



AGENDA

REGULAR MEETING OF THE DEVELOPMENT AUTHORITY OF THE TOWN OF TABER, TO BE HELD IN THE COUNCIL CHAMBERS, ADMINISTRATION BUILDING, ON MONDAY, MAY 16, 2022 AT 1:30 PM.

	<u>MOTION</u>
1. CALL TO ORDER	X
2. ADOPTION OF THE AGENDA	
3. ADOPTION OF THE MINUTES	
ITEM No.3.1 Minutes for the April 19, 2022 Regular Planning Commission Meeting	X
4. BUSINESS ARISING FROM THE MINUTES	
5. ACTION ITEMS	
ITEM No.5.1 DP 22-036 4312 54 Avenue - Driveway and Deck	X
ITEM No.5.2 DP 22-038 - 4415 53 Street - Deck Variances	X
ITEM No.5.3 Building Permits Statistics	
ITEM No.5.4 Standing Items	
6. DELEGATIONS	
7. MEDIA INQUIRIES	
8. CLOSED SESSION	
9. OPEN SESSION	
10. CLOSE OF MEETING	X



Development Authority Request for Decision

Meeting Date: May 16/2022

Subject:

Minutes for the April 19, 2022 Regular Planning Commission Meeting

Recommendation:

That the Municipal Planning Commission adopts the minutes of the Regular Municipal Planning Commission meeting held April 19, 2022 as presented.

Background:

The minutes of the regular Municipal Planning Commission meeting held on April 19, 2022 are attached.

Legislation / Authority:

Section 203 of the Municipal Government Act allows the Municipal Planning Commission to adopt the minutes and perform other duties as delegated by Council.

Strategic Plan Alignment:

N/A

Financial Implication:

There is no financial implication for the creation of minutes.

Service Level / Staff Resource Implication:

Time was required by Administration to record the minutes of the Municipal Planning Commission's regular meeting.

Justification:

Adoption of the minutes will provide a record of the regular meeting of the Municipal Planning Commission meeting held on April 19, 2022.

Alternative(s):

Alternative #1: That the Municipal Planning Commission adopts the minutes of the regular Municipal Planning Commission meeting held on April 19, 2022 with amendments.

Attachment(s): Minutes for the April 19, 2022 Regular Municipal Planning Commission Meeting

APPROVALS:

Originated By:

Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____

MINUTES OF THE REGULAR MEETING OF THE DEVELOPMENT
AUTHORITY OF THE TOWN OF TABER, IN THE PROVINCE OF
ALBERTA, HELD IN THE COUNCIL CHAMBERS, ADMINISTRATION
BUILDING, ON TUESDAY, APRIL 19, 2022, AT 1:30 PM.

Chairperson

Roger Miles

Vice Chairperson

Ron Hadden

Members

Cody Fletcher

Monica McLean

Absent

Jack Brewin

Staff

Chris Eagan

Celina Newberry

Derrin Thibault

CALL TO ORDER

Meeting was called to order by R. Miles at 1:30 pm.

ADOPTION OF THE AGENDA

RES 30/2022 MOVED by M. McLean that the Municipal Planning
Commission adopts the Agenda of the regular
Municipal Planning Commission meeting held on
April 19th, 2022 as presented.

CARRIED UNANIMOUSLY

ADOPTION OF THE MINUTES

**Minutes for the March 21, 2022 Regular Meeting for the Municipal
Planning Commission**

RES 31/2022 MOVED by M. McLean that the Municipal Planning
Commission adopts the Minutes of the Regular
Municipal Planning Commission meeting held
March 21, 2022 as presented.

CARRIED UNANIMOUSLY

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BUSINESS ARISING FROM THE MINUTES

R. Miles inquired about the Subdivision Authority's decision on the two subdivision applications that had been presented at the March 21, 2022 meetings. The commission was informed that TT-22-0-001 was approved and TT 22-0-002 was denied.

ACTION ITEMS

DP 22-028 5004 42 Avenue - Row House with 4 Units

RES 32/2022 MOVED by C. Fletcher that the Municipal Planning Commission approves Development Permit DP 22-028 for Row House with 4 Units and Variances at 5004 42 Avenue, Lots 1-3, Block 47, Plan 575T, with the following nineteen (19) conditions:

1. The site is developed as per the site plan submitted;
2. The development conforms to the district requirements of the Residential Single and Two Dwelling District (R-2);
3. A front yard setback variance of 3.96 metres was granted by the Municipal Planning Commission on April 19, 2022. The front yard setback has been varied to 2.04 metres.
4. A rear yard setback variance of 3.982 metres was granted by the Municipal Planning Commission on April 19, 2022. The front yard setback has been varied to 2.018 metres.
5. A side yard setback variance of 1.171 metres was granted by the Municipal Planning Commission on April 19, 2022. The front yard setback has been varied to 1.89 metres.
6. A variance for the width of the parking spaces of 0.30 meters was granted by the Municipal Planning commission on April 19, 2022. The width of each parking space has been varied from 3.0 metres to 2.7 metres.
7. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the

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responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;

8. A separate demolition permit will be required for the removal of the existing structures on the property;
9. The developer shall enter into a Service Agreement with the Town of Taber, to provide new services to the property;
10. If sprinkler permits are required under the Alberta Building Code, a separate Building Permit application must be made in conjunction with the permit for the building, and a copy provided to the Town of Taber; New Home Warranty documentation must be supplied prior to the issuance of the Building Permit;
11. A landscaping plan shall submitted to the Development Authority for approval, prior to the beginning of construction.
12. A lot drainage (grade) plan illustrating water will not accumulate at or near the buildings (positive drainage), nor accumulate on the lot, and will not adversely affect adjacent properties shall be produced by a qualified professional and supplied to and approved by the Town of Taber prior to the beginning of construction.
13. The foundation must be staked by a qualified professional;
14. In accordance with policy PLN-4, a \$2,500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets, sidewalks, or services as a result of construction of this building shall be restored to Town standards at the applicant's expense prior to issuance of an occupancy permit.
15. The curb stop shall only be operated by the Town of Taber's Public Services. Any attempt to contravene this may be subject to a fine as outlined in Bylaw 20-2020 part 8.0. The water curb stop shall be set at finished grade

elevation to ensure accessibility by Public Services prior to installation of water metre and access to Town water. Public Services shall determine if water curb stop is acceptable and so advise the Town office prior to occupancy of the dwelling. As per Bylaw 20-2020 part 5.30, temporary water service for a maximum of 60 days must be arranged through the Town Office;

16. In accordance with Section 2.15.3(5) of the Land Use Bylaw 13-2020 a minimum of 2 parking spaces per residential unit are required with each space designated for a particular unit through signage.
17. The contractor commissioned for construction must have a valid Business License for the Town of Taber;
18. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021);
19. Applicant shall provide an updated real property report and obtain a compliance certificate prior to occupancy.

CARRIED

DP 22-029 4806 57 Avenue - Variance for Existing Deck

RES 33/2022 MOVED by R. Hadden that the Municipal Planning Commission approves Development Permit DP 22-029 for Side Yard Variance for and Existing Deck

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at 4806 57 Avenue, Lots 14-15, Block 32, Plan 4348R, with the following seven (7) conditions:

1. The site is developed as per the site plan submitted and as it presently exists on the property;
2. A side yard setback variance of 0.09 metres has been granted for the deck by the Municipal Planning Commission on April 19, 2022;
3. The development conforms to the district requirements of the Residential Single and Two Dwelling district (R-2);
4. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
5. Applicant to ensure water will not accumulate at or near the buildings (positive drainage) on site, nor accumulate on the lot, and will not adversely affect adjacent properties;
6. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbors' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021);
7. All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development.

CARRIED UNANIMOUSLY

DP 22-030 4927 55 Avenue - Multi Unit 4 units

RES 34/2022

MOVED by M. McLean that the Municipal Planning Commission approves Development Permit DP 22-030 for converting an existing Multi Unit building into 4 units from 5 units at 4927 55 Avenue, Lots 32-34, Block 30, Plan 4827HT, with the following ten (10) conditions:

1. The site is developed as per the site plan submitted;
2. The development conforms to the district requirements of the Residential Street-Oriented Multiple Dwelling District (R-3);
3. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
4. If sprinkler permits are required under the Alberta Building Code, a separate Building Permit application must be made in conjunction with the permit for the building, and a copy provided to the Town of Taber;
5. In accordance with Section 2.15.3(5) of the Land Use Bylaw 13-2020 a minimum of 6 parking spaces are required. The spaces must be provided on the property as per the site plan provided;
6. The contractor commissioned for construction must have a valid Business License for the Town of Taber;
7. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired.

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Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 4-2008);

8. The curb stop shall only be operated by the Town of Taber's Public Services. Any attempt to contravene this may be subject to a fine as outlined in Bylaw 20-2020 part 8.0. The water curb stop shall be set at finished grade elevation to ensure accessibility by Public Services prior to installation of water metre and access to Town water. Public Services shall determine if water curb stop is acceptable and advise the Town office prior to occupancy of the dwelling. As per Bylaw 20-2020 part 5.30, temporary water service for a maximum of 60 days must be arranged through the Town Office;
9. In accordance with policy PLN-4, a \$2,500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets, sidewalks, or services as a result of construction of this building shall be restored to Town standards at the applicant's expense prior to issuance of an occupancy permit;
10. Applicant to ensure water will not accumulate at or near the buildings (positive drainage) on site, nor accumulate on the lot, and will not adversely affect adjacent properties.

CARRIED UNANIMOUSLY

HO 22-006 4196 Sunrise Crescent - Nail Salon

RES 35/2022

MOVED by R. Hadden that the Municipal Planning Commission approves Development Permit HO 22-006 for Nail Salon at 4196 Sunrise Crescent, Lot 26, Block 2, Plan 9910821, with the following eight (8) conditions:

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1. The maximum number of onsite client visits allowed per day is 5;
2. Onsite client visits shall only be allowed between 9 am and 5 pm;
3. A variance to allow for the relaxation of providing one off street parking stall for client parking has been granted by the Municipal Planning Commission on April 19, 2022. No off- street parking stall for the business is required.
4. The development shall conform to the district requirements of the Residential Manufactured Home District (RMH), the Home Occupation conditions in Town of Taber Land Use Bylaw 13-2020 and the Town of Taber Business License Bylaw 14-2018;
5. If required, the applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
6. The applicant must maintain Quiet Hours as per the Community Standards Bylaw;
7. The applicant must not cause electronic interference, dust, noise, odour, smoke, or anything of offensive or objectionable nature, which is detectable to normal sensory perception, outside of the building containing the use;
8. The approval shall be applicable for a period of five year after, which a new home occupation permit must be applied for. Any increase to the number client visits to the property or changes to the business would require a new application.

CARRIED UNANIMOUSLY

Building Statistics for March 2022

The building statistics for March 2022 were presented as information.

Standing Items

None

DELEGATIONS

None

MEDIA INQUIRIES

None

CLOSED SESSION

None

OPEN SESSION

None

CLOSE OF MEETING

RES 36/2022 MOVED by M. McLean that the meeting be closed
at 2:00 pm.

CARRIED UNANIMOUSLY

CHAIRPERSON

CHIEF ADMINISTRATIVE OFFICER OR DESIGNATE

148/2022

Meeting Date
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Development Authority Request for Decision

Meeting Date: May 16/2022

Subject:

DP 22-036 4312 54 Avenue - Driveway and Deck

Recommendation:

That the Municipal Planning Commission approves Development Permit DP 22-036 for Driveway and Deck at 4312 54 Avenue, Lot 61, Block 3, Plan 2110184, with the following eleven (11) conditions:

1. The site is developed as per the site plan submitted;
2. The development conforms to the district requirements of the Residential Single & Two Dwelling District (R-2);
3. A rear yard setback variance of 0.65 metres was granted on May 16, 2022 by the Municipal Planning Commission. The rear yard setback is varied to 5.35 metres.
4. A deck height variance of 0.8 metres on May 16, 2022 by the Municipal Planning Commission. The maximum deck height is varied to 2.3 metres;
5. A building coverage variance of 3% was granted on May 16, 2022 by the Municipal Planning Commission. The maximum build coverage is varied to 53%;
6. A driveway width variance of 2.5 metres on May 16, 2022 by the Municipal Planning Commission. The maximum driveway width is varied to 7.62 metres or 59% of the lot frontage;
7. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
8. The architectural controls and vertical grade points must be approved by the developer,
9. The contractor commissioned for construction must have a valid Business License for the Town of Taber;
10. A lot drainage (grade) plan illustrating water will not accumulate at or near the buildings (positive drainage), nor accumulate on the lot, and will not adversely affect adjacent properties shall be produced by a qualified professional and supplied to the Town of Taber prior to the Building Permit being issued. In addition, the foundation must be staked by a qualified professional;
11. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021).

Background:

Administration has received an application for variances for the driveway and deck for 4312 54 Avenue. The requested variances are all in line with other development in the surrounding area.

The proposed driveway is for a two-car garage that is 25 feet wide or 7.62 metres. The respective driveway would come in at 7.62 metres or 60% of the lot frontage which is over both the 6.7 metre's or 40% allowed in the bylaw. This driveway width is in line with many others in the area.

The proposed deck is a covered deck, which, requires that it meets the same setbacks as the house. The required rear yard setback is 6 metres for this district. The deck would be 5.35 metres from the rear property line. The required setback variance for the deck is 0.65 metres, which is just over 10%. The second wavier for the deck would be for the height which is 2.3 metres. The variance needed is 0.8 metres. The proposed deck height is similar to many other properties in the area and is located off the main floor of the home.

The last variance included is for the building coverage. The addition of the covered deck and a larger covered entrance way brings the total coverage of the property to 52.2 %. For this reason we have included a variance of 3 % to increase the allowable building coverage from 50 % to 53% to cover the addition of the covered deck.

Legislation / Authority:

Subdivision Authority, Development Authority, and Municipal Planning Commission Bylaw 10-2018 Section 1(8)(c) The Municipal Planning Commission shall be the Development Authority for development permits applications for permitted uses which require a variance in excess of Ten Percent (10%) of a measurable standard established in the Land Use Bylaw or any other variance for which the Municipal Planning Commission is specifically authorized to provide in the Land Use Bylaw.

Strategic Plan Alignment:

Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.

Financial Implication:

The applicant has paid the appropriate application fees which will cover costs of advertising and notifications.

Service Level / Staff Resource Implication:

Administration's time was required for the review and processing of the application.

Justification:

Allowing for the driveway and deck to be developed as presented would provide the most benefit to the property owner. The development is in line with many of the other properties in the area and should not have any foreseen negative effects with the enjoyment of the surrounding properties.



Alternative(s):

Alternative #1: That the Municipal Planning Commission approves Development Permit DP 22-036 for Driveway and Deck at 4312 54 Avenue, Lot 61, Block 3, Plan 2110184, with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit DP 22-036 for Driveway and Deck at 4312 54 Avenue, Lot 61, Block 3, Plan 2110184, with reasons.

Attachment(s): Application
Site Plan
Plans
Plans 2
Checklist
Aerial Photo

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



RESIDENTIAL ACCESSORY USE DEVELOPMENT PERMIT APPLICATION

TOWN OF TABER: A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME: Maple leaf Construction

MAILING ADDRESS: Box 4738

TOWN: TABER AB POSTAL CODE: T1G 2E1

EMAIL: mapleleaf.taber@gmail.com PHONE NUMBER: 403-223-8351

Owner Information (if different from applicant)

OWNER NAME: Same

MAILING ADDRESS: _____

TOWN: _____ POSTAL CODE: _____

EMAIL: _____ PHONE NUMBER: _____

Property Information (property to be developed)

MUNICIPAL ADDRESS: 4312 54 Avenue

LOT(S): 61 BLOCK: 3 PLAN: 2110184

Description of Project

DESCRIBE YOUR PROJECT

Driveway Waiver
Deck set back

Type of Development

TYPE OF DEVELOPMENT PROPOSED (check all that apply)

- Garage (attached) Garage (detached) Shed Deck/Patio
 Pergola Pool/Hot Tub Overheight Fence Tree House
 Other Driveway

DOES THE DEVELOPMENT REQUIRE ANY WAIVERS?

Note that all waiver requests must go to the Municipal Planning Commission.

- Setback Deck Height Garage Size Second Garage
 Other Drive way width

Start Date and Cost

ESTIMATED START DATE: May 15 - 2022 ESTIMATED COST: _____

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: _____

DATE: April 26 2022

REGISTERED OWNER SIGNATURE: _____

DATE: April 26 2022

PLANNING OFFICER SIGNATURE: _____

DATE: April 26/2022

The personal information on this form is being collected for the purpose of reviewing your application to the municipality of the Town of Taber. The information is collected under the authority of Section 146 of the Municipal Government Act (MGA) and Section 33 of the Freedom of Information and Protection of Privacy Act (FOIPP). Under Section 33 of the FOIPP Act, the Town of Taber reserves the right to collect information that relates directly to and is necessary for an operating program or activity of the public body. Names of applicants will be provided to the public. If you have any questions about the collection of this information, please contact the FOIPP coordinator at 403-223-5500 ext. 5519.

Note: This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction.

Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).

At the completion of the development, you will be required to submit an updated *Real Property Report* to the Town of Taber to verify that the project has been constructed in the correct location.

Development Application Submission Requirements

THE FOLLOWING ITEMS MUST BE INCLUDED WITH YOUR APPLICATION (1 copy of each)

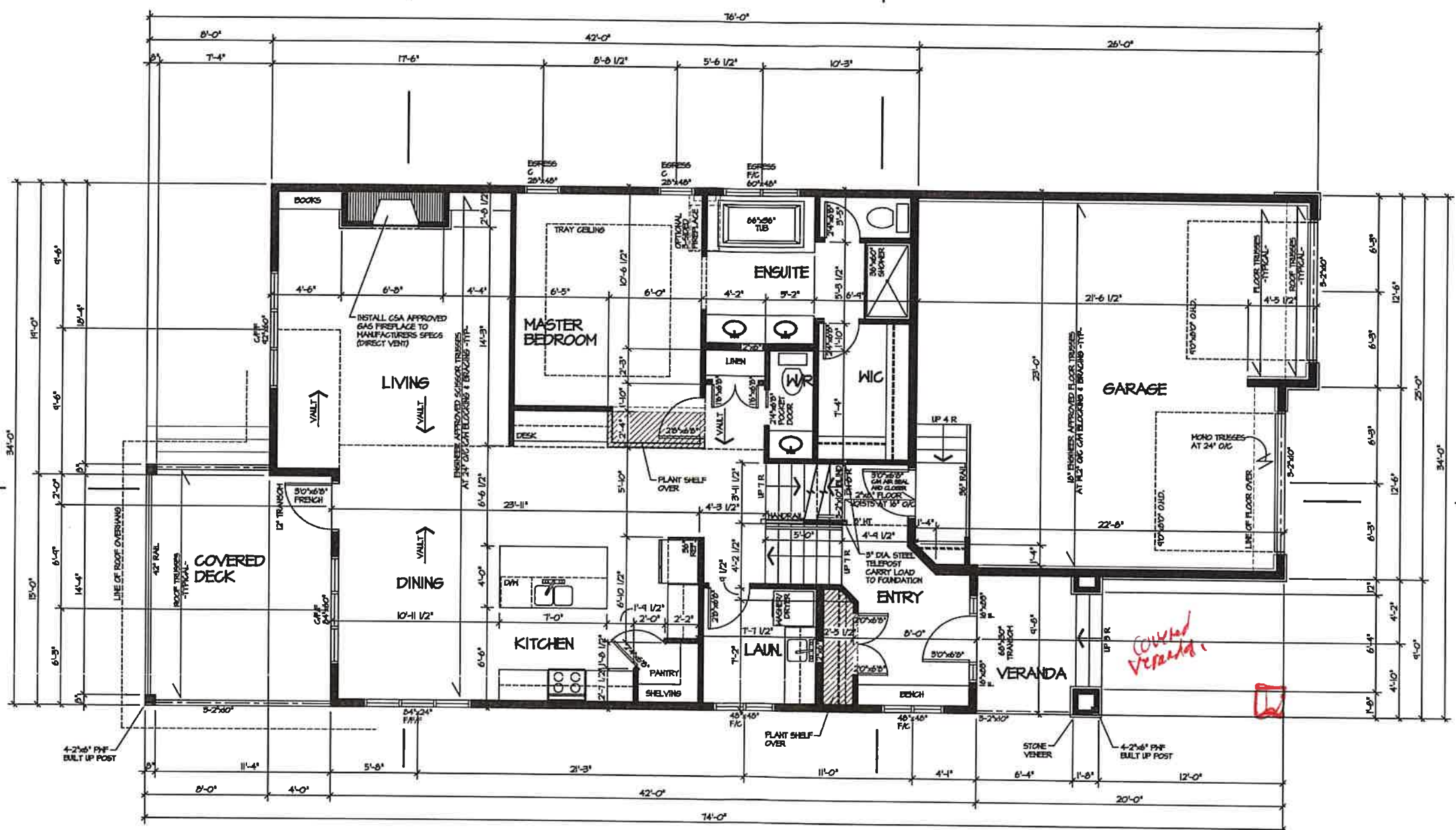
- Site Plan Building Plan
-

SITE PLAN REQUIREMENTS:

- Lot dimensions
 - Drainage Plan (directions of site drainage)
 - Dimensions and locations of all existing and proposed structures (including structures under 10m2)
 - Dimensions, locations, and heights of all existing and proposed decks/patios
 - All utility right of ways and easements located within or directly adjacent to the site
 - Distances between all structures and property lines
 - Site access with dimensions
 - Adjacent roads and lanes
 - North arrow
-

BUILDING PLAN REQUIREMENTS

- Scale and dimensions of exterior walls and interior room(s)
 - Floor plan of entire building/use
 - Building elevations and heights from finished grade
 - Exterior materials, architectural features, and colours to be used
-



1 MAIN FLOOR PLAN
 A2 SCALE 1/8" = 1'-0"
 1400 SQ. FT. HD SQ. FT. - TOTAL

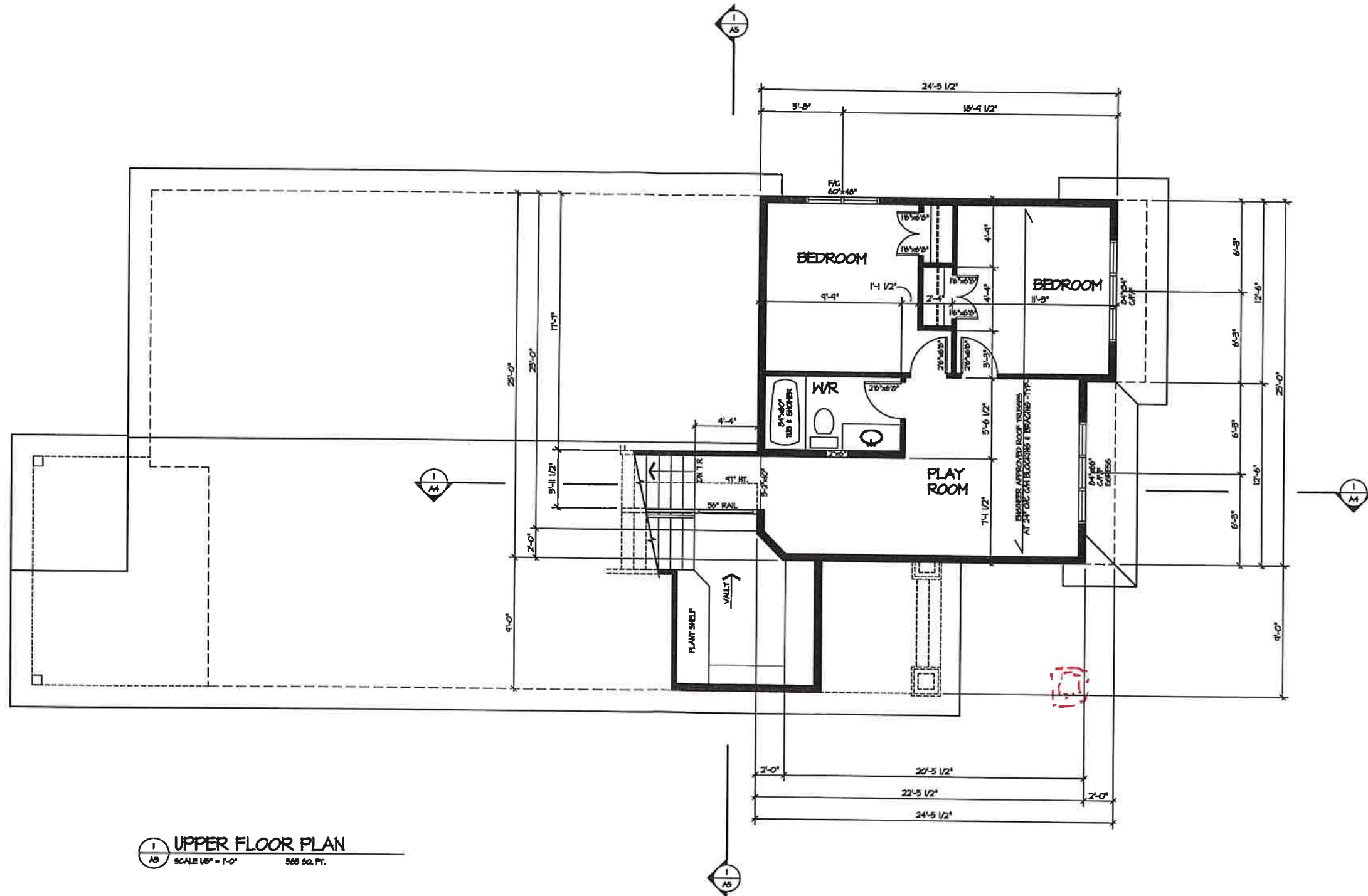
FINISH TYPES

- C - CASSETT
- F - FIXED
- A - ANNING
- P - PICTURE
- S - SLIDER

STAIR DETAILS

BASEMENT TO ENTRY	ENTRY TO MAIN	MAIN TO UPPER	GARAGE TO MAIN
RISE 7'-5/4"	RISE 7'-5/16"	RISE 7'-1/8"	RISE 7'-1/2"
RUN 10"	RUN 10"	RUN 10"	RUN 10"
TREAD 11"	TREAD 11"	TREAD 11"	TREAD 11"

MAPLE LEAF CONSTRUCTION
 PAW & DENISE PEDERSEN
 P.O. BOX 4738
 TABER, AB T1G 2E1



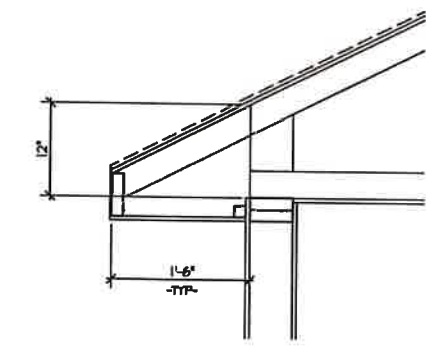
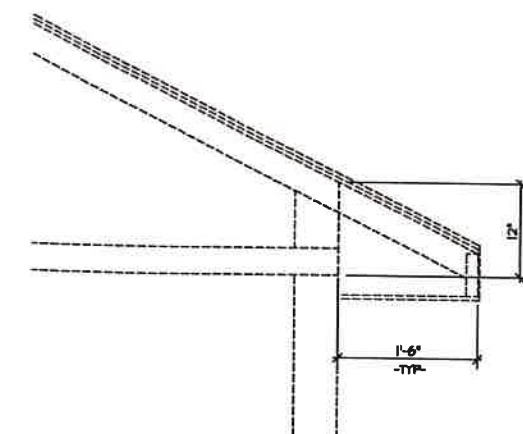
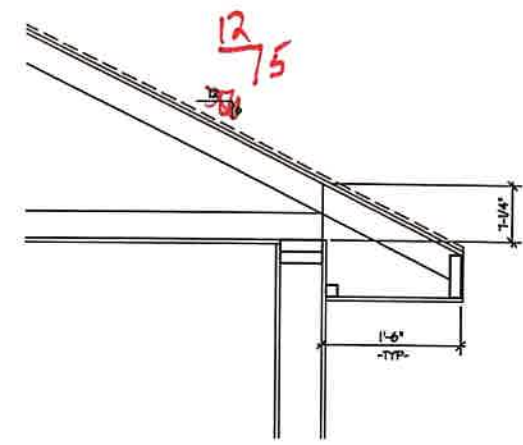
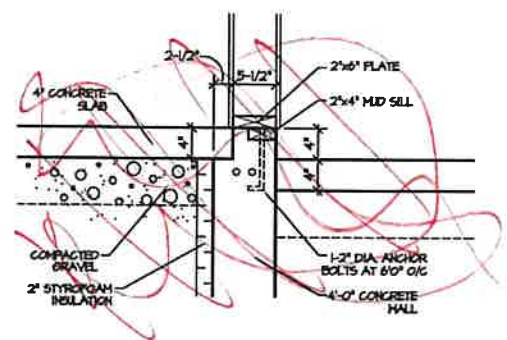
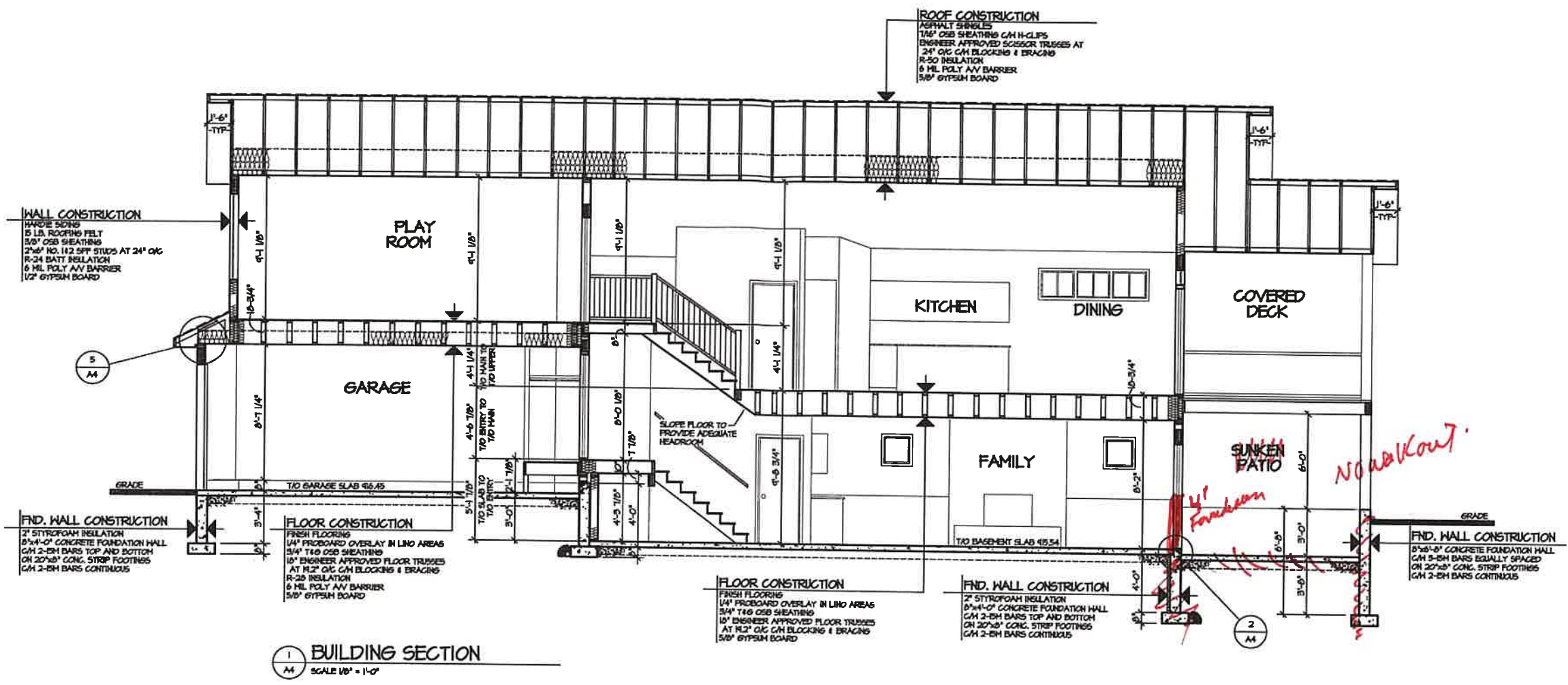
1 UPPER FLOOR PLAN
 AB SCALE 1/8" = 1'-0" 500 SQ. FT.

HIDDEN IT
 C - CASE
 F - FIXED
 A - ANCHOR
 P - PICTURE
 S - SLIDER

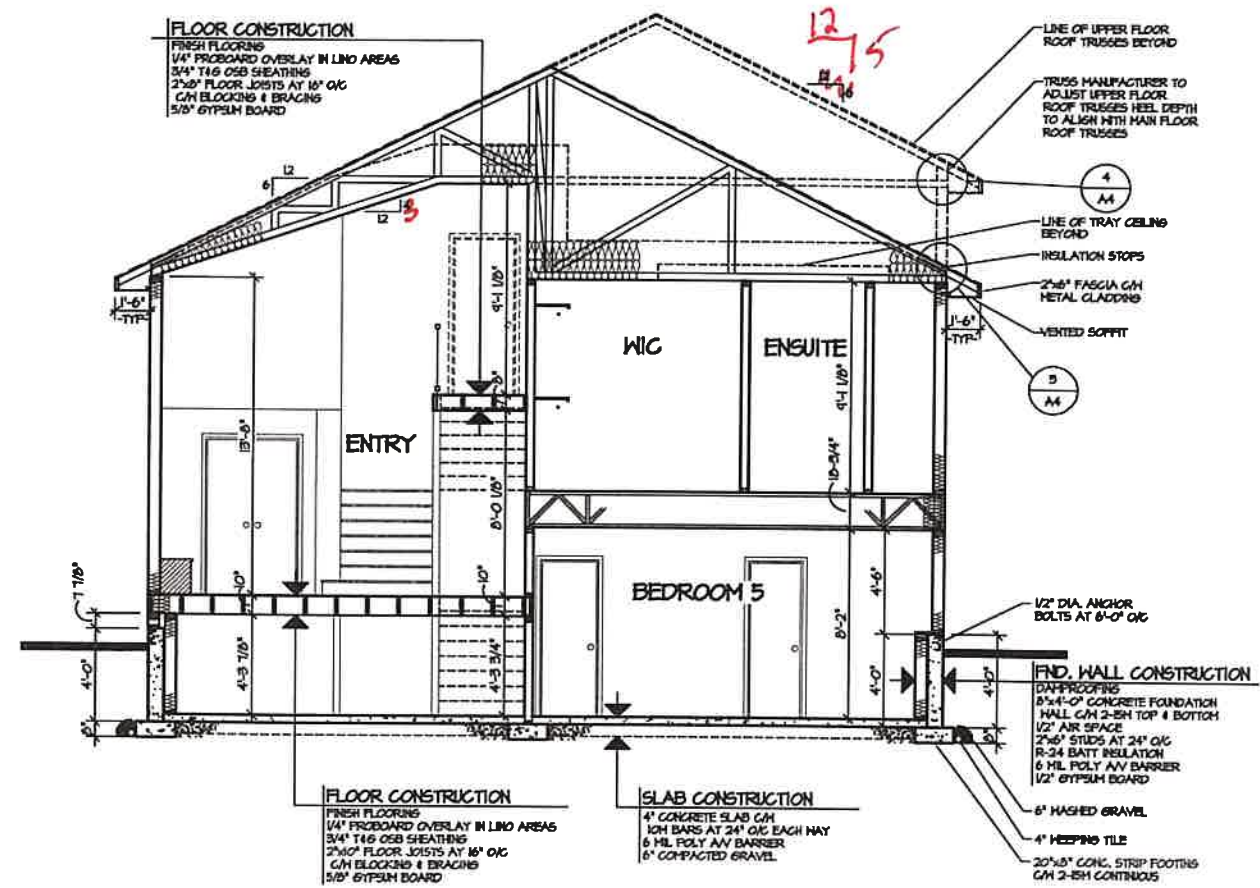
STAIR DETAILS			
BASEMENT TO ENTRY	ENTRY TO MAIN	MAIN TO UPPER	GARAGE TO IV
RISE 7'-5 1/4"	RISE 7'-5 1/8"	RISE 7'-1 1/2"	RISE 7'-1 1/2"
RUN 10"	RUN 10"	RUN 10"	RUN 10"
TREAD 11"	TREAD 11"	TREAD 11"	TREAD 11"



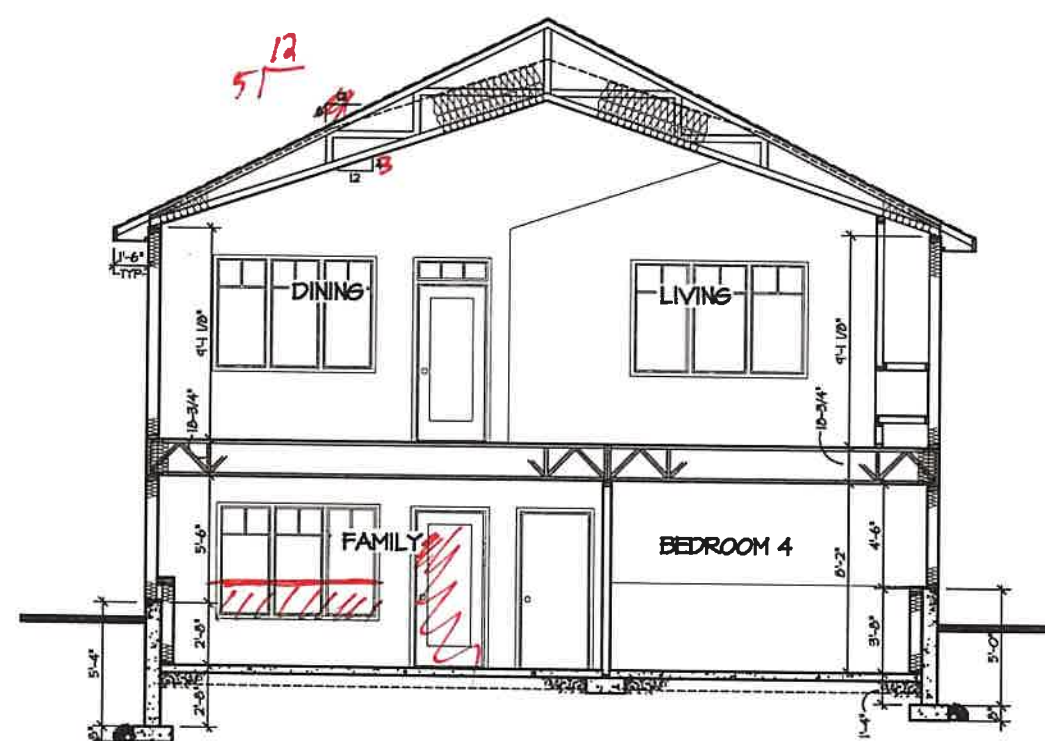
MAPLE LEAF CONSTRUCTION
 PAW & DENISE PEDERSEN
 P.O. BOX 4738
 TABER, AB T1G 2E1



MAPLE LEAF CONSTRUCTION
 PAW & DENISE PEDERSEN
 P.O. BOX 4738
 TABER, AB T1G 2E1



1 BUILDING SECTION
AS SCALE 1/8" = 1'-0"



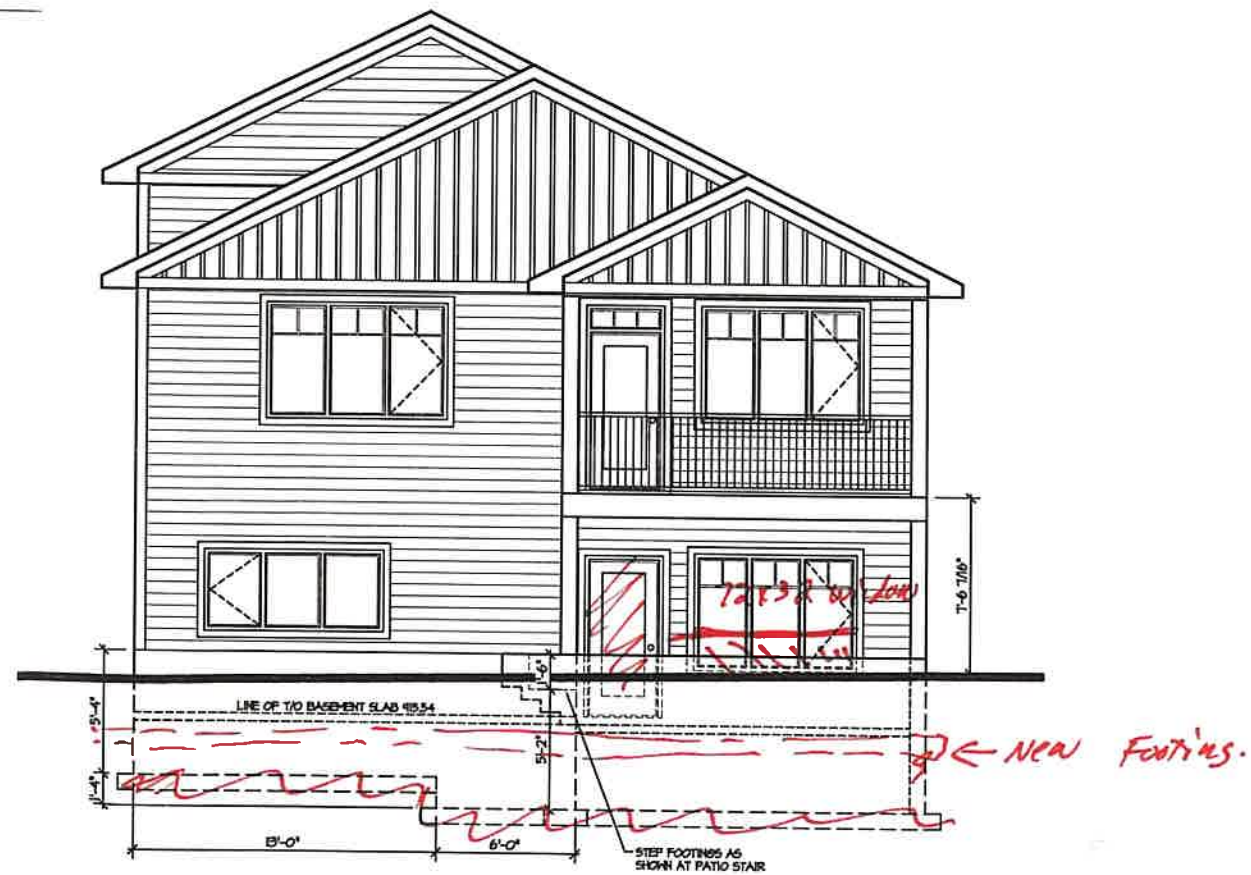
2 BUILDING SECTION
AS SCALE 1/8" = 1'-0"



**MAPLE LEAF
CONSTRUCTION**
PAW & DENISE PEDERSEN
P.O. BOX 4738
TABER, AB T1G 2E1



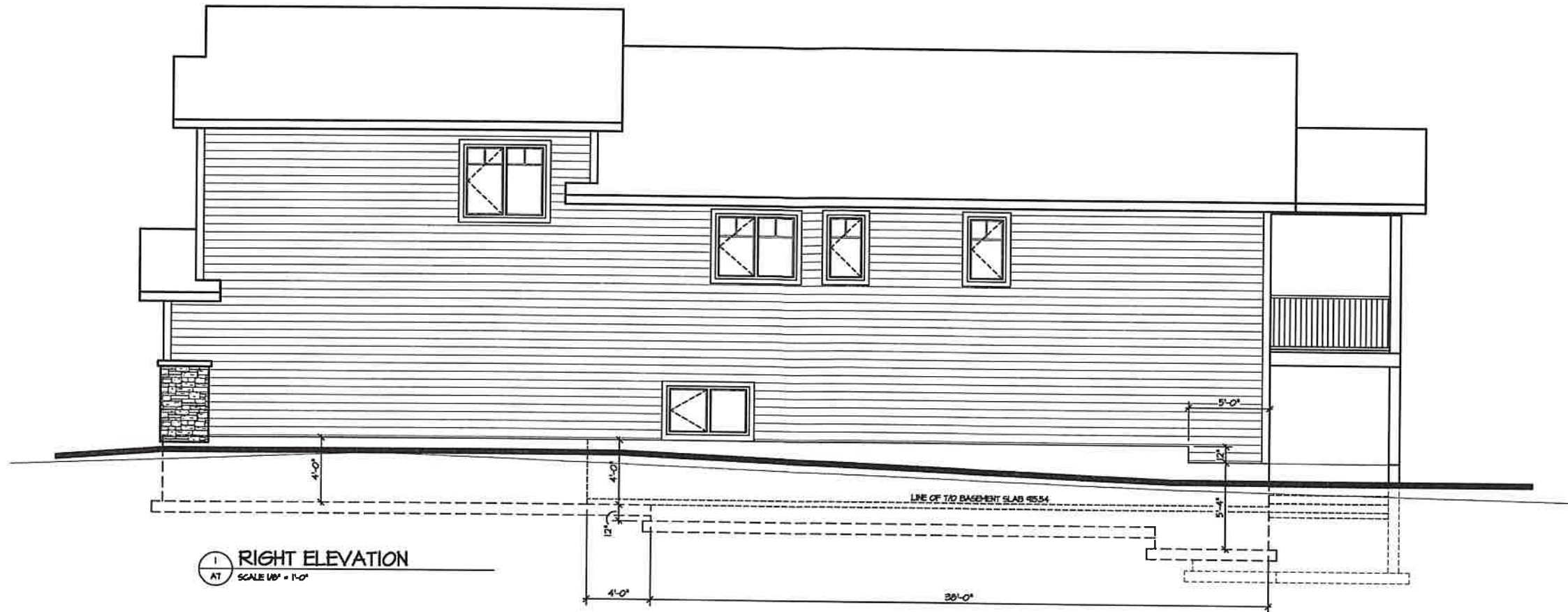
1 FRONT ELEVATION
SCALE 1/8" = 1'-0"



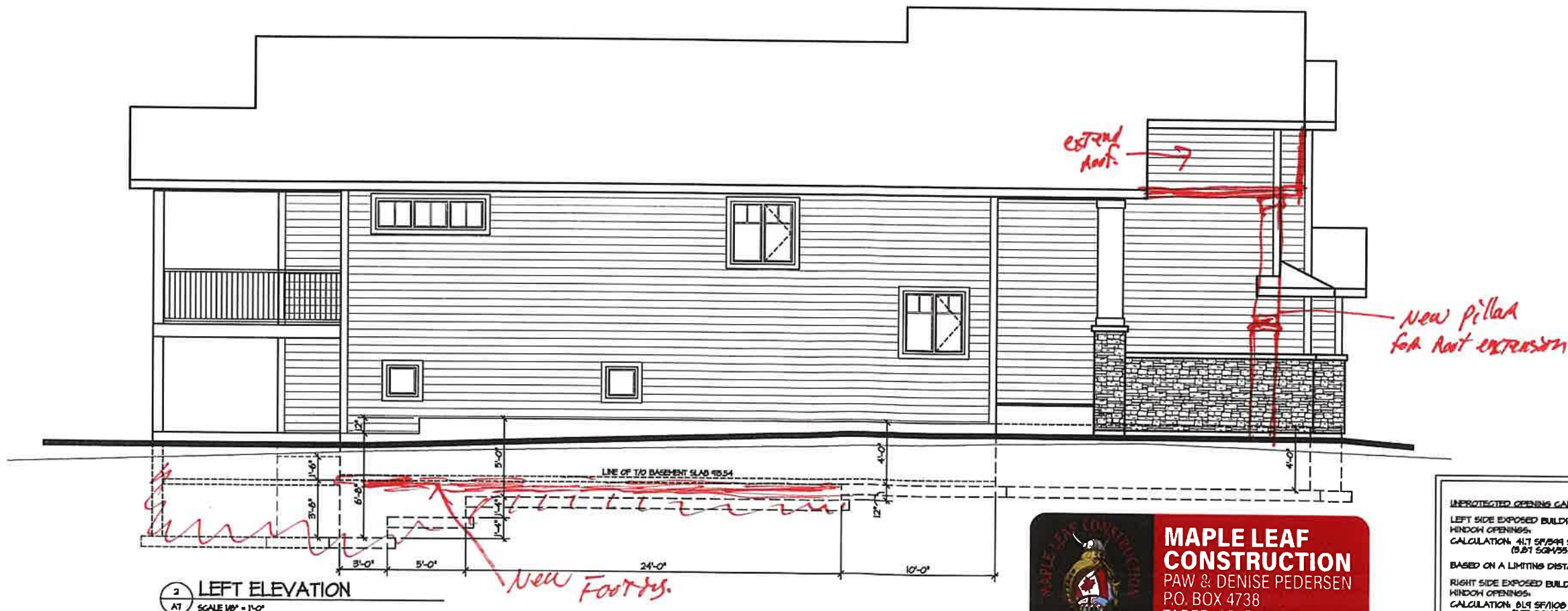
2 REAR ELEVATION
SCALE 1/8" = 1'-0"

MAPLE LEAF CONSTRUCTION
PAW & DENISE PEDERSEN
P.O. BOX 4738
TABER, AB T1G 2E1

NOTES
ALL WINDOW AND DOOR FLASHING
TO BE INSTALLED IN ACCORDANCE
WITH ABC 2006



1 RIGHT ELEVATION
AT SCALE 1/8" = 1'-0"

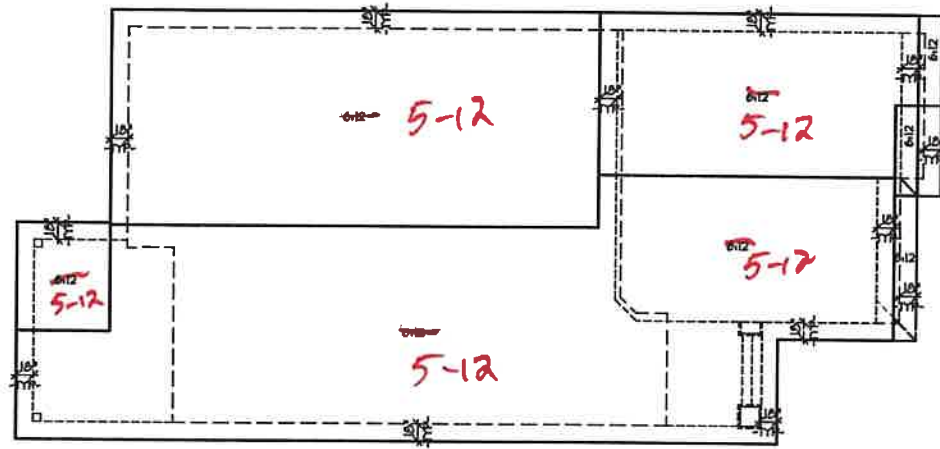


2 LEFT ELEVATION
AT SCALE 1/8" = 1'-0"

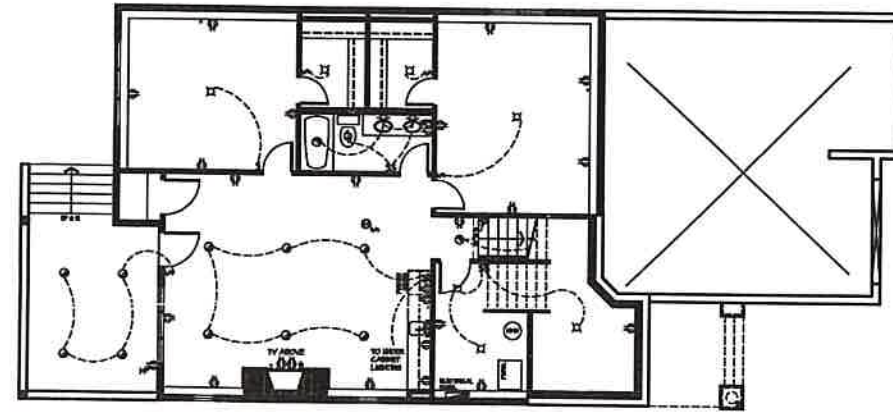
NOTES
ALL WINDOW AND DOOR FLASHING
TO BE INSTALLED IN ACCORDANCE
WITH ABC 2006

UNPROTECTED OPENING CALCULATIONS (CODE 5.10.14)
LEFT SIDE EXPOSED BUILDING FACE 541 SF (55.6 SQM)
WINDOW OPENINGS: 41.7 SF (3.91 SQM)
CALCULATION: 41.7 SF/541 SF = 7.0%
(3.91 SQM/55.6 SQM = 7.0%)
BASED ON A LIMITING DISTANCE OF 15m (51'-0") MAX. Ø8
RIGHT SIDE EXPOSED BUILDING FACE 1108 SF (102.9 SQM)
WINDOW OPENINGS: 81.9 SF (7.75 SQM)
CALCULATION: 81.9 SF/1108 SF = 5.8%
(7.75 SQM/102.9 SQM = 5.8%)
BASED ON A LIMITING DISTANCE OF 15m (51'-0") MAX. Ø8

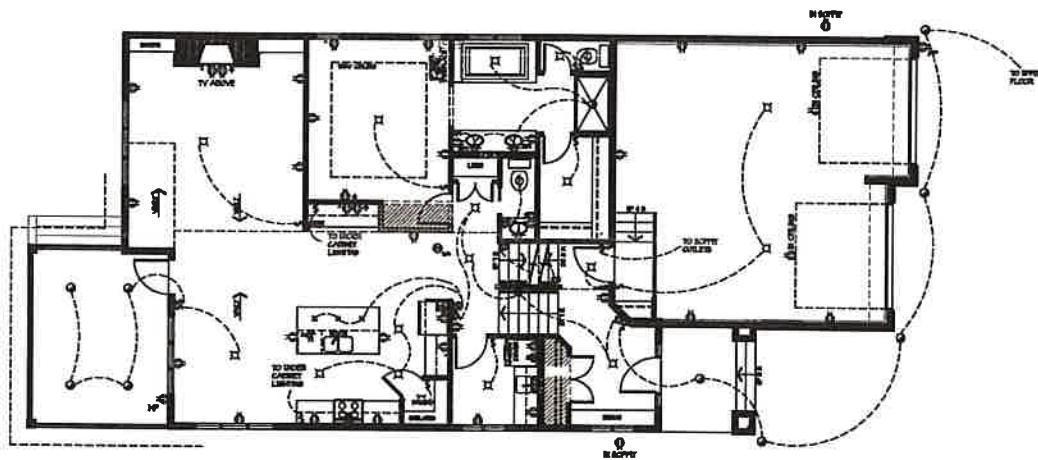
**MAPLE LEAF
CONSTRUCTION**
PAW & DENISE PEDERSEN
P.O. BOX 4738
TABER, AB T1G 2E1



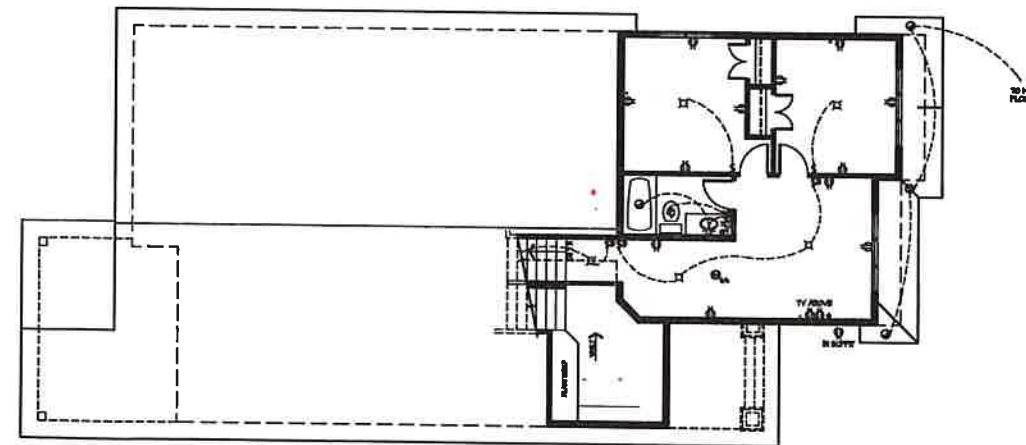
1 ROOF PLAN
SCALE 1/8" = 1'-0"



2 BASEMENT ELECTRICAL PLAN
SCALE 1/8" = 1'-0"



3 MAIN FLOOR ELECTRICAL PLAN
SCALE 1/8" = 1'-0"



4 UPPER FLOOR ELECTRICAL PLAN
SCALE 1/8" = 1'-0"

NOTE:
1. VERIFY ALL LIGHTING WITH HOME OWNER PRIOR TO ELECTRICAL ROUGH IN.

ELECTRICAL LEGEND

- ⊕ DUPLEX OUTLET
- ⊕ HEATHERPROOF
- ⊕ GROUND FAULT INTERRUPT
- ⊕ SWITCH
- ⊕ 3-WAY SWITCH
- ⊕ POT LIGHT
- ⊕ HEAT LAMP
- ⊕ INCANDESCENT LIGHT
- ⊕ HALL MOUNT
- ⊕ TELEPHONE
- ⊕ CABLE TV
- ⊕ COMPUTER NETWORK CABLE
- ⊕ EXHAUST FAN
- ⊕ SMOKE ALARM
- ⊕ ELECTRICAL PANEL

MAPLE LEAF CONSTRUCTION
PAW & DENISE PEDERSEN
P.O. BOX 4738
TABER, AB T1G 2E1

CEILING ASSEMBLY - BELOW ATTIC				
ASSEMBLY	MATERIAL		RSI	R
ROOFING	ASPHALT SHINGLES		0.0	0.0
3/4" OSB SHEATHING			0.0	0.0
EXTERIOR AIR FILM			0.03	0.1
TRUSS ASSEMBLY	24" O/C (FRAMING FACTOR 10)			
INSULATION	R-20		0.46	16.04
6 MIL POLY A/V BARRIER			0.0	0.0
1/2" GYPSUM BOARD			0.06	0.45
INTERIOR AIR FILM			0.12	0.66
TOTAL EFFECTIVE RSUR VALUE			0.69	44.54

FLOOR ASSEMBLY OVER UNHEATED SPACE				
ASSEMBLY	MATERIAL		RSI	R
EXTERIOR AIR FILM			0.03	0.1
1/2" GYPSUM BOARD			0.06	0.45
CEILING FRAMING	24" O/C (FRAMING FACTOR 10)			
INSULATION	R-20		0.46	16.04
6 MIL POLY A/V BARRIER			0.0	0.0
AIR CAVITY	40mm USED (FLOOR TRUSS)		0.22	1.25
3/4" OSB SHEATHING			0.16	1.00
FLOORING	UNKNOWN MATERIAL		0.0	0.0
INTERIOR AIR FILM			0.16	0.91
TOTAL EFFECTIVE RSUR VALUE			4.12	26.60

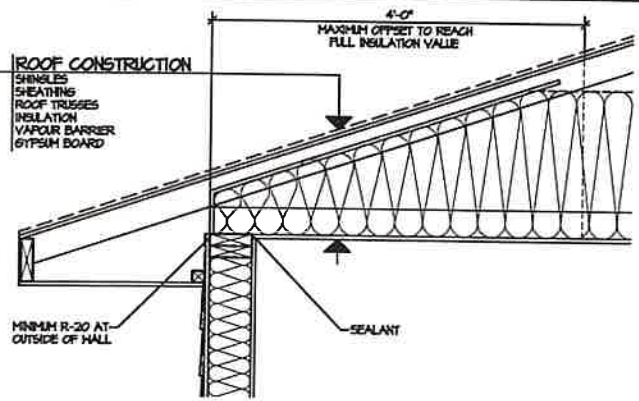
WALL ASSEMBLY - ABOVE GROUND 2"x6" AT 16" O/C - R24					
HALL ASSEMBLY COMPONENTS	VINYL SIDING	HARDBOARD (5mm)	STUCCO (3/4")	RSI	R
EXTERIOR AIR FILM	0.03	0.1	0.03	0.1	0.1
CLADDING	0.1	0.62	0.03	0.1	0.1
BUILDING WRAP	0.0	0.0	0.0	0.0	0.0
3/8" OSB SHEATHING	0.04	0.51	0.04	0.51	0.51
2"x6" AT 16" O/C W/ R-24	2.66	15.13	2.66	15.13	15.13
OPT. 5" MED. DENSITY SPRAY FOAM	2.16	15.10	2.16	15.10	15.10
TOTAL RSI IF USED	(5.94)	(16.3)	(5.1)	(16.6)	(16.6)
6 MIL POLY A/V BARRIER	0.0	0.0	0.0	0.0	0.0
1/2" GYPSUM BOARD	0.06	0.45	0.06	0.45	0.45
INTERIOR AIR FILM	0.12	0.66	0.12	0.66	0.66
TOTAL EFFECTIVE RSUR VALUE			5.04	11.97	3.21

WALL ASSEMBLY - ABOVE GROUND 2"x6" AT 24" O/C - R24					
HALL ASSEMBLY COMPONENTS	VINYL SIDING	HARDBOARD (5mm)	STUCCO (3/4")	RSI	R
EXTERIOR AIR FILM	0.03	0.1	0.03	0.1	0.1
CLADDING	0.1	0.62	0.03	0.1	0.1
BUILDING WRAP	0.0	0.0	0.0	0.0	0.0
3/8" OSB SHEATHING	0.04	0.51	0.04	0.51	0.51
2"x6" AT 24" O/C W/ R-24	2.80	15.90	2.80	15.90	15.90
OPT. 5" MED. DENSITY SPRAY FOAM	2.41	16.39	2.41	16.39	16.39
TOTAL RSI IF USED	(5.94)	(16.46)	(5.26)	(16.3)	(16.3)
6 MIL POLY A/V BARRIER	0.0	0.0	0.0	0.0	0.0
1/2" GYPSUM BOARD	0.06	0.45	0.06	0.45	0.45
INTERIOR AIR FILM	0.12	0.66	0.12	0.66	0.66
TOTAL EFFECTIVE RSUR VALUE			5.29	10.34	3.15

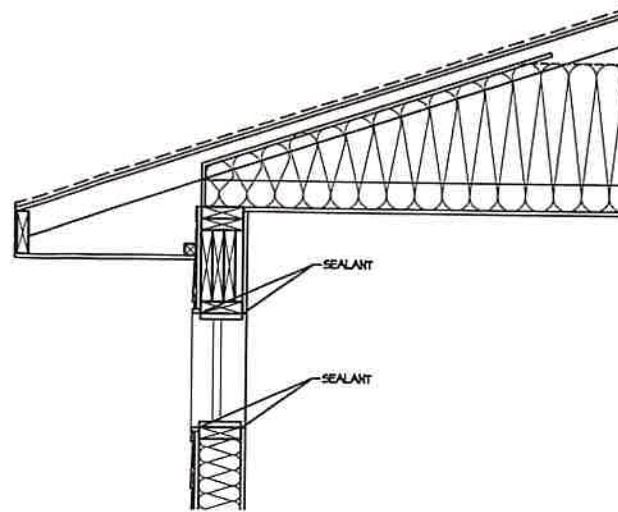
WALL ASSEMBLY - ABOVE GROUND 2"x6" AT 24" O/C - R22					
HALL ASSEMBLY COMPONENTS	VINYL SIDING	HARDBOARD (5mm)	STUCCO (3/4")	RSI	R
EXTERIOR AIR FILM	0.03	0.1	0.03	0.1	0.1
CLADDING	0.1	0.62	0.03	0.1	0.1
BUILDING WRAP	0.0	0.0	0.0	0.0	0.0
3/8" OSB SHEATHING	0.04	0.51	0.04	0.51	0.51
2"x6" AT 24" O/C W/ R-22	2.61	15.16	2.61	15.16	15.16
OPT. 5" MED. DENSITY SPRAY FOAM	2.19	15.76	2.19	15.76	15.76
TOTAL RSI IF USED	(5.29)	(16.22)	(5.19)	(15.7)	(15.7)
6 MIL POLY A/V BARRIER	0.0	0.0	0.0	0.0	0.0
1/2" GYPSUM BOARD	0.06	0.45	0.06	0.45	0.45
INTERIOR AIR FILM	0.12	0.66	0.12	0.66	0.66
TOTAL EFFECTIVE RSUR VALUE			5.32	11.54	3.21

FOUNDATION WALL ASSEMBLY CONVENTIONAL ASSEMBLY				
ASSEMBLY	MATERIAL		RSI	R
DAIR-PROOFING			0.0	0.0
CONCRETE WALL (8")			0.06	0.45
1/2" AIR SPACE			0.16	0.91
2"x6" AT 24" O/C W/ R-24			2.53	14.37
6 MIL POLY A/V BARRIER			0.0	0.0
1/2" GYPSUM BOARD			0.06	0.45
INTERIOR AIR FILM			0.12	0.66
TOTAL EFFECTIVE RSUR VALUE			2.91	16.26

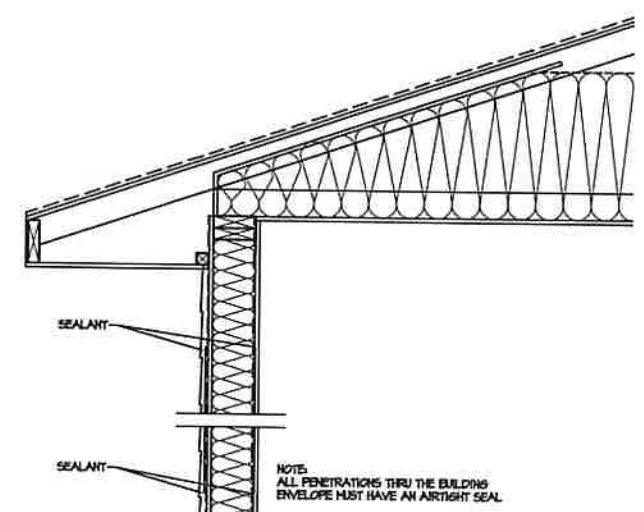
FOUNDATION WALL ASSEMBLY SPRAY FOAM INSULATION				
ASSEMBLY	MATERIAL		RSI	R
DAIR-PROOFING			0.0	0.0
CONCRETE WALL (8")			0.06	0.45
1/2" AIR SPACE			0.16	0.91
2"x6" AT 24" O/C W/ 5" MED. DENSITY SPRAY FOAM			2.16	15.10
6 MIL POLY A/V BARRIER			0.0	0.0
1/2" GYPSUM BOARD			0.06	0.45
INTERIOR AIR FILM			0.12	0.66
TOTAL EFFECTIVE RSUR VALUE			3.22	19.21



1 WALL TO ROOF DETAIL
SCALE 1/2" = 1'-0"



2 WINDOW DETAIL
SCALE 1/2" = 1'-0"



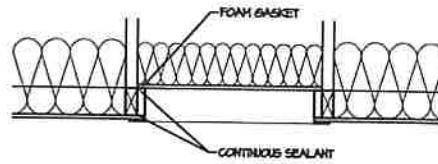
3 TYP. WALL PENETRATION DETAIL
SCALE 1/2" = 1'-0"

FOUNDATION WALL ASSEMBLY ICF CONSTRUCTION				
ASSEMBLY	MATERIAL		RSI	R
DAIR-PROOFING			0.0	0.0
EPS TYPE 2			1.96	11.8
CONCRETE WALL (8")			0.06	0.45
EPS TYPE 2			1.96	11.8
1/2" GYPSUM BOARD			0.06	0.45
INTERIOR AIR FILM			0.12	0.66
TOTAL EFFECTIVE RSUR VALUE			4.20	25.64

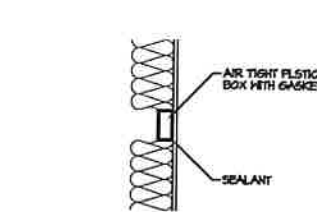
RSI & R VALUE REQUIREMENTS ZONE 6 WINDOWS, DOORS, & SKYLIGHTS			
COMPONENT	MAX. U-VALUE	MIN. ENERGY RATING	
DOOR & WINDOWS	1.60	25	
SKYLIGHTS	2.10		

ABOVE GRADE			
COMPONENT	RSI VALUE	R VALUE	
CEILING BELOW ATTICS (HRV & NO HRV)	5.67	44.25	
CATHEDRAL CEILING & FLAT ROOFS (HRV & NO HRV)	4.67	26.52	
HALLS & RM. JOISTS (NO HRV)	5.06	17.44	
HALLS & RM. JOISTS (HRV)	2.47	16.26	
FLOORS OVER UNHEATED SPACE (HRV & NO HRV)	4.67	26.52	
SKYLIGHT SHAFTS (NO HRV)	5.06	17.44	
ATTIC ACCESS (HRV & NO HRV)	2.60	14.76	

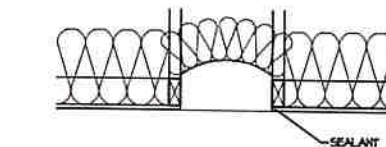
BELOW GRADE			
COMPONENT	RSI VALUE	R VALUE	
FOUNDATION WALL (HRV & NO HRV)	2.49	16.92	
UNHEATED FLOORS BELOW FROST LINE (HRV & NO HRV)	UNINSULATED	UNINSULATED	
UNHEATED FLOORS ABOVE FROST LINE (HRV & NO HRV)	1.96	11.8	
HEATED FLOORS (HRV & NO HRV)	2.52	15.71	
SLAB ON GRADE WITH INTEGRAL FOOTING (HRV & NO HRV)	1.96	11.8	



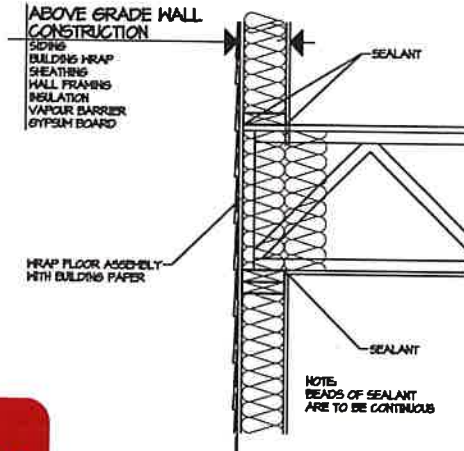
4 ATTIC HATCH DETAIL
SCALE 1/2" = 1'-0"



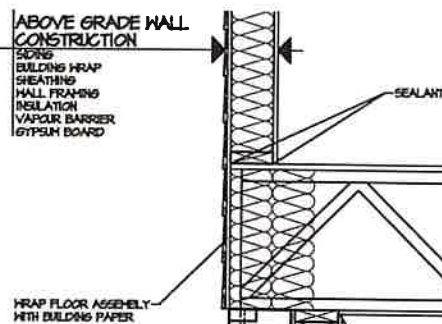
5 TYP. ELECTRICAL BOX DETAIL
SCALE 1/2" = 1'-0"



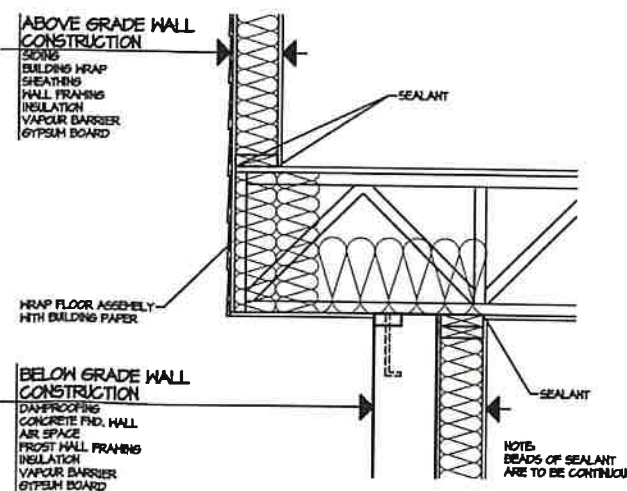
6 FAN / POTLIGHT DETAIL
SCALE 1/2" = 1'-0"



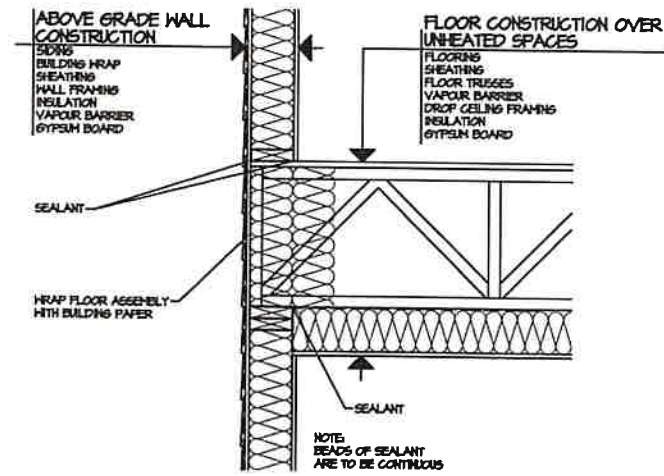
7 PONY WALL AND UPPER FLOOR DETAIL
SCALE 1/2" = 1'-0"



8 TOP OF FND. WALL TO FLOOR ASSEMBLY DETAIL
SCALE 1/2" = 1'-0"



9 TOP OF FND. WALL TO CANTILEVER FLOOR ASSEMBLY
SCALE 1/2" = 1'-0"



10 FLOOR SYSTEM TO UNHEATED SPACE DETAIL
SCALE 1/2" = 1'-0"

MAPLE LEAF CONSTRUCTION
PAW & DENISE PEDERSEN
P.O. BOX 4738
TABER, AB T1G 2E1

NOTE: WALL ASSEMBLY TO BE ABOVE CEILING R-24 ENOUGH PINK INSULATION

NOTE: WALL ASSEMBLY TO BE ABOVE CEILING R-24 ENOUGH PINK INSULATION

NOTE: ALL PENETRATIONS THRU THE BUILDING ENVELOPE MUST HAVE AN AIRTIGHT SEAL

NOTE: BEADS OF SEALANT ARE TO BE CONTINUOUS

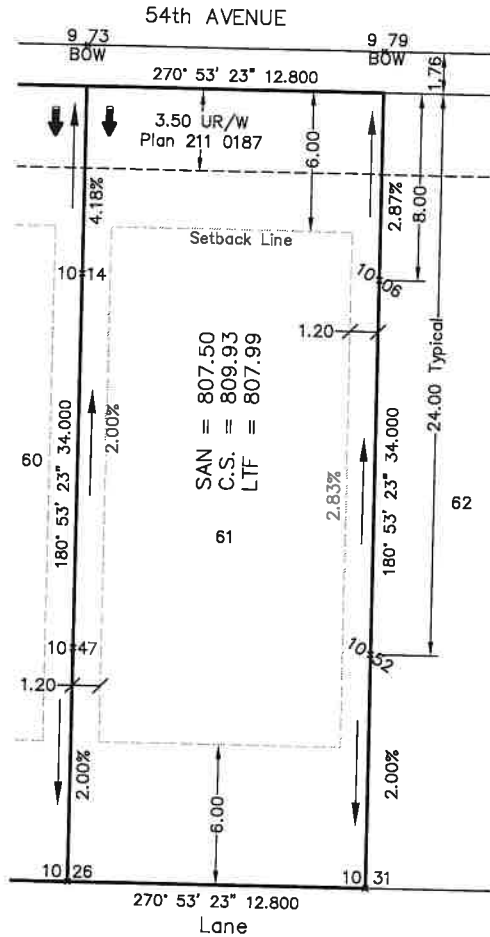
NOTE: BEADS OF SEALANT ARE TO BE CONTINUOUS

NOTE: BEADS OF SEALANT ARE TO BE CONTINUOUS

Lot Plan Information

Legal Description: Municipal Address:

Lot: 61 4312 - 54 Street
 Block: 3 Taber, Alberta
 Plan: 211 0184



Legend

- Driveway Position is indicated thus... →
- 800.00 must be added to all lot elevations to reach geodetic elevations.
- All distances in meters unless otherwise noted
- B.O.W. indicates Back of Walk
- All grades given are Design Grade unless noted otherwise.
- Lot Serviced With:
 - 25mm Water Line
 - 100mm Sanitary Line
 - 38mm Storm Line

Design Elevations

- Sanitary Sewer Invert = As Shown
- Lowest Top of Footing = As Shown
- Curb Stop = As Shown

Zoning: R-2

Westview
Residential Subdivision

File: Lot 61 Block 3 Plan 211 0184

Date: September 29, 2021

Scale: 1: 300



MARTIN
GEOMATIC CONSULTANTS LTD
LETHBRIDGE, ALBERTA
403-329-0050

April 1/2022

WESTVIEW ESTATES
Taber - Phase 3 & 4 & 5 & 6

Application for House Plan Approval

LEGAL ADDRESS Lot: 601 Block: 3 Plan: 211 0184
CIVIC ADDRESS 4312 54 ave (your lot info says st not Ave)

APPLICANT INFORMATION

Builder: Maple Leaf Construction
Address: Box 4738 Taber, Alta T1G 2E1
Phone: 403-631-7868 Fax: _____ Contact Name: Denise Pedersen

HOUSE DESIGN INFORMATION

House Type: 1 1/2 story Ground Floor Area: _____
Total Area: 1993 sqft. Roof Pitch: 5/12
Garage: 600 sqft. Overhang: 18"

SET BACKS

Front: 18' Rear: 25'6" Left: 4' Right: 4' Height: 25'

EXTERIOR FINISHES

	Material	Color	
Roof	<u>Black asphalt</u>	<u>onyx black</u>	} cannot be the same as lots 59 or 60 SP
Walls-Sides	<u>hardi board</u>	<u>earth tones</u>	
Walls-Basement	<u>padding</u>	<u>earth tones</u>	
Trim	<u>aluminum</u>	<u>earth tones</u>	
Fascia	<u>aluminum</u>	<u>black</u>	
Soffit	<u>aluminum</u>	<u>black</u>	
Rainwater Goods	<u>aluminum</u>	<u>black</u>	
Entry Doors	<u>Fiberglass</u>	<u>browns</u>	
Garage Door	<u>aluminum</u>	<u>white</u>	
Driveway	<u>Concrete</u>	<u>hoomed</u>	
Front Exterior-House/Garage	<u>hardi board</u>	<u>earth tones</u>	

PLEASE SEE OVER - SIGNATURE REQUIRED

SITE PLAN REQUIREMENTS

A Site Plan with the following information must be provided:

1. Dimensions of the Lot
2. Dimensions of the Building
3. Dimensions to Property Lines
4. Location of Driveway
5. Indicate all Easements
6. Location of Retaining Walls
7. Location of Drainage Swales and Drainage Patterns
8. Proposed Elevations @ each corner of:
 - a) House
 - b) Garage Slab
 - c) Bottom of Footing
 - d) Top of Main Floor

USE OF HOUSE PLAN APPROVAL SERVICES

The applicant acknowledges that the house plan approval is provided as a service, and that the developer and its approving officers assume no responsibility for the accuracy of the information provided, or for any losses or damages resulting from use thereof.

The applicant further acknowledges that he will hold the developer and its approving officers harmless from action resulting from use of this information.

SIGNATURE of APPLICANT: _____



DATE: Ap. 15, 2022

APPROVED: _____



DATE: April 21, 2022

MARTIN GEOMATIC CONSULTANTS LTD.

Project Name:		4312 54 Avenue			
Date Submitted:		District R-2		Proposed Use SFD	
Permit Number: 22-035		Address 4312 54 Avenue		Permitted? Permitted	
Roll Number: 5443610		Lot, Block, Plan Plan 2110184			
Meeting and Notification Requirements					
Required?		Date		Required?	
Council	No			Newspaper	Yes
MPC	No	5/16/2022		Mailout	Yes
Payments					
		Amount	Paid?	Date	
DP Application Fee			No		
Damage Deposit in			No		
Const. Water Fee			No		
Total		0	No		
Deposit Returned?			No		

DP Submission	Required?	Completed	Notes	
Application Filled?	Yes	Yes		
Site Plan	Yes	Yes		
Drainage Plan	Yes	Yes		
Payment	Yes	Yes		
All materials submitted?	Yes	Yes		
DP Review	Required?	Completed	Notes	
LUB Review	Yes	Yes		
Waiver or Variance	Yes	Yes	Front yard setback and lot coverage both under 10%	
Internal Circulation	Yes	No		
Council or MPC	NA	No		
Mail Outs	No	No		
Approval/Refusal	Yes	No		
Following Approval	Required?	Sent/Taken	Returned	Notes/Reasons for Decision:
Damage Deposit	Yes	Yes	No	
Send to Superior (if BP)	Yes	No	No	
Pre-Inspection Reports	Yes	No	No	
Post-Inspection Reports	Yes	No	No	

Lot Coverage Calculation		
Lot Size	435.21	
Principle Building	131	
Attached Garage	58	
Poarch	21	0.482525677
Decks	17	0.039061602
Detached Garage		
Accessory Structures		
Accessory Structures		
Accessory Structures		0
Total Structures	227	
		0.52158728

Driveway Calculations		
Frontage for Lot	12.8	5.12
Driveway Width	7.62	
Percentage of Lot	0.5953125	
Allowable Waiver	1.28	6.4 6.7 7.37

Land Use Bylaw Checklist (units in metres)			
Principal Building Setbacks	Required	Proposed	Acceptable
Front Setback	6	5.49	No
Rear Setback	6	5.35	No
Side Setback 1	1.2	1.22	Yes
Side Setback 2	1.2	1.22	Yes
Accessory Setbacks	Required	Proposed	Acceptable
Front Setback	6		Yes
Rear Setback	0.6		Yes
Side Setback	0.6		Yes
Side Setback Adjacent Street	1.2		Yes
Principal Building	1.0		Yes
Coverages			
Max Building Coverage	50%	52.2%	No
Principal Building		48.3%	No
Accessory Buildings		0.0%	Yes
Decks		3.9%	No
Driveway Coverage	40%	59.5%	
Landscaping	Required	Proposed	Acceptable
Amount required	Review		#VALUE!
Parcel Size	Required	Proposed	Acceptable
Min. Parcel Area	Review		#VALUE!
Min. Parcel Width	Review		#VALUE!
Heights	Required	Proposed	Acceptable
Max Building Height	10.5	8.4	Yes
Max Deck Height	1.5	2.3	No
Max Accessory Height			Yes
Parking	Required	Proposed	Acceptable
Stalls			Yes
Handicap			Yes
Other	Required	Proposed	Acceptable
Corner Site Triangle			Yes

Parking Calculation			
	1 Stall per		Stalls
Use(s)	Xm2	Area	required
Automobile Supply			#DIV/0!
Automotive Sales			#DIV/0!
Note: Total always rounds up			Total #DIV/0!



Development Authority Request for Decision

Meeting Date: May 16/2022

Subject:

DP 22-038 - 4415 53 Street - Deck Variances

Recommendation:

That the Municipal Planning Commission approves Development Permit DP 22-038 for Deck Addition with Variances at 4415 53 Avenue, Lot 48, Block 3, Plan 1211838, with the following ten (10) conditions:

1. The site is developed as per the site plan submitted;
2. The development conforms to the district requirements of the Residential Single Dwelling District (R-1);
3. A deck height variance of 0.79 metres was approved for this parcel by the Municipal Planning Commission on May 16th, 2022. The deck height has been varied to 2.29 metres;
4. A rear yard setback variance of 2.12 metres was approved for this parcel by the Municipal Planning Commission on May 16th, 2022. The rear yard setback has been varied to 4.88 metres;
5. A building coverage variance of 2% was approved for this parcel by the Municipal Planning Commission on May 16th, 2022. The allowable building coverage has been varied to 47%;
6. The Exterior finish of the deck shall be professionally manufactured and complimentary to the finishing of the neighbouring properties and subject dwelling;
7. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
8. The contractor commissioned for construction must have a valid Business License for the Town of Taber;
9. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021);
10. All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development.

Background:

Administration has received an application for an addition to an existing deck. The applicant wishes to add 4 feet to the north end of the deck and enclose the space below the deck. The previous deck was approved under DP 15-91A and was granted a setback waiver to reduce the setback from 7 metres to 6.41 metres. There was no waiver granted for the height of the deck as this was approved on a previous bylaw that did not have a height restriction.

The proposed addition to the deck will not be covered at this time, but as a portion of existing deck is covered we are requesting a variance of 2.2 metres for the setback (1.61 for this addition and the

0.59 metres that was already given) to reduce the setback to 4.88 metres instead of the required 7 metres. We are also requesting a variance for the height of the deck. The existing deck is 2.29 metres high and will require a 0.79 metre variance for the existing deck and addition. The deck height is similar to many others in the area and has existed at this height for sometime without any complaints.

Finally we are requesting a variance of 2% for the building coverage for this property. The allowable coverage is 45% for this district and the addition to the deck would bring the coverage to 46.2%. As they intend on enclosing the lower portion of the deck, we have included it in the building coverage as if it were a shed and therefore are requesting the variance for the building coverage.

Legislation / Authority:

Subdivision Authority, Development Authority, and Municipal Planning Commission Bylaw 10-2018 Section 1(8)(c) The Municipal Planning Commission shall be the Development Authority for development permits applications for permitted uses which require a variance in excess of Ten Percent (10%) of a measurable standard established in the Land Use Bylaw or any other variance for which the Municipal Planning Commission is specifically authorized to provide in the Land Use Bylaw.

Strategic Plan Alignment:

Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.

Financial Implication:

The applicant has paid the appropriate application fees which will cover costs of advertising and notifications.

Service Level / Staff Resource Implication:

Administration's time was required for the review and processing of the application.

Justification:

Allowing for this development will allow the property owner expand their existing deck in a way that increases their enjoyment of their property without any long term impacts to the surrounding properties in any foreseeable way.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves Development Permit DP 22-038 for Deck Addition with Variances at 4415 53 Avenue, Lot 48, Block 3, Plan 1211838, with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit DP 22-038 for Deck Addition with Variances at 4415 53 Avenue, Lot 48, Block 3, Plan 1211838, with reasons.



Attachment(s): Application
Site Plan
Drawings
Check List
Aerial Photos

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



RESIDENTIAL ACCESSORY USE DEVELOPMENT PERMIT APPLICATION

TOWN OF TABER: A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME: _____

MAILING ADDRESS: _____

TOWN: _____ POSTAL CODE: _____

EMAIL: _____ PHONE NUMBER: _____

Owner Information (if different from applicant)

OWNER NAME: Same

MAILING ADDRESS: _____

TOWN: _____ POSTAL CODE: _____

EMAIL: _____ PHONE NUMBER: _____

Property Information (property to be developed)

MUNICIPAL ADDRESS: Same as above

LOT(S): _____ BLOCK: _____ PLAN: _____

Description of Project

DESCRIBE YOUR PROJECT

Extend deck 4' to north & enclose
lower portion

Type of Development

TYPE OF DEVELOPMENT PROPOSED (check all that apply)

- Garage (attached) Garage (detached) Shed Deck/Patio
 Pergola Pool/Hot Tub Overheight Fence Tree House
 Other _____

DOES THE DEVELOPMENT REQUIRE ANY WAIVERS?

Note that all waiver requests must go to the Municipal Planning Commission.

- Setback Deck Height Garage Size Second Garage
 Other _____

Start Date and Cost

ESTIMATED START DATE: ASAP ESTIMATED COST: \$1,000

We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: _____

DATE: Apr. 26/22

REGISTERED OWNER SIGNATURE: _____

DATE: Apr 26/22

PLANNING OFFICER SIGNATURE: Celi Nash

DATE: May 4/22

The personal information on this form is being collected for the purpose of reviewing your application to the municipality of the Town of Taber. The information is collected under the authority of Section 146 of the Municipal Government Act (MGA) and Section 33 of the Freedom of Information and Protection of Privacy Act (FOIPP). Under Section 33 of the FOIPP Act, the Town of Taber reserves the right to collect information that relates directly to and is necessary for an operating program or activity of the public body. Names of applicants will be provided to the public. If you have any questions about the collection of this information, please contact the FOIPP coordinator at 403-223-5500 ext. 5519.

Note: This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction.

Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).

At the completion of the development, you will be required to submit an updated *Real Property Report* to the Town of Taber to verify that the project has been constructed in the correct location.

Development Application Submission Requirements

THE FOLLOWING ITEMS MUST BE INCLUDED WITH YOUR APPLICATION (1 copy of each)

- Site Plan Building Plan
-

SITE PLAN REQUIREMENTS:

- Lot dimensions
 - Drainage Plan (directions of site drainage)
 - Dimensions and locations of all existing and proposed structures (including structures under 10m²)
 - Dimensions, locations, and heights of all existing and proposed decks/patios
 - All utility right of ways and easements located within or directly adjacent to the site
 - Distances between all structures and property lines
 - Site access with dimensions
 - Adjacent roads and lanes
 - North arrow
-

BUILDING PLAN REQUIREMENTS

- Scale and dimensions of exterior walls and interior room(s)
 - Floor plan of entire building/use
 - Building elevations and heights from finished grade
 - Exterior materials, architectural features, and colours to be used
-



E

4' Deep in cement 2

6x6

2 2x12

Flange of
16" O.C
joist Hangers

original Deck

Extend Deck 4' North

Close original deck in
to match House on Bottom S
2x4 Framing 16" O.C
1 walk in Door

Center Back Ely

28'

4'

Property Line

16'

2x12

7'6" High
To Top of Deck
From ground

6x6

septs

w

N

WINDOWS & DOORS INSPIRED BY YOU

Project Name:		4415 53 Avenue			
Date Submitted: 2-May-22		District R-1		Proposed Use Deck Addition	
Permit Number: 22-038		Address 4415 53 Avenue		Permitted? Permitted	
Roll Number: 5344048		Lot, Block, Plan Plan 121183			
Meeting and Notification Requirements					
Required?		Date		Required?	
Council		No		Dates	
MPC		Yes		Newspaper	
		Mailout			
Payments					
		Amount		Paid?	
				Date	
DP Application Fee				No	
Damage Deposit in				No	
Const. Water Fee				No	
Total		0		No	
Deposit Returned?				No	

DP Submission	Required?	Completed	Notes	
Application Filled?	Yes	Yes		
Site Plan	Yes	Yes		
Drainage Plan	Yes	N/A		
Payment	Yes	Yes		
All materials submitted?	Yes	No		
DP Review	Required?	Completed	Notes	
LUB Review	Yes	Yes		
Waiver or Variance	Yes	No		
Internal Circulation	No	No		
Council or MPC	MPC	No		
Mail Outs	Yes	No		
Approval/Refusal	Yes	No		
Following Approval	Required?	Sent/Taken	Returned	Notes/Reasons for Decision:
Damage Deposit	No	No	No	
Send to Superior (if BP)	Yes	No	No	
Pre-Inspection Reports	No	No	No	
Post-Inspection Reports	No	No	No	

Lot Coverage Calculation		
Lot Size	497.42	
Principle Building	131.74	
Attached Garage	73.58	
Poarch	3.9	0.420610349
Decks	12.08	0.024285312
Detached Garage		
Deck Addition	8.5	
Accessory Structures		
Accessory Structures		0.017088175
Total Structures	229.8	0.461983837

Driveway Calculations		
Frontage for Lot		0
Driveway Width		
Percentage of Lot	#DIV/0!	
Allowable Waiver	0	0
DP 15-91		
DP 15-91A	waiver for deck setback	from 7 m to 6.41 m

Land Use Bylaw Checklist (units in metres)			
Principal Building Setbacks	Required	Proposed	Acceptable
Front Setback	6	6.05	Yes
Rear Setback	7	4.88	No
Side Setback 1	1.2	1.22	Yes
Side Setback 2	1.2	1.37	Yes
Accessory Setbacks	Required	Proposed	Acceptable
Front Setback	6		Yes
Rear Setback	0.6		Yes
Side Setback	0.6		Yes
Side Setback Adjacent Street	1.2		Yes
Principal Building	1.0		Yes
Coverages			
Max Building Coverage	45%	46.2%	No
Principal Building		42.1%	No
Accessory Buildings		1.7%	No
Decks		2.4%	No
Driveway Coverage	40%	#DIV/0!	
Landscaping			
Amount required	Review		#VALUE!
Parcel Size	Required	Proposed	Acceptable
Min. Parcel Area	450		No
Min. Parcel Width	14		No
Heights	Required	Proposed	Acceptable
Max Building Height	10.5		Yes
Max Deck Height	1.5	2.29	No
Max Accessory Height			Yes
Parking	Required	Proposed	Acceptable
Stalls			Yes
Handicap			Yes
Other	Required	Proposed	Acceptable
Corner Site Triangle			Yes

Parking Calculation			
	1 Stall per		Stalls
Use(s)	Xm2	Area	required
Automobile Supply			#DIV/0!
Automotive Sales			#DIV/0!
Note: Total always rounds up			Total #DIV/0!





Development Authority Request for Decision

Meeting Date: May 16/2022

Subject:
Building Permits Statistics

Recommendation:
No Motion Required

Background:
Building Permit Statistics for the month of April 2022 have been compiled and are attached.

Legislation / Authority:
Subdivision and Development Authority and MPC Bylaw 10-2018 (43)(h)

Strategic Plan Alignment:
N/A

Financial Implication:
N/A

Service Level / Staff Resource Implication:
The compiling of building permit statistics is a requirement of the Planning and Economic Development Department.

Justification:
That statistical records are an important tool for monitoring building activity within the Town of Taber.

Alternative(s):
Alternative #1: That the Municipal Planning Commission does not accept the Building Permit Statistics for the month of April 2022 as information.

Attachment(s): Building Statistics for April 2022

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



TOWN OF TABER

BUILDING PERMIT STATISTICS

April 2022

	Month of April by Year								
	2022			2021			2020		
	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value
SINGLE FAMILY DWELLINGS	2	0	\$ 520,000.00	0	0	\$ -	0	0	\$ -
2 FAMILY DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
SEMI DETACHED DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
MULTI FAMILY DWELLING	1	8	\$ 1,000,000.00	0	0	\$ -	0	0	\$ -
RESIDENTIAL ADDITIONS & ACCESS.	0	0	\$ -	5	0	\$ 107,500.00	4	0	\$ 63,500.00
GARAGES & CARPORTS	0	0	\$ -	0	0	\$ -	0	0	\$ -
MANUFACTURED HOMES	0	0	\$ -	0	0	\$ -	0	0	\$ -
SWIMMING POOLS	0	0	\$ -	0	0	\$ -	0	0	\$ -
FARM & AGRICULTURE BUILDINGS	0	0	\$ -	0	0	\$ -	0	0	\$ -
NEW COMMERCIAL	1	0	\$ 175,000.00	0	0	\$ -	0	0	\$ -
COMMERCIAL ADDITIONS/ALTER	0	0	\$ -	1	0	\$ 5,000.00	0	0	\$ -
NEW INDUSTRIAL	0	0	\$ -	0	0	\$ -	0	0	\$ -
INDUSTRIAL ADDITIONS/ALTER	0	0	\$ -	0	0	\$ -	0	0	\$ -
NEW INSTITUTIONAL	0	0	\$ -	0	0	\$ -	0	0	\$ -
INSTITUTIONAL ADDITIONS/ALTER	0	0	\$ -	0	0	\$ -	0	0	\$ -
MOBILE HOME PARK	0	0	\$ -	0	0	\$ -	0	0	\$ -
DEMOLITIONS	0	0	\$ -	1	0	\$ 25,000.00	0	0	\$ -
OCCUPANCY/INSPECTION ONLY	0	0	\$ -	0	0	\$ -	0	0	\$ -
PERMANENT SIGNS	0	0	\$ -	0	0	\$ -	0	0	\$ -
	4	8	\$ 1,695,000.00	7	0	\$ 137,500.00	4	0	\$ 63,500.00

	Year to Date (January 1 to April 30)								
	2022			2021			2020		
	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value
SINGLE FAMILY DWELLINGS	6	1	\$ 1,940,000.00	2	1	\$ 500,000.00	3	3	\$ 580,000.00
2 FAMILY DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
SEMI DETACHED DWELLING	2	0	\$ 450,000.00	2	0	\$ 330,000.00	0	0	\$ -
MULTI FAMILY DWELLING	2	12	\$ 1,050,000.00	0	0	\$ -	0	0	\$ -
RESIDENTIAL ADDITIONS & ACCESS.	6	0	\$ 172,805.77	7	0	\$ 172,500.00	8	0	\$ 92,500.00
GARAGES & CARPORTS	1	0	\$ 78,000.00	1	0	\$ 35,000.00	2	0	\$ 50,000.00
MANUFACTURED HOMES	1	0	\$ 195,000.00	0	0	\$ -	0	0	\$ -
SWIMMING POOLS	0	0	\$ -	0	0	\$ -	0	0	\$ -
FARM & AGRICULTURE BUILDINGS	0	0	\$ -	0	0	\$ -	0	0	\$ -
NEW COMMERCIAL	2	0	\$ 1,425,000.00	0	0	\$ -	0	0	\$ -
COMMERCIAL ADDITIONS/ALTER	2	0	\$ 9,000.00	4	0	\$ 2,417,300.00	7	0	\$ 517,500.00
NEW INDUSTRIAL	0	0	\$ -	0	0	\$ -	1	0	\$ 1,200,000.00
INDUSTRIAL ADDITIONS/ALTER	2	0	\$ 1,059,932.00	2	0	\$ 124,000.00	1	0	\$ 8,000.00
NEW INSTITUTIONAL	0	0	\$ -	1	0	\$ 1,000,000.00	0	0	\$ -
INSTITUTIONAL ADDITIONS/ALTER	0	0	\$ -	0	0	\$ -	3	0	\$ 502,000.00
MOBILE HOME PARK	0	0	\$ -	0	0	\$ -	0	0	\$ -
DEMOLITIONS	0	0	\$ -	2	0	\$ 72,229.00	1	0	\$ 1,500.00
OCCUPANCY/INSPECTION ONLY	1	0	\$ 225,991.56	0	0	\$ -	1	0	\$ 3,500.00
PERMANENT SIGNS	0	0	\$ -	0	0	\$ -	1	0	\$ 11,500.00
	25	13	\$ 6,605,729.33	21	1	\$ 4,651,029.00	28	3	\$ 2,966,500.00

	Permits by District					
	2022		2021		2020	
	No. of Permits	Construction Value	No. of Permits	Construction Value	No. of Permits	Construction Value
RESIDENTIAL	18	\$ 3,885,805.77	12	\$ 1,037,500.00	13	\$ 722,500.00
INDUSTRIAL	2	\$ 1,059,932.00	4	\$ 196,229.00	3	\$ 1,209,500.00
COMMERCIAL	5	\$ 1,659,991.56	4	\$ 2,417,300.00	9	\$ 532,500.00
INSTITUTIONAL	0	\$ -	1	\$ 1,000,000.00	3	\$ 502,000.00

Town of Taber Building Permits April 2022

<i>Building Permit #</i>		<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TTB B	0023 22 22 LT	6-Apr-22	South Alta Trading Co.	Genica	
<i>Project Site Address</i>		<i>Project Description</i>		<i>Value of Project</i>	<i>Tax Roll</i>
142 Prairie Gold Street		Single Family Dwelling		\$ 220,000.00	4358360
-					
<i>Building Permit #</i>		<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TTB B	0024 22 22 LT	6-Apr-22	Jodanal Farms Ltd.	Genica	
<i>Project Site Address</i>		<i>Project Description</i>		<i>Value of Project</i>	<i>Tax Roll</i>
30 Praire Sunset Avenue		Single Family Dwelling		\$ 300,000.00	5844470
-					
<i>Building Permit #</i>		<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TTB B	0025 22 22 LT	14-Apr-22	RTK Ranches	Hansen Roofing & Construction	
<i>Project Site Address</i>		<i>Project Description</i>		<i>Value of Project</i>	<i>Tax Roll</i>
4110 Westview Close		New Commercial		\$ 175,000.00	5041012
-					
<i>Building Permit #</i>		<i>Issue Date</i>	<i>Owner</i>	<i>Contractor</i>	
TTB B	0027 22 22 LT	20-Apr-22		Neu-Build Construction Inc.	
<i>Project Site Address</i>		<i>Project Description</i>		<i>Value of Project</i>	<i>Tax Roll</i>
5202 55 Street		Multi-Family Dwelling		\$ 1,000,000.00	5254140
-					

April 2022 Year to Date Approved Permits - Construction Values

Permit #	Issued Date	Class	Description	Status	Roll #	Owner	Contractor	Address	Construction Cost
0001 22	1/5/2022	COM	Occupancy/Inspection Only	Open	4751200		Maple Leaf Construction	5111 47 Avenue	\$ 225,991.56
0002 22	1/12/2022	RES	Manufactured Homes	Open	TBD		Home Owner	38 Meadows Wat	\$ 195,000.00
0003 22	1/12/2022	RES	Single Family Dwelling	Open	4357205	Willowcrest Construction Ltd.	Willowcrest Construction Ltd.	82 Praire Gold Street	\$ 350,000.00
0004 22	1/12/2022	RES	Residential Additions & Accessory Uses	Open	4849070		Aaron Hofman	115 Signature Lane	\$ 88,000.00
0005 22	1/26/2022	COM	Commercial Additions/Alterations	Open	5466180	R. Tymko Group	Ducharme Logistics	5420 66 Avenue	\$ 7,000.00
0006 22	1/19/2022	RES	Residential Additions & Accessory Uses	Open	4156045		Reynos Contracting	5611 Sunrise Crescent	\$ 22,000.00
0007 22	2/1/2022	COM	Commercial Additions/Alterations	Open	4752160		Business Owner	4704 53 Street	\$ 2,000.00
0008 22	2/1/2022	RES	Multi-Family Dwelling	Open	5255010		Property Owner	5321/5323 55 street	\$ 50,000.00
0009 22	2/9/2022	RES	Residential Additions & Accessory Uses	Open	3745060		Home Owner	4606 Heritage Dr.	\$ 12,000.00
0010 22	2/9/2022	INST	Industrial Additions/Alterations	Open	6346090	The Good Samaitan Society	Property Owner	4700 64 Ave	\$ 8,736.00
0011 22	2/9/2022	RES	Single Family Dwelling	Open	5843110	Journeymen Enterprises Ltd.	Journeymen Enterprises Ltd.	25 Prairie Sunset Ave.	\$ 300,000.00
0012 22	2/16/2022	RES	Residential Additions & Accessory Uses	Open	5847060		Home Owner	5810 48 Street	\$ 3,833.77
0014 22	3/2/2022	RES	Garages and Carports	Open	5650270		Home Owner	5614 51 St.	\$ 78,000.00
0015 22	3/2/2022	COM	New Commercial	Open	4457040	Potato Growers of Alberta	Potato Growers of Alberta	6008 46 Ave.	\$ 1,250,000.00
0016 22	3/2/2022	RES	Single Family Dwelling	Open	5844090	Willowcrest Construction	Willowcrest Construction	32 Prairie Lake Dr.	\$ 350,000.00
0017 22	3/2/2022	IND	Industrial Additions/Alterations	Open	4764030	Lantic	C&A Industries	5405 64 St.	\$ 1,051,196.00
0018 22	3/2/2022	RES	Semi-Detached Dwelling	Open	4352210	VHL	VHL	5217 43 Ave.	\$ 225,000.00
0019 22	3/2/2022	RES	Semi-Detached Dwelling	Open	4352200	VHL	VHL	5219 Ave.	\$ 225,000.00
0020 22	3/28/2022	RES	Residential Additions & Accessory Uses	Open	5643040		Home Owner	4333 56 Ave.	\$ 15,000.00
0021 22	3/28/2022	RES	Residential Additions & Accessory Uses	Open	6347038		Energy Smart Canada Ltd.	6231 46 A St.	\$ 31,972.00
0022 22	3/28/2022	RES	Single Family Dwelling	Open	4360500	Willowcrest Construction	Willowcrest Construction	4233 60 Ave.	\$ 420,000.00
0023 22	4/6/2022	RES	Single Family Dwelling	Open	4358360	South Alta Trading Co.	Genica	142 Praire Gold Street	\$ 220,000.00
0024 22	4/6/2022	RES	Single Family Dwelling	Open	5844470	Jodanal Farms Ltd.	Genica	30 Praire Sunset Avenue	\$ 300,000.00
0025 22	4/14/2022	RES	New Commercial	Open	5041012	RTK Ranches	Hansen Roofing & Construction	4110 Westview Close	\$ 175,000.00
0027 22	4/20/2022	RES	Multi-Family Dwelling	Open	5254140		Neu-Build Construction Inc.	5202 55 Street	\$ 1,000,000.00

\$ 6,605,729.33



Development Authority Request for Decision

Meeting Date: May 16/2022

Subject:
Standing Items

Recommendation:
That the Municipal Planning Commission uses the standing items opportunity to address Administration about their concerns, and ask questions.

Background:
To assist in information sharing and ensure agreement on the relative importance of activities, and to facilitate a common understanding, Council established a standing item on the Municipal Planning Commission agenda to raise individual concerns.

Legislation / Authority:
N/A

Strategic Plan Alignment:
Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.

Financial Implication:
The financial implication will vary depending on the discussion outcomes but should consider alignment of Town facility and service provision with approved budget.

Service Level / Staff Resource Implication:
Having a regular Municipal Planning Commission discussion about service levels will improve the ability of Administration to meet expectations of Council rather than dealing with requests from individuals on an ad hoc basis.

Justification:
This will bring administration efficiencies and better alignment of services and expenditures. It will also help improve communication protocols and adherence to the MGA.

Alternative(s):
Alternatives will vary based on discussions.

Attachment(s): None

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____