltd.
Project Site Address	Project Description	Value of Project	Tax Roll
5311 50 Street	Residential Additions & Accessory Uses	\$ 5,000.00	5250200
Building Permit #	Issue Date	Owner	Contractor
TTB B 0042 22 22 LT	24-Jun-22	Town of Taber	Coles Rental
Project Site Address	Project Description	Value of Project	Tax Roll
50 Ave & 50 St.	Commercial Additions/Alterations	\$ 500.00	6246010
Building Permit #	Issue Date	Owner	Contractor
TTB B 0043 22 22 LT	28-Jun-22		Willowcrest Construction Ltd.
Project Site Address	Project Description	Value of Project	Tax Roll
5 Prairie Gold Place	Single Family Dwelling	\$ 400,000.00	4358220
Building Permit #	Issue Date	Owner	Contractor
TTB B 0044 22 22 LT	28-Jun-22		Home Owner
Project Site Address	Project Description	Value of Project	Tax Roll
4415 53 Avenue	Residential Additions & Accessory Uses	\$ 5,000.00	5344048
Building Permit #	Issue Date	Owner	Contractor
TTB B 0045 22 22 LT	28-Jun-22	Maragetha Reimer	Home Owner
Project Site Address	Project Description	Value of Project	Tax Roll
5822 48 Street	Residential Additions & Accessory Uses	\$ -	5847030

**June 2022 Year to Date Approved Permits - Construction Values**

Permit #	Issued Date	Class	Description	Status	Roll #	Owner	Contractor	Address	Construction Cost
0001 22	1/5/2022	COM	Occupancy/Inspection Only	Open	4751200		Maple Leaf Construction	5111 47 Avenue	\$ 225,991.56
0002 22	1/12/2022	RES	Manufactured Homes	Open	TBD		Home Owner	38 Meadows Wat	\$ 195,000.00
0003 22	1/12/2022	RES	Single Family Dwelling	Open	4357205	Willowcrest Construction Ltd.	Willowcrest Construction Ltd.	82 Praire Gold Street	\$ 350,000.00
0004 22	1/12/2022	RES	Residential Additions & Accessory Uses	Open	4849070		Aaron Hofman	115 Signature Lane	\$ 88,000.00
0005 22	1/26/2022	COM	Commercial Additions/Alterations	Open	5466180	R. Tymko Group	Ducharme Logistics	5420 66 Avenue	\$ 7,000.00
0006 22	1/19/2022	RES	Residential Additions & Accessory Uses	Open	4156045		Reynos Contracting	5611 Sunrise Crescent	\$ 22,000.00
0007 22	2/1/2022	COM	Commercial Additions/Alterations	Open	4752160		Business Owner	4704 53 Street	\$ 2,000.00
0008 22	2/1/2022	RES	Multi-Family Dwelling	Open	5255010		Property Owner	5321/5323 55 street	\$ 50,000.00
0009 22	2/9/2022	RES	Residential Additions & Accessory Uses	Open	3745060		Home Owner	4606 Heritage Dr.	\$ 12,000.00
0010 22	2/9/2022	INST	Industrial Additions/Alterations	Open	6346090	The Good Samaitan Society	Property Owner	4700 64 Ave	\$ 8,736.00
0011 22	2/9/2022	RES	Single Family Dwelling	Open	5843110	Journeymen Enterprises Ltd.	Journeymen Enterprises Ltd.	25 Prairie Sunset Ave.	\$ 300,000.00
0012 22	2/16/2022	RES	Residential Additions & Accessory Uses	Open	5847060		Home Owner	5810 48 Street	\$ 3,833.77
0014 22	3/2/2022	RES	Garages and Carports	Open	5650270		Home Owner	5614 51 St.	\$ 78,000.00
0015 22	3/2/2022	COM	New Commercial	Open	4457040	Potato Growers of Alberta	Potato Growers of Alberta	6008 46 Ave.	\$ 1,250,000.00
0016 22	3/2/2022	RES	Single Family Dwelling	Open	5844090	Willowcrest Construction	Willowcrest Construction	32 Prairie Lake Dr.	\$ 350,000.00
0017 22	3/2/2022	IND	Industrial Additions/Alterations	Open	4764030	Lantic	C&A Industries	5405 64 St.	\$ 1,051,196.00
0018 22	3/2/2022	RES	Semi-Detached Dwelling	Open	4352210	VHL	VHL	5217 43 Ave.	\$ 225,000.00
0019 22	3/2/2022	RES	Semi-Detached Dwelling	Open	4352200	VHL	VHL	5219 Ave.	\$ 225,000.00
0020 22	3/28/2022	RES	Residential Additions & Accessory Uses	Open	5643040		Home Owner	4333 56 Ave.	\$ 15,000.00
0021 22	3/28/2022	RES	Residential Additions & Accessory Uses	Open	6347038		Energy Smart Canada Ltd.	6231 46 A St.	\$ 31,972.00
0022 22	3/28/2022	RES	Single Family Dwelling	Open	4360500	Willowcrest Construction	Willowcrest Construction	4233 60 Ave.	\$ 420,000.00
0023 22	4/6/2022	RES	Single Family Dwelling	Open	4358360	South Alta Trading Co.	Genica	142 Priarie Gold Street	\$ 220,000.00
0024 22	4/6/2022	RES	Single Family Dwelling	Open	5844470	Jodanal Farms Ltd.	Genica	30 Praire Sunset Avenue	\$ 300,000.00
0025 22	4/14/2022	RES	New Commercial	Open	5041012	RTK Ranches	Hansen Roofing & Construction	4110 Westview Close	\$ 175,000.00
0027 22	4/20/2022	RES	Multi-Family Dwelling	Open	5254140		Neu-Build Construction Inc.	5202 55 Street	\$ 1,000,000.00
0013 22	5/4/2022	RES	Garages and Carports	Open	5648380		Home Owner	4837 56 Ave	\$ 35,000.00
0026 22	5/20/2022	RES	New Industrial	Open	665080	Wades House Moving	VHL Construction	6239 65 Street	\$ 190,000.00
0028 22	5/12/2022	RES	Garages and Carports	Open	4250550		Home Owner	5005 42 Avenue	\$ 60,000.00
0029 22	5/4/2022	RES	Residential Additions & Accessory Uses	Open	5148080		Winmar Restorations	4832 52 Avenue	\$ 40,000.00
0030 22	5/4/2022	RES	Residential Additions & Accessory Uses	Open	5457080		Home Owner	5413 57 Street	\$ 5,000.00
0031 22	5/4/2022	RES	Residential Additions & Accessory Uses	Open	5944270		Wildstone Construction	47 Prairie Lake Drive	\$ 26,000.00
0032 22	5/11/2022	RES	Single Family Dwelling	Open	5443610	Maple Leaf Construction	Maple Leaf Construction	4312 54 Avenue	\$ 300,000.00
0033 22	5/18/2022	RES	Residential Additions & Accessory Uses	Open	4151230		Home Owner	5105 41 Avenue	\$ 7,000.00
0034 22	5/25/2022	RES	Residential Additions & Accessory Uses	Open	3853390		Home Owner	5409 38 Avenue	\$ 3,500.00
0035 22	5/25/2022	RES	Swimming Pools	Open	6054070			6017 54 Street	\$ 500.00
0036 22	6/2/2022	RES	Residential Additions & Accessory Uses	Open	4839470		Home Owner	4012 49 Avenue	\$ 3,000.00
0037 22	6/8/2022	RES	Single Family Dwelling	Open	4358300	South Alta	Willowcrest Construction Ltd.	118 Praire Gold Street	\$ 230,000.00
0038 22	6/8/2022	RES	Residential Additions & Accessory Uses	Open	4741240		Standard Flooring and Deck Centre	4102 48 Avenue	\$ 20,000.00
0039 22	6/8/2022	RES	Garages and Carports	Open	4454090		Home Owner	5416 45 Avenue	\$ 20,000.00
0040 22	6/15/2022	RES	Single Family Dwelling	Open	5749170		Willowcrest Construction Ltd.	4903 57 Avenue	\$ 418,600.00
0041 22	6/15/2022	RES	Residential Additions & Accessory Uses	Open	5250200		Willowcrest Construction Ltd.	5311 50 Street	\$ 5,000.00
0042 22	6/24/2022	COM	Commercial Additions/Alterations	Open	6246010	Town of Taber	Coles Rental	50 Ave & 50 St.	\$ 500.00
0043 22	6/28/2022	RES	Single Family Dwelling	Open	4358220	South Alta	Willowcrest Construction Ltd.	5 Prairie Gold Place	\$ 400,000.00
0044 22	6/28/2022	RES	Residential Additions & Accessory Uses	Open	5344048		Home Owner	4415 53 Avenue	\$ 5,000.00
0045 22	6/28/2022	RES	Residential Additions & Accessory Uses	Open	5847030		Home Owner	5822 48 Street	\$ -

**\$ 8,374,829.33**



## Development Authority Request for Decision

**Meeting Date:** July 11/2022

**Subject:**  
Standing Items

**Recommendation:**  
That the Municipal Planning Commission uses the standing items opportunity to address Administration about their concerns, and ask questions.

**Background:**  
To assist in information sharing and ensure agreement on the relative importance of activities, and to facilitate a common understanding, Council established a standing item on the Municipal Planning Commission agenda to raise individual concerns.

**Legislation / Authority:**  
N/A

**Strategic Plan Alignment:**  
Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.

**Financial Implication:**  
The financial implication will vary depending on the discussion outcomes but should consider alignment of Town facility and service provision with approved budget.

**Service Level / Staff Resource Implication:**  
Having a regular Municipal Planning Commission discussion about service levels will improve the ability of Administration to meet expectations of Council rather than dealing with requests from individuals on an ad hoc basis.

**Justification:**  
This will bring administration efficiencies and better alignment of services and expenditures. It will also help improve communication protocols and adherence to the MGA.

**Alternative(s):**  
Alternatives will vary based on discussions.

**Attachment(s):** None

### APPROVALS:

**Originated By:**  
Celina Newberry

**Chief Administrative Officer (CAO) or Designate:** \_\_\_\_\_