



AGENDA

REGULAR MEETING OF THE DEVELOPMENT AUTHORITY OF THE TOWN OF TABER, TO BE HELD IN THE COUNCIL CHAMBERS, ADMINISTRATION BUILDING, ON TUESDAY, FEBRUARY 22, 2022 AT 1:30 PM.

MOTION

1. CALL TO ORDER

ITEM No.1.1 Nominations for Chair and Vice Chair

2. ADOPTION OF THE AGENDA

X

3. ADOPTION OF THE MINUTES

ITEM No.3.1 Minutes for the January 17, 2022 Municipal Planning Commission Meeting

X

4. BUSINESS ARISING FROM THE MINUTES

5. ACTION ITEMS

ITEM No.5.1	DP 22-005 5202 55 Street - Multi-Unit Dwelling 8 Units	X
ITEM No.5.2	DP 22-007 - 5613 58 Avenue - Mixed Use with 4 Residential Units	X
ITEM No.5.3	DP 22-008 6200 46 Avenue - Freestanding Sign	X
ITEM No.5.4	DP 22-009 - 25 Prairie Sunset Avenue - Driveway and Deck Variances	X
ITEM No.5.5	DP 22-010 5404 46 Street - Secondary Garage	X
ITEM No.5.6	DP 22-011 - 5113 47 Avenue - Signage	X
ITEM No.5.7	PS 22-001 - 6200 46 Avenue - Portable Sign	X
ITEM No.5.8	Proposed Land Use Bylaw Amendments	X
ITEM No.5.9	January 2022 Building Statistics	X
ITEM No.5.10	Standing Items	X

6. DELEGATIONS

7. MEDIA INQUIRIES

8. CLOSED SESSION

9. OPEN SESSION

10. CLOSE OF MEETING

X



Development Authority Request for Decision

Meeting Date: February 22, 2022

Subject:

Nominations for Chair and Vice Chair

Recommendation:

No recommendation required.

Background:

The meeting will be called to Order.
Call for Nominations from the floor for Chair.
Call for Nominations from the floor for Vice Chair.
The new Chair will now Chair the meeting.

Legislation / Authority:

Subdivision and Development Authority and MPC Bylaw 10-2018 Part 1 Section 29.

Strategic Plan Alignment:

No direct alignment.

Financial Implication:

No financial implications.

Service Level / Staff Resource Implication:

Does not apply.

Justification:

The election of Chair and Vice Chair are required as per Bylaw with the election term being one year.

Alternative(s):

The Municipal Planning Commission could defer this to another meeting.

Attachment(s): None

APPROVALS:

Originated By:

Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



Development Authority Request for Decision

Meeting Date: February 22, 2022

Subject:

Minutes for the January 17, 2022 Municipal Planning Commission Meeting

Recommendation:

That the Municipal Planning Commission adopts the minutes of the Regular Municipal Planning Commission meeting held January 17, 2022 as presented.

Background:

The minutes of the regular Municipal Planning Commission meeting held on January 17, 2022 are attached.

Legislation / Authority:

Section 203 of the Municipal Government Act allows the Municipal Planning Commission to adopt the minutes and perform other duties as delegated by Council.

Strategic Plan Alignment:

N/A

Financial Implication:

There is no financial implication for the creation of minutes.

Service Level / Staff Resource Implication:

Time was required by Administration to record the minutes of the Municipal Planning Commission's regular meeting.

Justification:

Adoption of the minutes will provide a record of the regular meeting of the Municipal Planning Commission meeting held on January 17, 2022.

Alternative(s):

Alternative #1: That the Municipal Planning Commission adopts the minutes of the regular Municipal Planning Commission meeting held on January 17, 2022 with amendments.

Attachment(s): Minutes for January 17, 2022

APPROVALS:

Originated By:

Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____

MINUTES OF THE REGULAR MEETING OF THE DEVELOPMENT
AUTHORITY OF THE TOWN OF TABER, IN THE PROVINCE OF
ALBERTA, HELD IN THE COUNCIL CHAMBERS, ADMINISTRATION
BUILDING, ON MONDAY, JANUARY 17, 2022, AT 1:30 PM.

Chairperson

Roger Miles

Members

Jack Brewin Arrived at 1:40
Cody Fletcher
Ron Hadden
Monica McLean

Staff

Celina Newberry
Kattie Schlamp (Teleconferenced)
Derrin Thibault

CALL TO ORDER

Meeting called to order by R. Miles at 1:34 pm.

Oaths of Office Ceremony took place immediatly upon the opening of the meeting and was presided over by Mayor Prokop. The Mayor executed the Oaths of Office for the three Community Members of the Municipal Planing Commission.

ADOPTION OF THE AGENDA

RES 1/2022 MOVED by M. McLean that the Municipal Planning Commission adopts the Agenda of the regular Municipal Planning Commission meeting held on January 17, 2022.

CARRIED UNANIMOUSLY

Minutes for the December 13th, 2021 MPC Meeting

RES 2/2022 Moved by M. McLean that the Municipal Planning Commission adopts the minutes of the Regular Municipal Planning Commission meeting held December 13th, 2021 as presented.

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CARRIED UNANIMOUSLY

BUSINESS ARISING FROM THE MINUTES

None

ACTION ITEMS

DP 21-142 6004 46 Avenue - Moved-in Building

RES 3/2022

MOVED by M. McLean that the Municipal Planning Commission approves Development Permit DP 21-142 for a Moved-in Building for Storage at 6004 46 Avenue, Lot 7, Block 1, Plan 1612860, with the following thirteen (13) conditions:

1. The site is to be developed as per the site plan submitted, to the satisfaction of the Development Authority;
2. The development shall conform to the land use bylaw Comprehensive Commercial District (CC) Requirements;
3. The Moved-in Building shall be placed on a foundation and renovated to the satisfaction of the Development Authority. The Moved-in Building shall, also be painted to match the principal building and kept in good repair;
4. A grading and drainage plan must be submitted to, and approved by, the Development Authority prior to construction commencing;
5. A landscaping plan demonstrating the requirement for 10% landscaping of the site has been met shall be provided prior to construction commencing;
6. The applicant shall ensure that stormwater does not enter adjacent properties, and that post development flows into roads or ditches does not exceed pre-development flows and volumes. Taber Irrigation District will require the implementation of low impact development initiatives such as on-site storage, permeable gravel or grass

108/2016

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on-site landscaping, rain barrels or rain gardens, for example. Provision of these details should form part of the grading and drainage plan, or be provided on a landscaping plan;

7. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE), National Building Code 2019 (AE), Alberta Health Services and all other applicable codes;
8. If sprinkler permits are required under the National Building Code 2019 (AE), a separate building permit application must be made in conjunction with the permit for the building, and a copy provided for the Town of Taber;
9. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbour's property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021). In addition, the addressing of the building is to remain clearly visible through all stages of construction;
10. In accordance with policy PLN-4, a \$2,500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets, sidewalks, or services as a result of construction of this dwelling shall be restored to Town

- standards at the applicant's expense prior to issuance of an occupancy permit;
11. The applicant must ensure the contractor commissioned for the construction has a valid Business License for the Town of Taber;
 12. Upon completion of construction, the applicant will provide an updated Real Property Report to the Town of Taber;
 13. All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development.

CARRIED UNANIMOUSLY

DP 21-143 6008 46 Avenue - New Office/Storage Building

R. Miles inquired about what the business would be storing in their storage space. Administration informed that to our knowledge it was to be equipment related to the business.

RES 4/2022

MOVED by J. Brewin that the Municipal Planning Commission approves Development Permit DP 21-143 for a New Office/Storage Building at 6008 46 Avenue, Block B, Plan 26JK, with the following fourteen (14) conditions:

1. The site is to be developed as per the site plan submitted, to the satisfaction of the Director of Planning & Economic Development;
2. The development shall conform to the Land Use Bylaw Comprehensive Commercial District (CC) Requirements;
3. A Demolition Permit shall be required for the removal of the existing building;
4. An approved landscaping plan which demonstrates that the requirement for landscaping 10% of the site has been met shall be provided prior to construction commencing;
5. A grading and drainage plan must be submitted to, and approved by, the Director of Planning & Economic

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- Development prior to construction commencing;
6. The applicant shall ensure that stormwater from this property does not enter adjacent properties, and that post development flows into roads or ditches does not exceed pre-development flows and volumes. Taber Irrigation District will require the implementation of low impact development initiatives such as on-site storage, permeable gravel or grass on-site landscaping, rain barrels or rain gardens, for example. Provision of these details should form part of the grading and drainage plan, or be provided on a landscaping plan;
 7. The applicant shall obtain all required Building Permits to ensure the development complies with the National Fire Code 2019 (AE), National Building Code 2019 (AE), Alberta Health Services and all other applicable codes;
 8. If sprinkler permits are required under the National Building Code 2019 (AE), a separate building permit application must be made in conjunction with the permit for the building, and a copy provided for the Town of Taber;
 9. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbour's property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated

under Bylaw 13-2021). In addition, the addressing of the building is to remain clearly visible through all stages of construction;

10. The curb stop shall only be operated by the Town of Taber's Public Services. Any attempt to contravene this may be subject to a fine as outlined in Bylaw 20-2020 part 8.0. The water curb stop shall be set at finished grade elevation to ensure accessibility by Public Services prior to installation of water metre and access to Town water. Public Services shall determine if water curb stop is acceptable and so advise the Town office prior to occupancy of the dwelling. As per Bylaw 20-2020 part 5.30, temporary water service for a maximum of 60 days must be arranged through the Town Office;
11. In accordance with policy PLN-4, a \$2,500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets, sidewalks, or services as a result of construction of this building shall be restored to Town standards at the applicant's expense prior to issuance of an occupancy permit;
12. The applicant must ensure the contractor commissioned for the construction has a valid Business License for the Town of Taber;
13. Upon completion of construction, the applicant will provide an updated Real Property Report to the Town of Taber;
14. All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development.

CARRIED UNANIMOUSLY

DP 22-003 5608 55 Street - Existing Shed with Variances

112/2016

Meeting Date
1/17/2022

RES 5/2022

MOVED by J. Brewin that the Municipal Planning Commission approves Development Permit DP 22-003 for an Existing Shed with Variances at 5608 55 Street, Lot 15, Block 8, Plan 4919GD, with the following seven (7) conditions:

1. The site is developed as per the site plan submitted and as it presently exists on the property;
2. A rear yard setback variance of 0.09 metres and side yard setback variance of 0.35 metres have been granted by the Municipal Planning Commission on January 17th, 2022;
3. The development conforms to the district requirements of the Residential Single and Two Dwelling district (R-2);
4. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
5. Applicant to ensure water will not accumulate at or near the buildings (positive drainage) on site, nor accumulate on the lot, and will not adversely affect adjacent properties;
6. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbors' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021);
7. All outstanding taxes, if any, are paid to the

113/2016

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Town of Taber prior to proceeding with development.

CARRIED UNANIMOUSLY

Building Permit Statistics for December 2021

RES 6/2022 MOVED by R. Hadden that the Municipal Planning Commission accepts the December 2021 Building Permit Statistics as information.

CARRIED UNANIMOUSLY

Standing Items

None

DELEGATIONS

None

MEDIA INQUIRIES

None

CLOSED SESSION

None

OPEN SESSION

None

CLOSE OF MEETING

RES 7/ 2022 MOVED by C. Fletcher that the meeting be closed at 1:50 pm.

CARRIED UNANIMOUSLY

114/2016

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MAYOR

CHIEF ADMINISTRATIVE OFFICER

115/2016

Meeting Date
1/17/2022

Development Authority Request for Decision

Meeting Date: February 22, 2022

Subject:

DP 22-005 5202 55 Street - Multi-Unit Dwelling 8 Units

Recommendation:

That the Municipal Planning Commission approves Development Permit DP 22-005 for a Multi-Unit Residential Building - 8 Units with Variances at 5202 55 Street, Lots 14-15, Block 20, Plan 5365L, with the following sixteen (16) conditions:

1. The site is developed as per the site plan submitted;
2. The development conforms to the district requirements of the Residential Street-Orientated Multiple Dwelling District (R-3);
3. A front yard setback variance of 1.1 metres was granted by the Municipal Planning Commission on February 22, 2022. The front yard setback has been varied to 4.87 metres;
4. A rear yard setback variance of 0.98 metres was granted by the Municipal Planning Commission on February 22, 2022. The rear yard setback has been varied to 5.02 metres;
5. A driveway width variance of 12.19 metres was granted by the Municipal Planning Commission on February 22, 2022. The driveway width has been varied to 24.38 metres;
6. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
7. If sprinkler permits are required under the Alberta Building Code, a separate Building Permit application must be made in conjunction with the permit for the building, and a copy provided to the Town of Taber;
8. New Home Warranty documentation must be supplied prior to the issuance of the Building Permit;
9. A landscaping plan demonstrating that all the requirements for multi-unit residential development have been met, shall be submitted to the Development Authority for approval, prior to the beginning of construction;
10. A lot drainage (grade) plan illustrating water will not accumulate at or near the buildings (positive drainage), nor accumulate on the lot, and will not adversely affect adjacent properties shall be produced by a qualified professional and supplied to the Town of Taber prior to the Building Permit being issued. In addition, the foundation must be staked by a qualified professional;
11. The curb stop shall only be operated by the Town of Taber's Public Services. Any attempt to contravene this may be subject to a fine as outlined in Bylaw 20-2020 part 8.0. The water curb stop shall be set at finished grade elevation to ensure accessibility by Public Services prior to installation of water metre and access to Town water. Public Services shall determine if water curb stop is acceptable and so advise the Town office prior to

- occupancy of the dwelling. As per Bylaw 20-2020 part 5.30, temporary water service for a maximum of 60 days must be arranged through the Town Office;
12. The developer shall enter into a Service Agreement with the Town of Taber, to provide new services to the property, before construction begins;
 13. In accordance with Section 2.15.3(5) of the Land Use Bylaw 13-2020 a minimum of 2 parking spaces per residential unit are required. Per Section 2.15.2(1), each space designated for a particular unit through signage;
 14. The contractor commissioned for construction must have a valid Business License for the Town of Taber;
 15. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021);
 16. Applicant shall provide an updated real property report and obtain a compliance certificate prior to occupancy.

Background:

Administration has received an application for a multi-unit residential development on the property of 5202 55 Street. This property is zoned R-3, which is a district that is intended for Street Orientated Multiple Dwelling development. The use of multi-unit is discretionary in this district. The property in question was two separate lots, which have been consolidated into one lot with the intention to accommodate the development of a multi-unit project.

The applicant has provided the required 16 parking spaces entirely, on the property. Each of the 16 parking spots is 3 metres by 6.706 metres. The spaces located in front of the entrances are not considered as parking spaces for they don't meet the standards. The application will require a variance for the drive way width at the front to the property as it takes up 24.38 metres of the 30.48 metre lot frontage. This works out to 80% of the lot frontage.

The proposed development does meet the side yard requirements and the corner setbacks. It will, however, require variances for the front and rear yard setbacks as the covered entrances project into these set backs. The front entrance projects into the front yard set back by 1.829 metres. The rear entrance projects into the rear yard setback by 1.686 metres.

The proposed development meets the requirements for the amount of landscaped area required for a multi-unit development. They applicant would still be required to provide a landscaping plan to demonstrate that the requirements for the vegetation on the property have been met.

An area for a garbage bin has been provided. In terms of waste removal, this development is considered a commercial use, as it is over the threshold for individual residential cart use.



Legislation / Authority:

Bylaw 10-2018 - Subdivision and Development Authority and MPC Bylaw, Section 8(b) The Municipal Planning Commission shall be the Development Authority for Development Permit applications for Discretionary Uses.

Strategic Plan Alignment:

Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.

Financial Implication:

The applicant has paid the appropriate application fees which will cover costs of advertising and notifications.

Service Level / Staff Resource Implication:

Administration's time was required for the review and processing of the application.

Justification:

Approving this application will allow the property owner to develop the property in a way that allows them to maximize the use of the property. There should be minimal impacts to the neighbouring properties with this development.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves Development Permit DP 22-005 for a Multi-Unit Residential Building - 8 Units with Variances at 5202 55 Street, Lots 14-15, Block 20, Plan 5365L, with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit DP 22-005 for a Multi-Unit Residential Building - 8 Units with Variances at 5202 55 Street, Lots 14-15, Block 20, Plan 5365L, with reasons.

Attachment(s): Application
Site Plan and Drawings
Check List

APPROVALS:

Originated By:

Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



RESIDENTIAL DWELLING DEVELOPMENT PERMIT APPLICATION

TOWN OF TABER: A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME:

MAILING ADDRESS:

TOWN: POSTAL CODE:

EMAIL: PHONE NUMBER:

Owner Information (if different from applicant)

OWNER NAME:

MAILING ADDRESS:

TOWN: POSTAL CODE:

EMAIL: PHONE NUMBER:

Property Information (property to be developed)

MUNICIPAL ADDRESS:

LOT(S): BLOCK: PLAN:

Description of Project

DESCRIBE YOUR PROJECT

We are proposing to development a long term rental property. We are looking at maximising the use of the land by doing a multi-unit property. There will be 8 units, and each unit will be a nice 1200sq ft living space. Parking will be a concrete pad in front and back of the property.

Type of Development

TYPE OF DEVELOPMENT PROPOSED (check all that apply)

- Single Family Dwelling
- Row House Dwelling
- Moved-in Dwelling
- Other
- Semi-detached Dwelling
- Multi-unit Residential
- Addition
- Duplex Dwelling
- Mixed-use Development
- Renovation

DOES THE DEVELOPMENT REQUIRE ANY WAIVERS?
Note that all waiver requests must go to the Municipal Planning Commission.

- Setback
- Deck Height (1.5m max)
- Parking (Min. 2 / dwelling unit)
- Other: Parking waiver for the front

Start Date and Cost

ESTIMATED START DATE: Feb. 21, 2022 ESTIMATED COST: 950,000

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

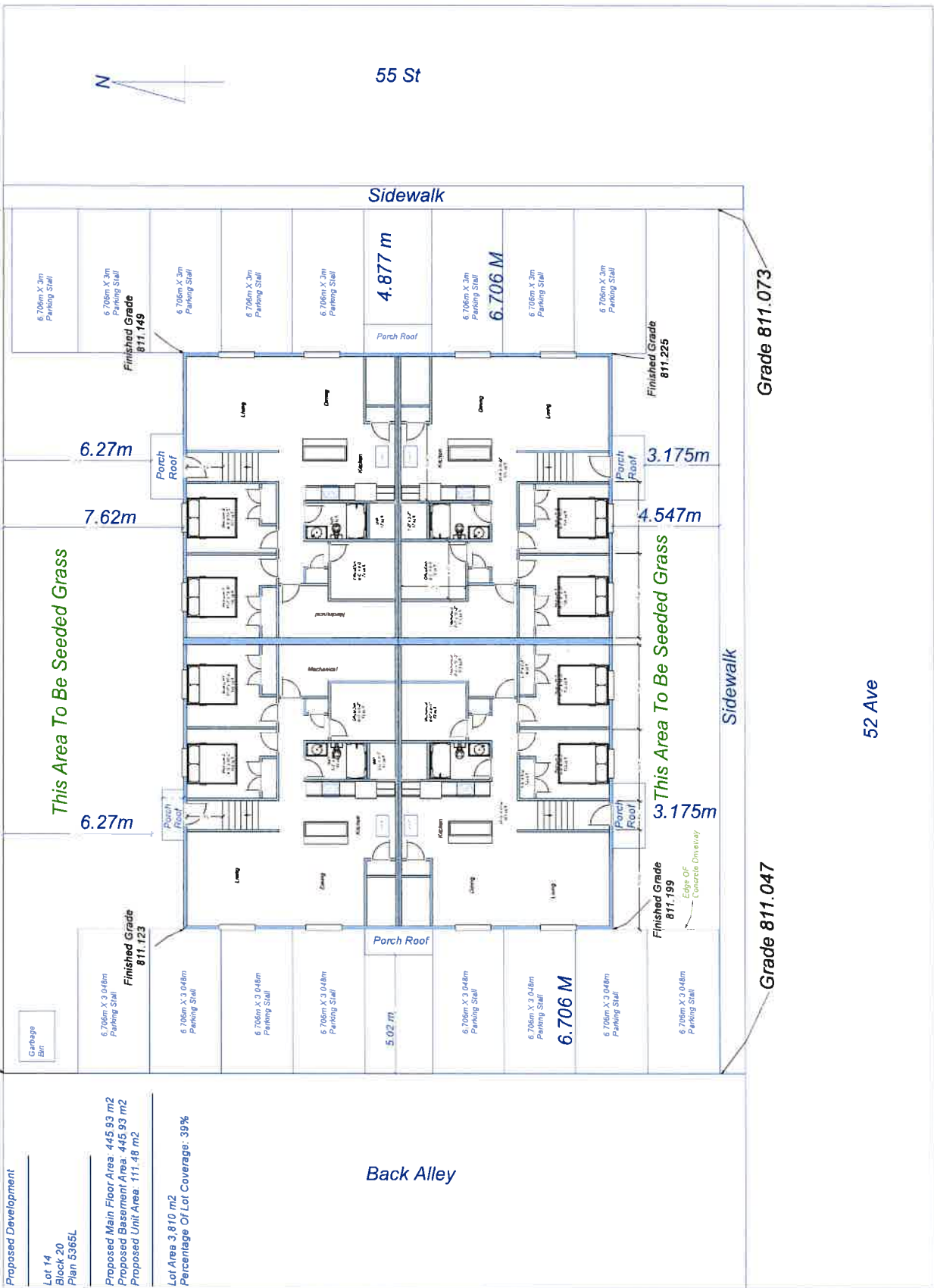
APPLICANT SIGNATURE: [Redacted] DATE: Jan 18, 2022
REGISTERED OWNER SIGNATURE: [Redacted] DATE: Jan 18, 2022
PLANNING OFFICER SIGNATURE: [Signature] DATE: Jan 18, 2022

The personal information on this form is being collected for the purpose of reviewing your application to the municipality of the Town of Taber. The information is collected under the authority of Section 146 of the Municipal Government Act (MGA) and Section 33 of the Freedom of Information and Protection of Privacy Act (FOIPPA). Under Section 33 of the FOIPPA Act, the Town of Taber reserves the right to collect information that relates directly to and is necessary for an operating program or activity of the public body. Names of applicants will be provided to the public. If you have any questions about the collection of this information, please contact the FOIPPA coordinator at 403-223-5500 ext. 5519.

Note: This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction.

Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).

At the completion of the development, you will be required to submit an updated *Real Property Report* to the Town of Taber to verify that the project has been constructed in the correct location.



Grade 810.946

Grade 810.920

Grade 811.073

Grade 811.047

55 St

52 Ave

Back Alley

Proposed Development
 Lot 14
 Block 20
 Plan 5365L

Proposed Main Floor Area: 445.93 m²
 Proposed Basement Area: 445.93 m²
 Proposed Unit Area: 111.48 m²

Lot Area: 3,810 m²
 Percentage Of Lot Coverage: 39%

This Area To Be Seeded Grass

This Area To Be Seeded Grass

6.706m X 3m
Parking Stall

6.706m X 3m
Parking Stall

6.706m X 3m
Parking Stall

6.706m X 3m
Parking Stall

6.706m X 3m
Parking Stall

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6.706m X 3m
Parking Stall

6.706m X 3m
Parking Stall

6.706m X 3m
Parking Stall

6.706m X 3m
Parking Stall

6.27m

7.62m

6.27m

4.877 m

6.706 M

3.175m

4.547m

3.175m

Finished Grade
811.123

Finished Grade
811.199

Edge OF
Concrete Driveway

Garbage
Bin

6.706m X 3.048m
Parking Stall

6.706m X 3.048m
Parking Stall

6.706m X 3.048m
Parking Stall

6.706m X 3.048m
Parking Stall

5.02 m

6.706m X 3.048m
Parking Stall

6.706m X 3.048m
Parking Stall

6.706 M

6.706m X 3.048m
Parking Stall

6.706m X 3.048m
Parking Stall

6.706m X 3.048m
Parking Stall

Porch Roof

Porch Roof

Porch Roof

Porch Roof

Porch Roof

Porch Roof

Porch Roof

Porch Roof

Living

Dining

Kitchen

Bathroom

Living

Dining

Kitchen

Bathroom

Living

Dining

Kitchen

Bathroom

Living

Dining

Kitchen

Bathroom

Mechanical

Mechanical

Mechanical

Mechanical

Mechanical

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Mechanical

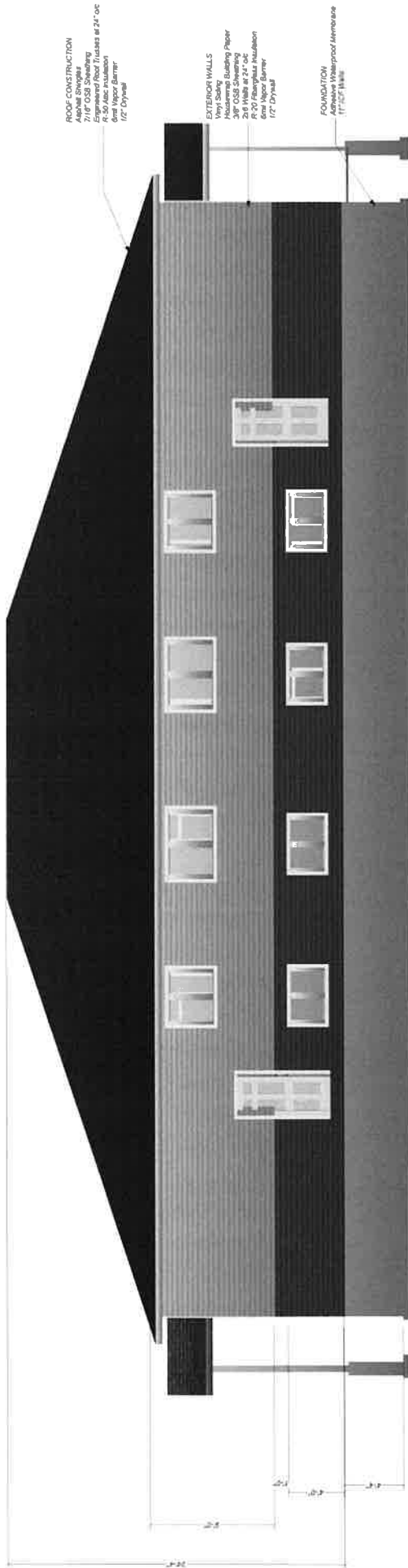
Mechanical

Mechanical

Mechanical







ROOF CONSTRUCTION
 Asphalt Shingles
 2" OSB Sheathing
 2x6 Rafters @ 24" OC
 R-30 AISC Insulation
 6mil Vapor Barrier
 1/2" Drywall

EXTERIOR WALLS
 Vinyl Siding
 Building Paper
 2x6 OSB Sheathing
 2x6 Walls @ 24" OC
 2x4 Studs @ 16" OC
 6mil Vapor Barrier
 1/2" Drywall

FOUNDATION
 8" Concrete
 12" x 12" x 8" Walls



2'-0"

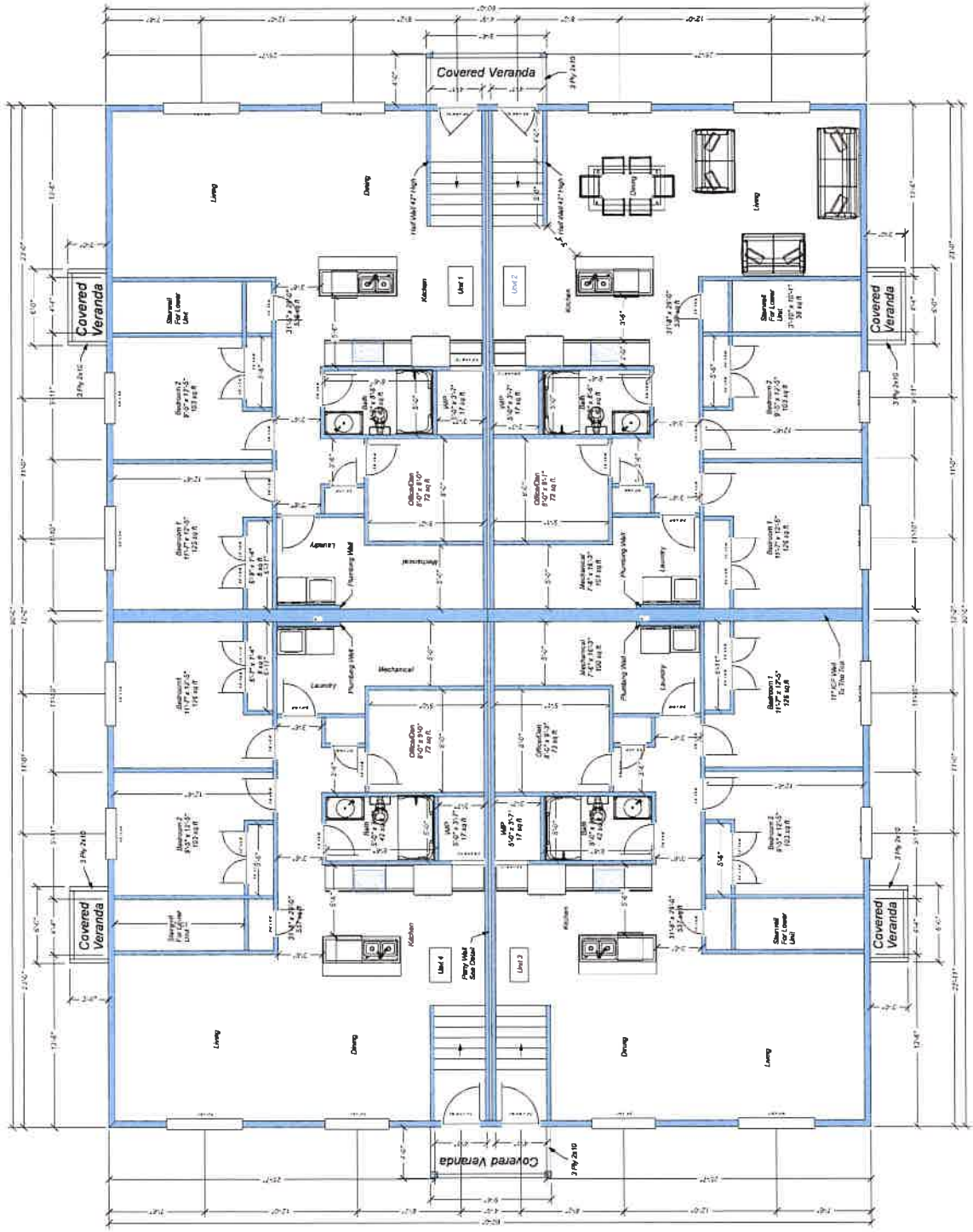
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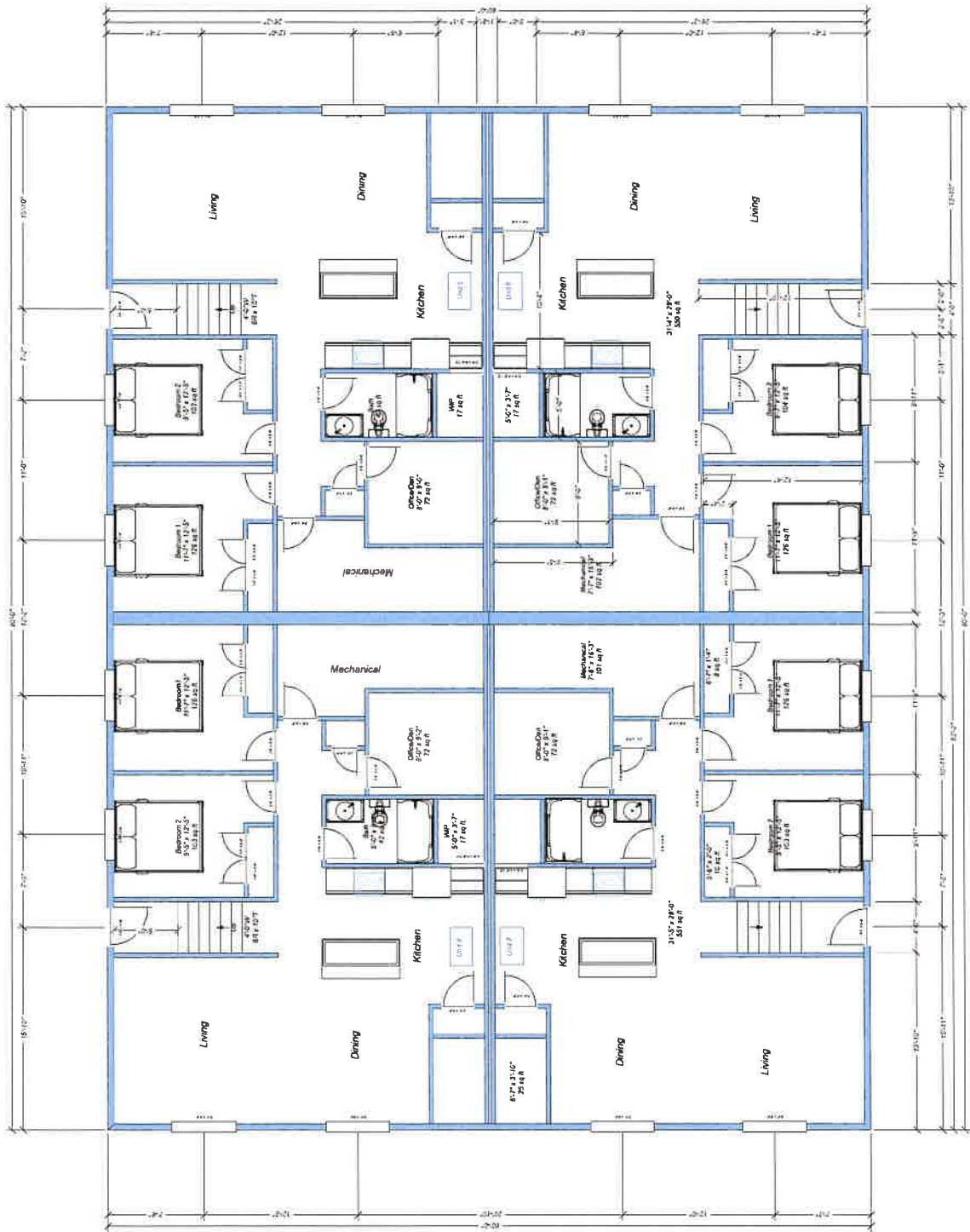
0'-2"

4'-0"

Project:	George Mueller
Title:	Main Floor
Designed by:	Advanced Construction Inc.
Date:	October 20, 2021
Signature:	
Scale:	1/8" = 1'

Revision Notes:	
Date:	
Signature:	
Punch Drawing:	4,800 FTD Total Main Floor
Drawing Number:	
Sheet:	





Project Name: 5202 55 Street

District R-3
 Address 5202 55 Street
 Lot, Block, Plan Lots 14-15, Block 20, Plan 5365L

Permit Number: 22-005
 Roll Number: 5254140

Proposed Use Multi-Unit 8 Units Permitted? Discretionary

Date Submitted: 2/22/2022
 Date: 2/15/2022

Meeting and Notification Requirements

Required?	Date	Required?	Dates
Council	Yes	Yes	Yes
MPC	No	No	Yes
	Yes	Yes	Yes
	Yes	Yes	Yes

DP Application Fee: 650
 Damage Deposit in Const. Water Fee: 2500
 Total: 3275
 Deposit Returned? No

DP Submission	Required?	Completed	Notes
Application Filled?	Yes	Yes	
Site Plan	Yes	Yes	
Drainage Plan	No	No	
Payment	Yes	Yes	
All materials submitted?	Yes	Yes	
DP Review	Required?	Completed	Notes
LUB Review	Yes	Yes	
Waiver or Variance	Yes	Yes	
Internal Circulation	Yes	Yes	
Council or MPC	MPC	Yes	
Mail Outs	Yes	Yes	
Approval/Refusal	Yes	No	
Following Approval	Required?	Sent/Taken	Returned
Damage Deposit	Yes	Yes	No
Send to Superior (if BP)	Yes	No	No
Pre-Inspection Reports	Yes	No	No
Post-Inspection Reports	Yes	No	No

Driveway Calculations

Frontage for Lot	30.48
Driveway Width	24.38
Percentage of Lot	0.799868766

Allowable Waiver: 3.048

Percent of the Lot that is Landscaped: 1114.83

Total Structures	459.68
Parking	296.94
Total Landscaped Area	756.62
	0.321313564

Lot Coverage Calculation

Lot Size	1114.83
Principle Building	459.68
Attached Garage	
Porch	0.412331925
Decks	0
Detached Garage	
Accessory Structures	
Accessory Structures	
Total Structures	459.68
	0.412331925

Land Use Bylaw Checklist (units in metres)

Principal Building Setbacks	Required	Proposed	Acceptable
Front Setback	6.0	4.87	No
Rear Setback	6	5.02	No
Side Setback 1	3.0	4.72	Yes
Side Setback 2	3.0	4.72	Yes

Accessory Setbacks	Required	Proposed	Acceptable
Front Setback	6.0		Yes
Rear Setback	0.6		Yes
Side Setback	0.6		Yes
Side Setback Adjacent Street	1.2		Yes
Principal Building	1.0		Yes

Coverages	Required	Proposed	Acceptable
Max Building Coverage	50%	41.2%	Yes
Principal Building	50%	41.2%	Yes
Accessory Buildings		0.0%	Yes
Decks		0.0%	Yes
Driveway Coverage	40%	80.0%	Yes

Landscaping	Required	Proposed	Acceptable
Amount required	30%	32.00%	Yes

Parcel Size	Required	Proposed	Acceptable
Min. Parcel Area	Review		R/VALUEE
Min. Parcel Width	Review		R/VALUEE

Heights	Required	Proposed	Acceptable
Max Building Height	14.0	7.4	Yes
Max Deck Height			Yes

Max Accessory Height	Required	Proposed	Acceptable
Parking			Yes
Stalls	16	16	Yes
Handicap			Yes

Other	Required	Proposed	Acceptable
Corner Site Triangle	3	3	Yes

Parking Calculation

1 Stall per/bedroom	16
Area required	16
Stalls required	16

Note: Total always rounds up **Total: 16**

Development Authority Request for Decision

Meeting Date: February 22, 2022

Subject:

DP 22-007 - 5613 58 Avenue - Mixed Use with 4 Residential Units

Recommendation:

That the Municipal Planning Commission approves Development Permit DP 22-007 for Mixed Use Residential and Parking/Storage/Office Space at 5613 58 Avenue, Lot 12, Block 10, Plan 7710758, with the following fifteen (15) conditions:

1. The site is developed as per the site plan submitted;
2. The development conforms to the district requirements of the Residential Street-Orientated Multiple Dwelling District (R-3);
3. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
4. A deck height variance of 2.65 metres was approved for this development by the Municipal Planning Commission on February 22nd, 2022. The deck height for this parcel has been varied to 4.15 metres;
5. The developer shall enter into a Servicing Agreement with the Town of Taber, to provide new services to the property, before construction begins;
6. If sprinkler permits are required under the Alberta Building Code, a separate Building Permit application must be made in conjunction with the permit for the building, and a copy provided to the Town of Taber;
7. New Home Warranty documentation must be supplied prior to the issuance of the Building Permit;
8. A lot drainage (grade) plan illustrating water will not accumulate at or near the buildings (positive drainage), nor accumulate on the lot, and will not adversely affect adjacent properties shall be produced by a qualified professional and supplied to the Town of Taber prior to the Building Permit being issued. In addition, the foundation must be staked by a qualified professional;
9. An approved landscaping plan which demonstrates that the landscaping requirements of the site has been met shall be provided prior to construction commencing;
10. The curb stop shall only be operated by the Town of Taber's Public Services. Any attempt to contravene this may be subject to a fine as outlined in Bylaw 20-2020 part 8.0. The water curb stop shall be set at finished grade elevation to ensure accessibility by Public Services prior to installation of water metre and access to Town water. Public Services shall determine if water curb stop is acceptable and so advise the Town office prior to occupancy of the dwelling. As per Bylaw 20-2020 part 5.30, temporary water service for a maximum of 60 days must be arranged through the Town Office;
11. In accordance with Section 2.15.3(5) of the Land Use Bylaw 13-2020 a minimum of 2

- parking spaces per residential unit are required. Per Section 2.15.2(1), each space designated for a particular unit through signage;
12. Prior to occupancy, the applicant will provide an Updated Real Property Report to the Town of Taber and obtain a Compliance Certificate for the property;
 13. The contractor commissioned for construction must have a valid Business License for the Town of Taber;
 14. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021);
 15. All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development.

Background:

Administration has received an application for a Mixed-Use building located at 5613 58 Avenue. The building would comprise of 4 residential units located over a large parking garage/storage area, with a small space for an office. The ground floor space would be rented out to the tenants of this building and possibly the tenants of other nearby apartment buildings for storage and parking. The remainder of the storage space would be used by the land owner for storage of equipment and items related to maintaining their properties. They would also occupy the small office for the purpose of managing their properties.

The proposed development does include a minimum of 8 required parking spaces and 2 additional spaces for office parking and visitor parking. They have provided plenty of space for the waste collection which for this property could be done through residential cart collection. The building does meet all the required setbacks, but as there are balconies it will need a variance for the deck height. The balconies on the east will over look a park, the balconies on the west will overlook a private yard.

Legislation / Authority:

Bylaw 10-2018 - Subdivision and Development Authority and MPC Bylaw, Section 8(b) The Municipal Planning Commission shall be the Development Authority for Development Permit applications for Discretionary Uses.

Strategic Plan Alignment:

Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.

Financial Implication:

The applicant has paid the appropriate application fees which will cover costs of advertising and notifications.



Service Level / Staff Resource Implication:

Administration's time was required for the review and processing of the application.

Justification:

Allowing for the development of the mixed-use building will see that the property owner makes the best use of their property with minimal impacts to the neighbourhood. The property is zoned for multi-residential use and the surrounding area is currently a mix of single-family dwellings and apartment buildings. The property is also near the industrial park.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves Development Permit DP 22-007 for Mixed Use Residential and Parking/Storage/Office Space at 5613 58 Avenue, Lot 12, Block 10, Plan 7710758, with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit DP 22-007 for Mixed Use Residential and Parking/Storage/Office Space at 5613 58 Avenue, Lot 12, Block 10, Plan 7710758, with reasons.

Attachment(s): Application Form
Site Plan and Drawings
Checklist

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



RESIDENTIAL DWELLING DEVELOPMENT PERMIT APPLICATION

TOWN OF TABER, A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME: [REDACTED]

MAILING ADDRESS: [REDACTED]

TOWN: [REDACTED]

POSTAL CODE: [REDACTED]

EMAIL: [REDACTED]

PHONE NUMBER: [REDACTED]

Owner Information (if different from applicant)

OWNER NAME: _____

MAILING ADDRESS: _____

TOWN: _____

POSTAL CODE: _____

EMAIL: _____

PHONE NUMBER: _____

Property Information (property to be developed)

MUNICIPAL ADDRESS: 5613 58 AVE

LOT(S): 12

BLOCK: 10

PLAN: 7710758

Description of Project

DESCRIBE YOUR PROJECT

MULTI FAMILY UNIT

Type of Development

TYPE OF DEVELOPMENT PROPOSED (check all that apply)

- Single Family Dwelling
- Semi-detached Dwelling
- Duplex Dwelling
- Row House Dwelling
- Multi-unit Residential
- Mixed-use Development
- Moved-in Dwelling
- Addition
- Renovation
- Other _____

DOES THE DEVELOPMENT REQUIRE ANY WAIVERS?

Note that all waiver requests must go to the Municipal Planning Commission.

- Setback
- Deck Height (1.5m max)
- Parking (Min. 2 / dwelling unit)
- Other _____

Start Date and Cost

ESTIMATED START DATE: MAY 1ST ESTIMATED COST: \$500.00

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: _____ DATE: Feb 2, 2022

REGISTERED OWNER SIGNATURE: _____ DATE: Feb 2, 2022

PLANNING OFFICER SIGNATURE: [Signature] DATE: Feb 2, 2022


The personal information on this form is being collected for the purpose of reviewing your application to the municipality of the Town of Taber. The information is collected under the authority of Section 146 of the Municipal Government Act (MGA) and Section 33 of the Freedom of Information and Protection of Privacy Act (FOI/PPA). Under Section 33 of the FOI/PPA Act, the Town of Taber reserves the right to collect information that relates directly to and is necessary for an operating program or activity of the public body. Names of applicants will be provided to the public. If you have any questions about the collection of this information, please contact the FOI/PPA coordinator at 403-223-5500 ext. 5519.

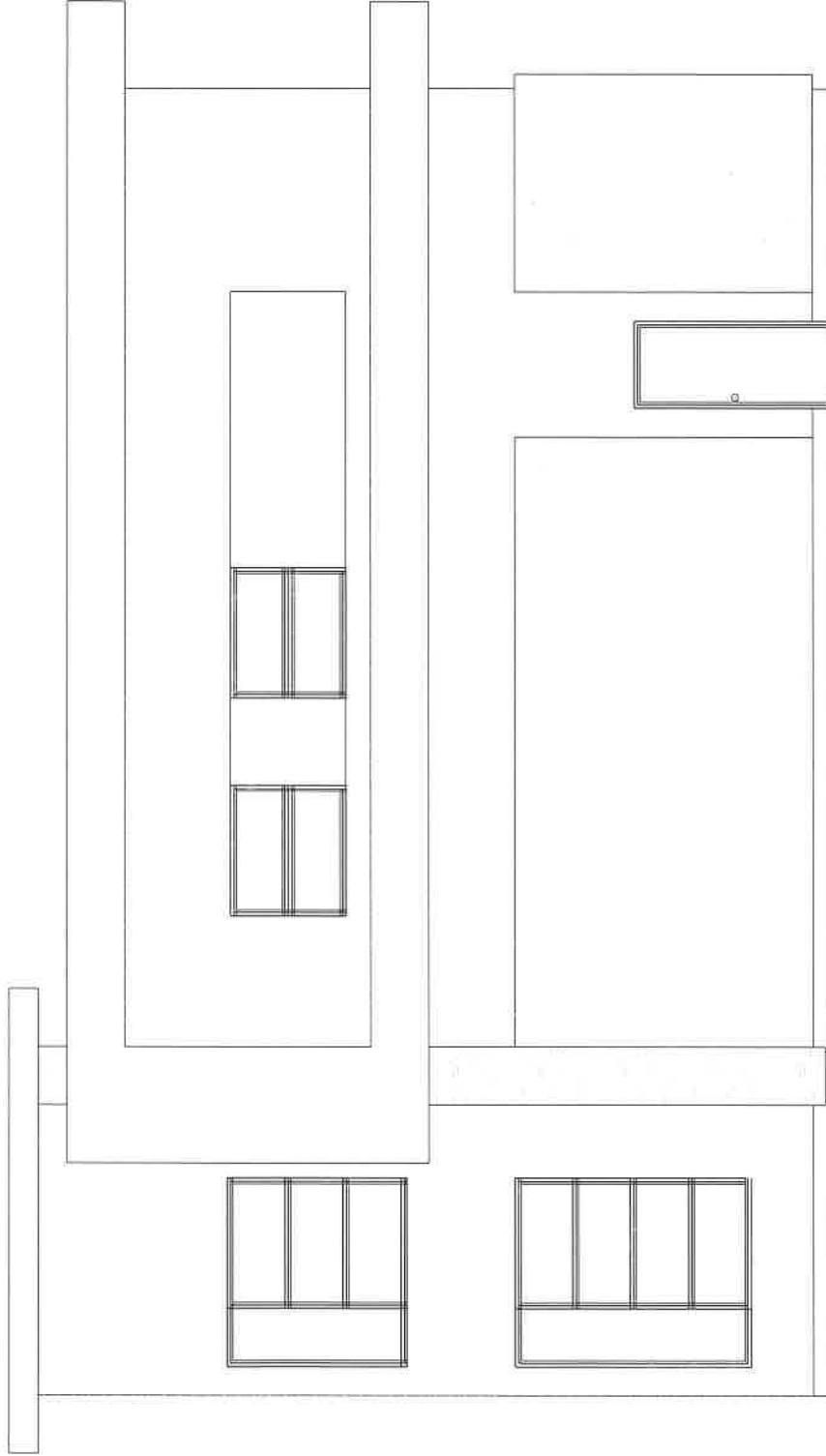
Note: This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction.

Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).

At the completion of the development, you will be required to submit an updated *Real Property Report* to the Town of Taber to verify that the project has been constructed in the correct location.

PRUMMEL January 30, 2022	Sheet A.1
Scale: 1/4" = 1'-0"	
SQUARE FEET SUMMARY GARAGE/MAIN FLOOR SECOND LEVEL/ APARTMENTS: 1500	

	DRAFTED/ DESIGNED
WALL TO WALL DESIGN 1000 W. 10th Street P.O. Box 433 P: 403.315.4343 E: rochele_w@walltowall.com	
PROPERTY OF HARRY PRUMMEL Phone: 403.300.8830 Email: harryprumel@gmail.com	
LOT: BLOCK: PLANN:	ADDRESS: 5613 58 AVE TABER AB



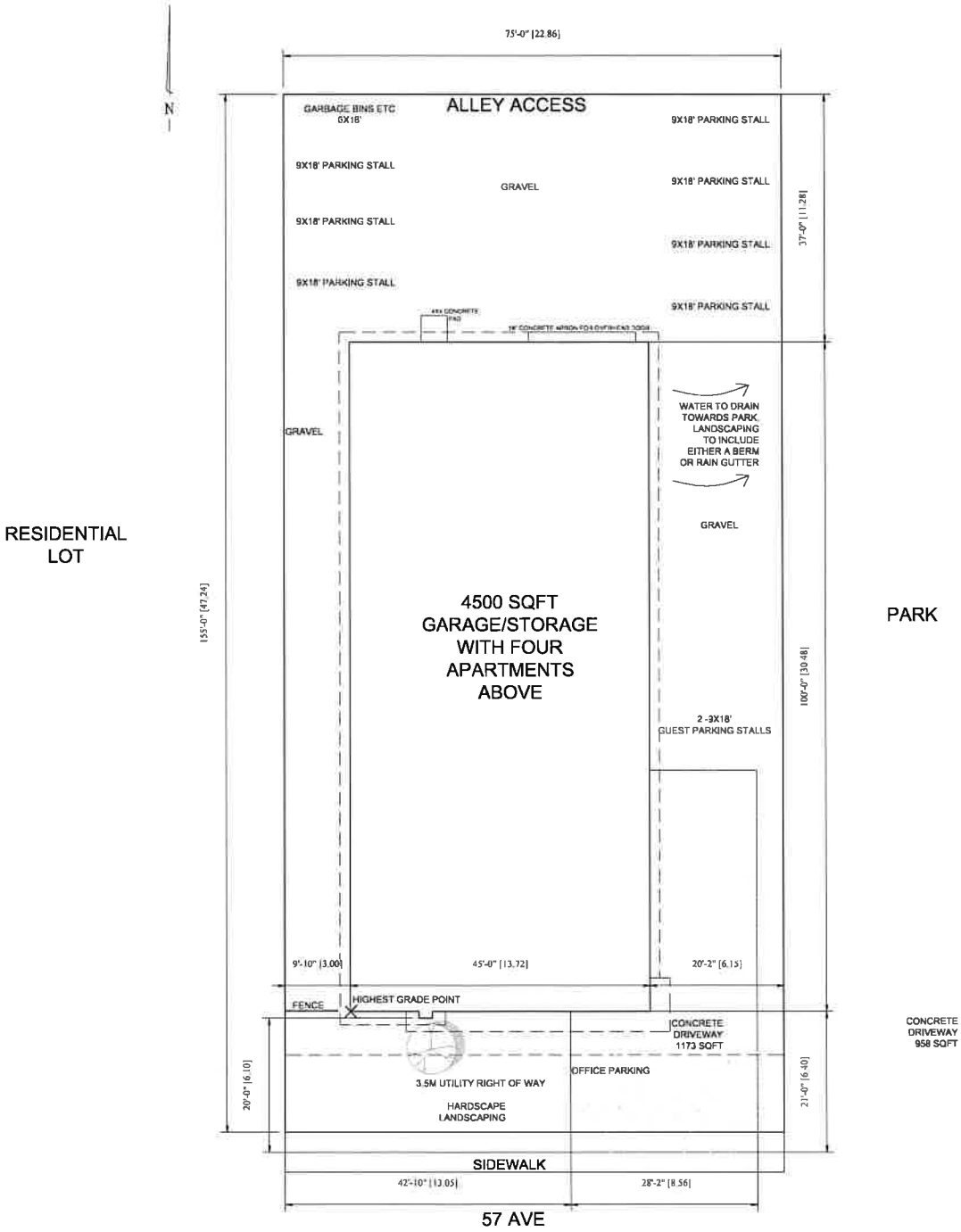
5613 58 AVE
TABER AB

PRELIMINARY PLANS
SCALE: 1/4" = 1'-0"

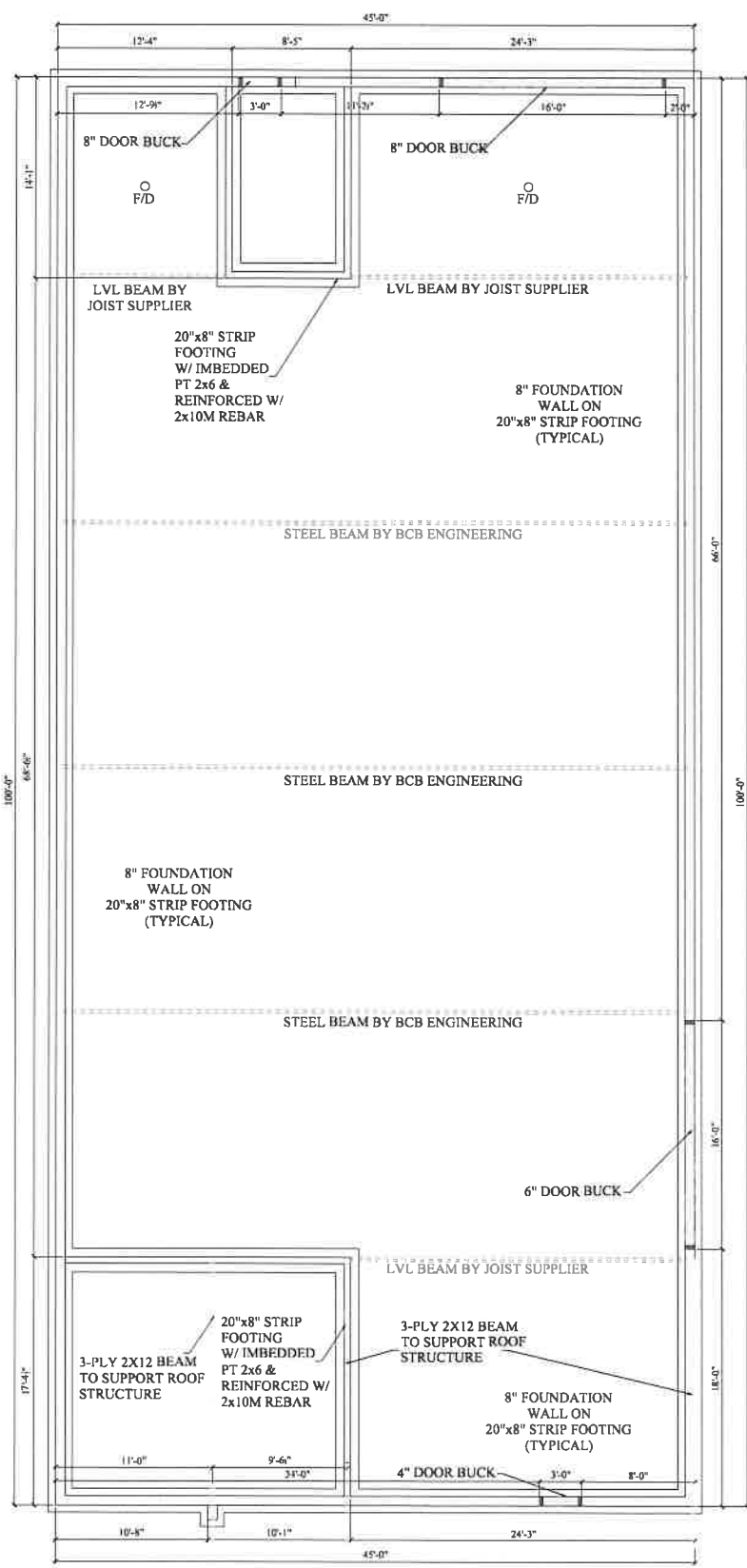


PROJECT	Sheet
January 30, 2022	A.2
Scale	1/16" = 1'-0"

APARTMENTS

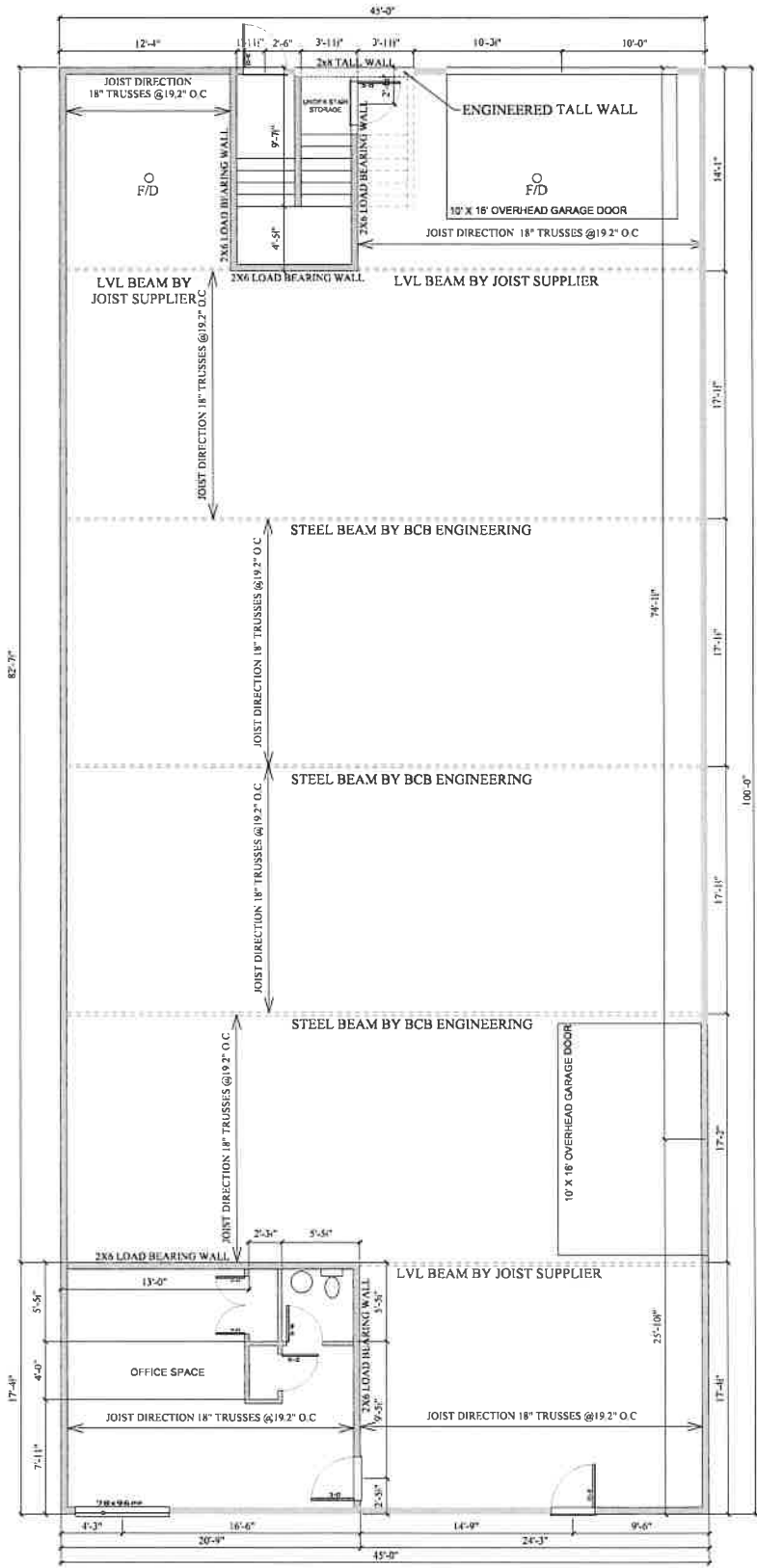


SITE PLAN
SCALE: 1/16" = 1'-0"



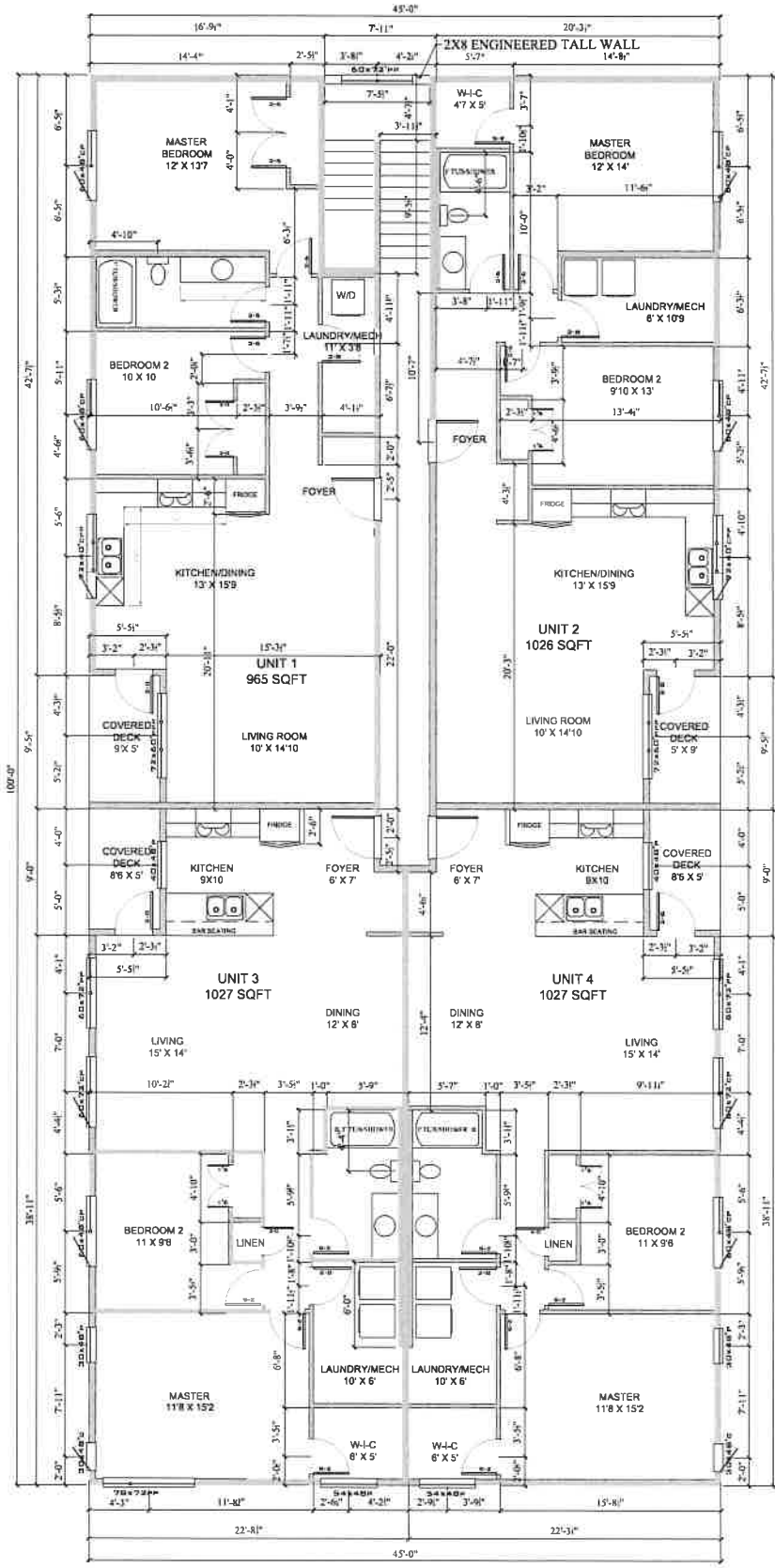
FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

PLEASE NOTE: THESE PLANS ARE AT A PRELIMINARY STAGE AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.



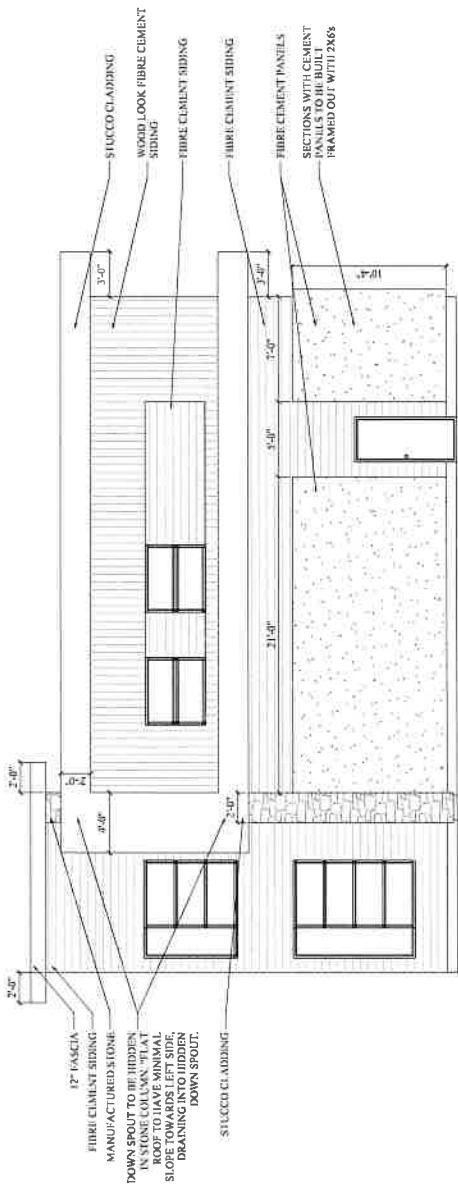
MAIN LEVEL
SCALE: 1/8" = 1'-0"

PLEASE NOTE: THESE PLANS ARE AT A PRELIMINARY STAGE AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

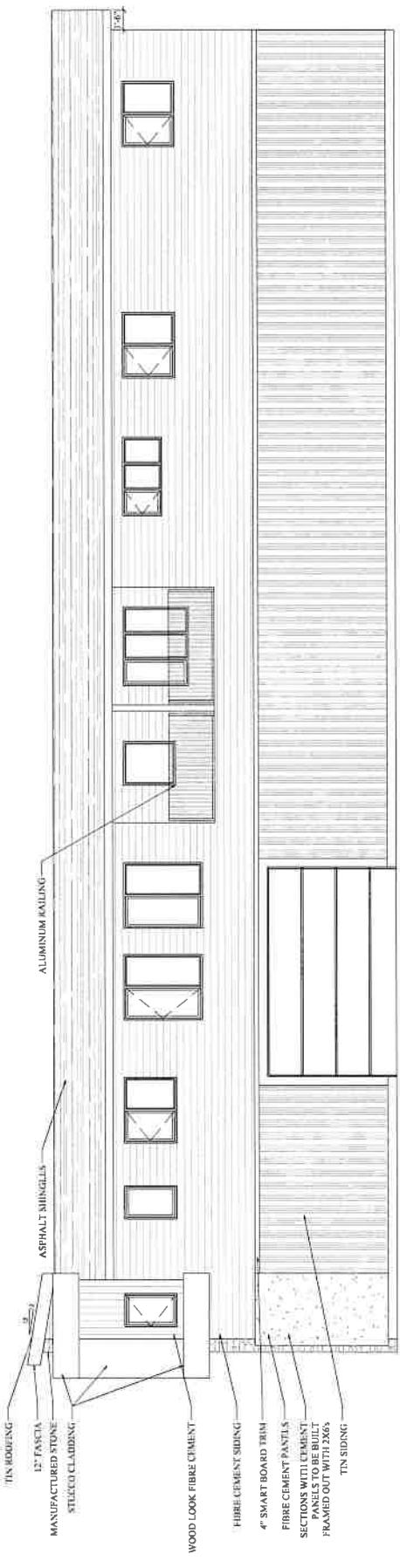


UPPER LEVEL
SCALE: 1/8" = 1'-0"

PLEASE NOTE: THESE PLANS ARE AT A PRELIMINARY STAGE AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

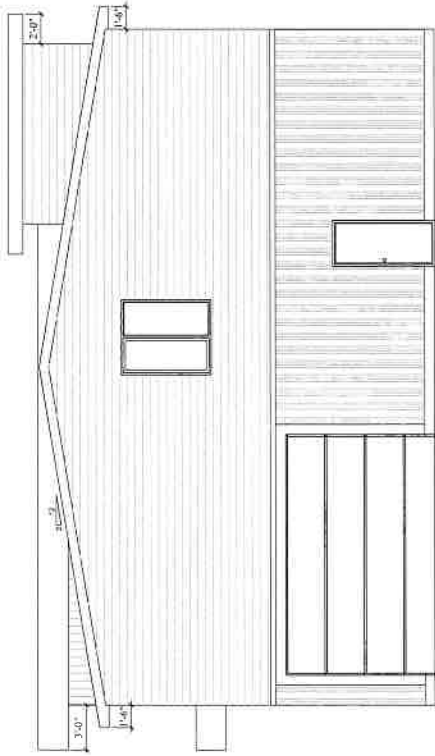


FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

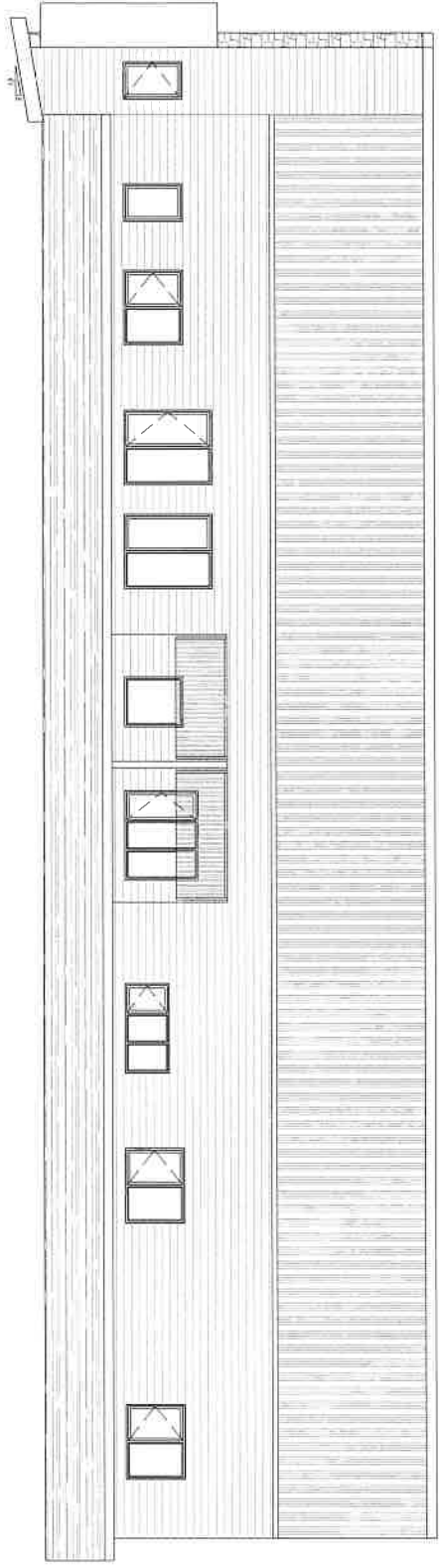


RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

PLEASE NOTE: THESE PLANS ARE AT A PRELIMINARY STAGE AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

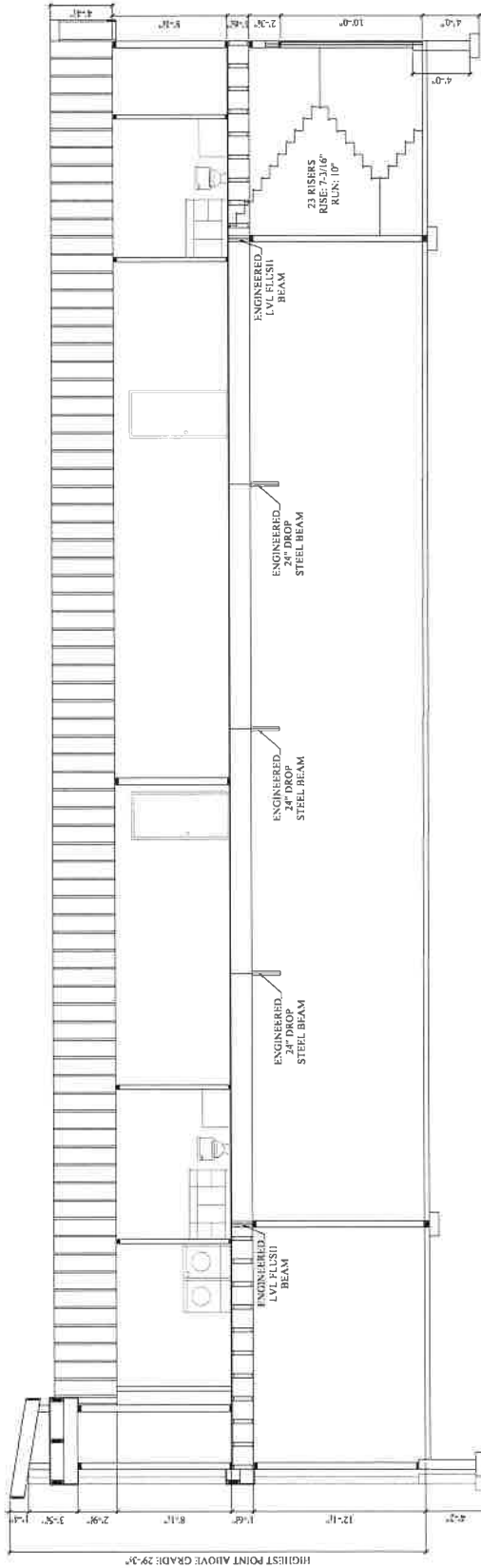


REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

PLEASE NOTE: THESE PLANS ARE AT A PRELIMINARY STAGE AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.



PLEASE NOTE: THESE PLANS ARE AT A PRELIMINARY STAGE AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

SECTION A
 SCALE: 1/8" = 1'-0"

Project Name:		5613 58 Avenue	
Date Submitted:	District R-3	Proposed	Use Mixed Use
Permit Number: 22-007	Address 5613 58 Avenue	Permitted?	Discretionary
Roll Number: 5856120	Lot, Block, Plan Lot:12, Block 10, Plan 7710758		
Council	Meeting and Notification Requirements	Required?	Dates
MPC		Yes	Newspaper Mailout
	Date	Yes	Yes
	2/22/2022	Yes	Yes
	DP Review	Completed	Notes
	Application Filled?	Yes	
	Site Plan	Yes	
	Drainage Plan	No	
	Payment	No	
	All materials submitted?	Yes	
	DP Review	Completed	Notes
	LUB Review	Yes	
	Waiver or Variance	No	
	Internal Circulation	No	
	Council or MPC	No	
	Mail Outs	No	
	Approval/Refusal	Yes	
	Following Approval	Required?	Returned
	Damage Deposit	Yes	No
	Send to Superior (if BP)	Yes	No
	Pre-Inspection Reports	Yes	No
	Post-Inspection Reports	Yes	No

Land Use Bylaw Checklist (units in metres)			
Principal Building Setbacks	Required	Proposed	Acceptable
Front Setback	6.0	6.1	Yes
Rear Setback	6	11.28	Yes
Side Setback 1	3.0	3	Yes
Side Setback 2	3.0	6.15	Yes
Accessory Setbacks	Required	Proposed	Acceptable
Front Setback	6.0		Yes
Rear Setback	0.6		Yes
Side Setback	0.6		Yes
Side Setback Adjacent Street	1.2		Yes
Principal Building	1.0		Yes
Coverages			
Max Building Coverage	50%	42.7%	Yes
Principal Building		42.7%	No
Accessory Buildings		0.0%	Yes
Decks		0.0%	Yes
Driveway Coverage	40%	69.5%	Yes
Landscaping	Required	Proposed	Acceptable
Amount required	Review	Review	#VALUE!
Parcel Site	Required	Proposed	Acceptable
Min. Parcel Area	Review	Review	#VALUE!
Min. Parcel Width	Review	Review	#VALUE!
Heights	Required	Proposed	Acceptable
Max Building Height	10.5	8.92	Yes
Max Deck Height	1.5	8.92	No
Max Accessory Height			Yes
Parking	Required	Proposed	Acceptable
Stalls	8	9	Yes
Handicap	0		Yes
Other	Required	Proposed	Acceptable
Corner Site Triangle	3	6	Yes

Parking Calculation			
Use(s)	1 Stall per Xm2	Area	Stalls required
Automobile Supply			#DIV/0!
Automotive Sales			#DIV/0!
Note: Total always rounds up			Total
			#DIV/0!

DP Submission	Required?	Completed	Notes
Application Filled?	Yes	Yes	
Site Plan	Yes	Yes	
Drainage Plan	No	No	
Payment	No	No	
All materials submitted?	Yes	Yes	
DP Review	Required?	Completed	Notes
LUB Review	Yes	Yes	
Waiver or Variance	Yes	No	
Internal Circulation	Yes	No	
Council or MPC	MPC	No	
Mail Outs	Yes	No	
Approval/Refusal	Yes	No	
Following Approval	Required?	Sent/Taken	Returned
Damage Deposit	Yes	No	No
Send to Superior (if BP)	Yes	No	No
Pre-Inspection Reports	Yes	No	No
Post-Inspection Reports	Yes	No	No

Driveway Calculations	
Frontage for Lot	8
Driveway Width	5.56
Percentage of Lot	0.695

Lot Coverage Calculation	
Lot Size	975.76
Principle Building Attached Garage	418.064
Poarch	0.426700416
Decks	0
Detached Garage	
Accessory Structures	
Accessory Structures	
Accessory Structures	
Total Structures	418.064
	0.426700416

Allowable Waiver 0.8

3.2

4



Development Authority Request for Decision

Meeting Date: February 22, 2022

Subject:

DP 22-008 - 6200 46 Avenue - Freestanding Sign

Recommendation:

That the Municipal Planning Commission approves Development Permit DP 22-008 for Addition of Signage to an Existing Freestanding Sign at 6200 46 Avenue, Lot 2, Block 4, Plan 0512581, with the following four (4) conditions:

1. The sign is developed as per the attached site plan and as is presently located;
2. The development conforms to the district requirements of the Comprehensive Commercial District (CC);
3. The sign must conform to Illumination requirements in section 2.21.2 of the Town of Taber Land Use Bylaw 13-2020;
4. All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development.

Background:

Administration has received an application for changes to an existing freestanding sign. Freestanding signs are a discretionary use in the Comprehensive Commercial The sign would remain in its current location, but would have its sign boxes replaced. The overall sign area will be expanded by up to 60 additional square feet or 5.57 square metres. The changes will see the signage reflect the businesses that are current to the property. The total square footage for the new signage will be 240 feet or 22.30 square metres. The maximum sign area for a freestanding sign is 30 square metres for the first 90 metres of frontage.

Legislation / Authority:

Bylaw 10-2018 - Subdivision and Development Authority and MPC Bylaw, Section 8(b) The Municipal Planning Commission shall be the Development Authority for Development Permit applications for Discretionary Uses.

Strategic Plan Alignment:

Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.

Financial Implication:

The applicant has paid the appropriate application fees which will cover costs of advertising and notifications.

Service Level / Staff Resource Implication:

Administration's time was required for the review and processing of the application.



Justification:

Allowing this development would permit the landowner to update the signage for the property to reflect the current tenants of the development. There should be no impact on the neighbours.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves Development Permit DP 22-008 for Addition of Signage to an Existing Freestanding Sign at 6200 46 Avenue, Lot 2, Block 4, Plan 0512581, with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit DP 22-008 for Addition of Signage to an Existing Freestanding Sign at 6200 46 Avenue, Lot 2, Block 4, Plan 0512581, with reasons.

Attachment(s): Application
 Drawings
 Addition Drawings and Engineering Information

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



SIGN PERMIT APPLICATION

TOWN OF TABER A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME:

MAILING ADDRESS:

TOWN: POSTAL CODE:

EMAIL: PHONE NUMBER:

Land Owner Information (if different from applicant)

OWNER NAME:

MAILING ADDRESS:

TOWN: POSTAL CODE:

EMAIL: PHONE NUMBER:

Property Information (location of sign)

MUNICIPAL ADDRESS:

LOT(S): BLOCK: PLAN:

Type of Sign

TYPE OF SIGN(S) PROPOSED (check all that apply)

Banner Billboard Canopy Fascia Freestanding

Inflatable Portable Projecting Roof

Other

WHAT TYPE OF INFORMATION THAT WILL BE DISPLAYED? (check all that apply)

On-site Business Information On-site Business Advertising 3rd Party Advertising

Other

Sign Construction Details

WHAT WILL THE SIGN BE COMPOSED OF? (check all that apply)

- Metal Wood Plastic
 Other

WILL THE SIGN BE ILLUMINATED?

- Yes
 No

SIGN DIMENSIONS: Area: Length: Depth: Height:

DOES THE SIGN REQUIRE ANY WAIVERS?

Note that all waiver requests must go to the Municipal Planning Commission

- Setback Sign Height Sign Size
 Other

Start Date and Cost

ESTIMATED START DATE: ESTIMATED COST:

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: Julia A Wamboldt DATE: January 31, 2022

REGISTERED OWNER SIGNATURE: _____ DATE: _____

PLANNING OFFICER SIGNATURE: C. H. H. DATE: Feb 2/2022

The personal information on this form is being collected for the purpose of reviewing your application to the municipality of the Town of Taber. The information is collected under the authority of Section 146 of the Municipal Government Act (MGA) and Section 33 of the Freedom of Information and Protection of Privacy Act (FOIPPA). Under Section 33 of the FOIPPA Act, the Town of Taber reserves the right to collect information that relates directly to and is necessary for an operating program or activity of the public body. Names of applicants will be provided to the public. If you have any questions about the collection of this information, please contact the FOIPPA coordinator at 403-223-5500 ext. 5519.

Note: This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction.

Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).

Development Application Submission Requirements

THE FOLLOWING ITEMS MUST BE INCLUDED WITH YOUR APPLICATION (1 copy of each)

- Site Plan Sign Rendering
-

SITE PLAN REQUIREMENTS:

- Lot dimensions
 - Dimensions and locations of all existing and proposed structures (including structures under 10m²)
 - Dimensions and locations of all existing and proposed signs
 - All utility right of ways and easements located within or directly adjacent to the site
 - Distances between all structures, signs, and property lines
 - Site access with dimensions
 - Adjacent roads and lanes
 - North arrow
-

SIGN RENDERING REQUIREMENTS

- Dimensions of sign, and height from finished grade
 - Dimensions of all supporting structures
 - Sign materials, features, and colours to be used
-

BEFORE

PROPOSED



1-7 4-ft x 10-ft double-sided anodized silver sign boxes with acrylic inserts (and vinyl graphics as shown); internally illuminated with white LEDs

APPROVED FOR PRODUCTION

SIGNATURE: DATE:

FIRST TWO (2) MOCK UPS ARE FREE WITH ORDER. ALL CHANGES AFTER ARE \$45.00 EACH. ENTIRELY NEW DESIGNS WILL BE SUBJECT TO PRICE RE-EVALUATION. PLEASE CHECK THIS PROOF CAREFULLY FOR ERRORS AND OMISSIONS YOUR APPROVAL CONSTITUTES ACCEPTANCE OF FULL RESPONSIBILITY FOR ALL ERRORS, OMISSIONS AND LEGAL AND ETHICAL COMPLIANCE IN THIS DOCUMENT DESIGNER WILL NOT ACCEPT LIABILITY FOR ERRORS OVERLOOKED AT THIS STAGE OF PROOFING. ANY CHANGES FROM YOUR PREVIOUSLY APPROVED COPY WILL BE CHARGED EXTRA ACCORDING TO BOTH TIME AND MATERIALS.



■ 3M 3630-33 'Red'



■ 3M 3630-33 'Red' ■ CMYK PRINT



■ Arlon Red 2500-2662 ■ Vivid Green 2500-156
- White Blockout Vinyl
5570-120 - Behind Green



■ 3M 3630-87 "Royal Blue" ■ 3M 3630-136 "Lime Green"



■ 3M ScotchCal 3630-33 'Red' ■ 3M ScotchCal 3630-157 'Sultan Blue'



■ TBD

120" x 48" 12 qty (2 qty ea.) acrylic inserts white vinyl graphic overlays

120" x 48" 4 qty NEW illuminated signbies (double-sided)

APPROVED FOR PRODUCTION

SIGNATURE: DATE:

FIRST TWO (2) MOCK UPS ARE FREE WITH ORDER. ALL CHANGES AFTER ARE \$45.00 EACH. ENTIRELY NEW DESIGNS WILL BE SUBJECT TO PRICE RE-EVALUATION. PLEASE CHECK THIS PROOF CAREFULLY FOR ERRORS AND OMISSIONS YOUR APPROVAL CONSTITUTES ACCEPTANCE OF FULL RESPONSIBILITY FOR ALL ERRORS, OMISSIONS AND LEGAL AND ETHICAL COMPLIANCE IN THIS DOCUMENT. DESIGNER WILL NOT ACCEPT LIABILITY FOR ERRORS OVERLOOKED AT THIS STAGE OF PROOFING. ANY CHANGES FROM YOUR PREVIOUSLY APPROVED COPY WILL BE CHARGED EXTRA ACCORDING TO BOTH TIME AND MATERIALS

November 12, 2021

Redline Investment Properties LP c/o The Strongman Group
 1885 Marine Drive
 North Vancouver, BC V7P 1V5

Attn: Wesley Lamb

Westwinds Shopping Centre – Existing Pylon Sign Assessment

As requested, BCB Engineering Ltd. (BCB) has completed a structural review of the existing pylon sign for the Westwinds Shopping Centre at 6200 46th Avenue in Taber, AB. It is understood that additional sign box area (to be located below the existing sign box area) is desired and so the scope of our review was to determine whether the resulting additional wind load can be safely resisted by the existing structure.

The original pylon sign design drawings are not available, but it is known that the site was developed in 2005 and therefore the 1997 Alberta Building Code (1997 ABC) would have been used for design. Based on this, we took a twofold approach to assessing the capacity of the existing structure.

- a) Complete a desktop review of the wind loading requirements of the 1997 ABC in effect at time of construction and the National Building Code – 2019 Alberta Edition (NBC 2019 – AE) currently in effect to see if we can justify additional sign box area without increasing the load demands on the structure.
- b) Complete a site measure of the existing sign and carry out review calculations as required to confirm that the existing structure above-grade, complete with additional sign box area, meets the structural requirements of the NBC – 2019 AE.

The following table summarizes our findings:

	EXISTING PYLON SIGN	EXISTING PYLON SIGN WITH ADDED SIGNAGE BOX AREA
OVERALL SIGN BOX DIMENSIONS	18'-10" tall x 10'-0" wide	24'-0" tall x 10'-0" wide
HEIGHT FROM T/O BASEPLATE TO U/S OF SIGN BOXES	20'-0"	14'-10"
BUILDING CODE IN EFFECT AT TIME OF CONSTRUCTION/REVIEW	1997 ABC	NBC – 2019 AE
DESIGN WIND PRESSURE (Q)	q(1/30) = 0.69 kPa(14.41 psf) converts to q(1/50) = 0.74 kPa (15.45 psf)	q(1/50) = 0.63 kPa (13.2 psf) (14.9% decrease)
IMPORTANCE FACTOR (I_w)	1.0	1.0
REFERENCE FIGURE FOR WIND LOADING FROM BUILDING CODE	Fig B-17 from NBC 1995 Structural Commentaries	Fig I-12 from NBC 2015 Structural Commentaries
FORCE COEFFICIENT (C_F)	1.15	1.15
EXPOSURE FACTOR (C_e)	1.0	1.04
GUST FACTOR (C_g)	2.0	2.0

CALCULATED FACTORED SHEAR LOAD @ BASE OF SIGN (LOAD ACTING IN NORMAL DIRECTION TO SIGN FACE)	$V_f = 6.61 \text{ kip}$	$V_f = 6.99 \text{ kip}$ (5.7% increase)
CALCULATED FACTORED OVERTURNING MOMENT LOAD @ BASE OF SIGN (LOAD ACTING IN NORMAL DIRECTION TO SIGN FACE)	$M_f = 175.3 \text{ kip-ft}$	$M_f = 174.7 \text{ kip-ft}$ (0.3% decrease)

From our desktop review, we have determined that, since the wind loading requirements stipulated in the Building Code for Taber have been reduced by 14.8% in the time period between the 1997 ABC and the NBC – 2019 AE, it is possible to increase the sign box height by an additional 5'-2" (additional sign box area to be placed below the existing sign box area) without substantially changing the load demands on the structure from the original time of construction.

Based on our site measurements, we have also reviewed the existing baseplate, anchor rods, and HSS columns to confirm that they satisfy structural requirements for the calculated loads tabulated above. A design yield strength = 36 ksi was assumed for the plates and anchor rods and a design yield strength = 50 ksi was assumed for the HSS column. Our calculations confirm that the baseplate and HSS columns are acceptable, but the anchor rods fail in combined shear & tension in the stand-off condition as constructed. It is possible that the anchor rods are actually a higher grade and that this is a non-issue, but this would require additional testing to confirm. This concern can alternatively be addressed by simply providing a non-shrink grout (such as SikaGrout 212) between the piles and baseplates to eliminate the stand-off condition. It should be noted that the existing concrete pile foundation was not evaluated since the pile length below grade and amount of reinforcing provided is unknown but, considering we are not increasing the overall load demands on the foundation and since it appears to have performed well to date, we are of the opinion that the piles can also be considered acceptable.

In conclusion, BCB is confident that the sign box area can be increased to a maximum height of 24'-0" tall after the baseplates are grouted as described above. Please see the attached SK1 drawing for reference.

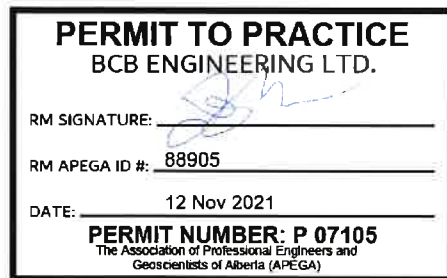
We trust that this review satisfies your requirements for this project. If you have any additional questions or concerns, please contact the undersigned at (403) 320-4888.

Sincerely,

BCB ENGINEERING LTD.



12 Nov 2021
#88905
Justin Reimer, P.Eng.




Kristen Dam, E.I.T.

Attachments: SK1 – Pylon Sign Details

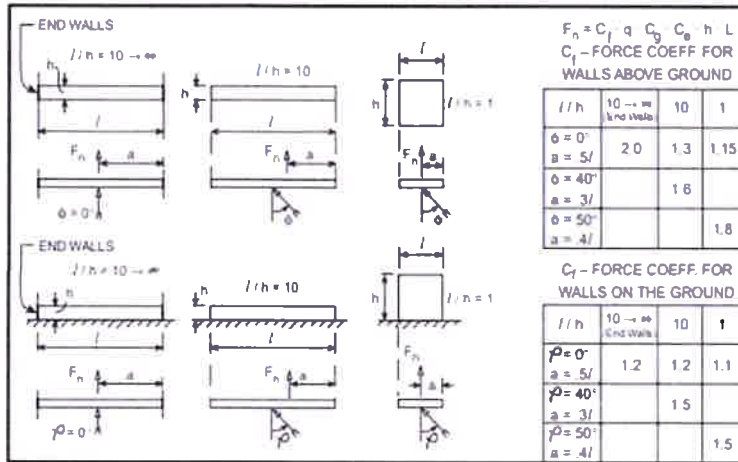


Figure B-17
Free standing plates, walls and billboards

FIG B-17 FROM NBC 1995 STRUCTURAL COMMENTARIES

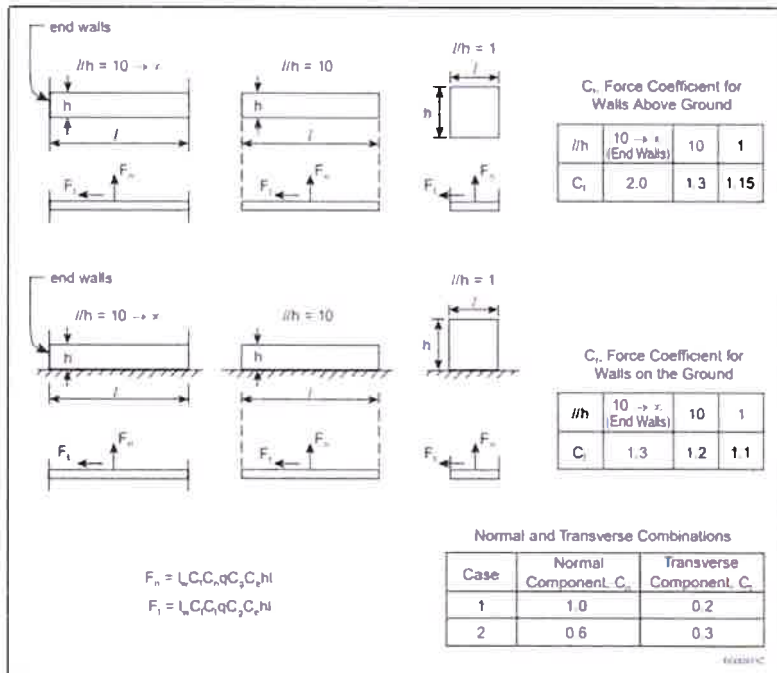


Figure I-12
Free-standing plates, walls and billboards

FIG I-12 FROM NBC 2015 STRUCTURAL COMMENTARIES



PHOTO 1 – OVERALL EXISTING SIGN (LOOKING EAST)



PHOTO 2 – CLOSER VIEW OF BASEPLATE AND EXPOSED PORTION OF PILE



PHOTO 3 – U/S OF BASEPLATE IS SUPPORTED BY NUTS IN A STAND-OFF CONDITION.



PHOTO 4 – BASE PLATE IS 26" X 26" X 1-3/4" THK



PHOTO 5 - BASE PLATE IS 26" X 26" X 1-3/4" THK



PHOTO 6 - HSS12X12 COLUMNS MEASURED TO BE 9.86MM (3/8" THK) USING REED INSTRUMENTS ULTRASONIC THICKNESS GAUGE

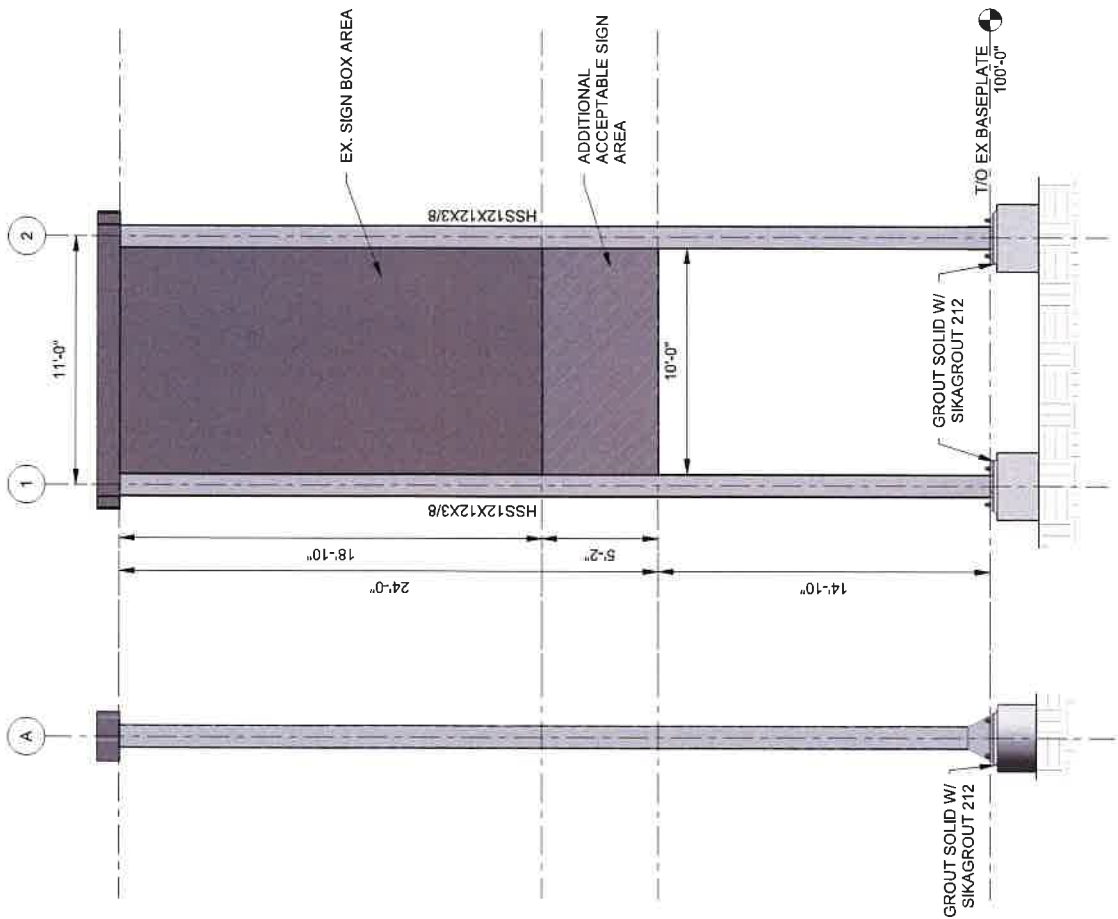
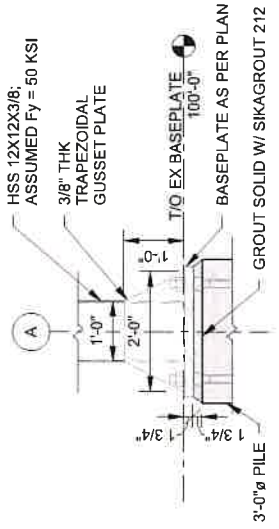
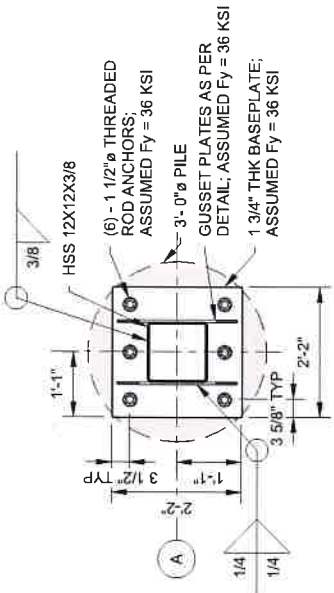
ISSUES/REVISIONS			
NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR INFORMATION	NOV 12 2021	NO

WESTWINDS SHOPPING CENTRE EXISTING PYLON SIGN ASSESSMENT
 6200 46TH AVE
 TABER, AB

PERMIT TO PRACTICE
 BCB ENGINEERING LTD.
 RM SIGNATURE: _____
 RM AREGA ID #: 88905
 DATE: 12 Nov 2021
 PERMIT NUMBER: P 07105
The Association of Professional Engineers and Geoscientists of Alberta Inc.



TITLE		PYLON SIGN DETAILS	
PROJECT NO.	L219103	CHECKED	JR
DRAWN		KD	
SHEET NO.		SK1	
Rev:0			



SKETCH TO BE READ IN CONJUNCTION WITH ASSESSMENT REPORT DATED: 12-NOV-2021

Development Authority Request for Decision

Meeting Date: February 22, 2022

Subject:

DP 22-009 - 25 Prairie Sunset Avenue - Driveway and Deck Variances

Recommendation:

That the Municipal Planning Commission approves Development Permit DP 22-009 for Driveway and Deck Variances at 25 Prairie Sunset Avenue, Lot 11, Block 5, Plan 1611498, with the following nine (9) conditions:

1. The site is developed as per the site plan submitted;
2. The development covered in this application conforms to the district requirements of the Residential Single Dwelling District (R-1);
3. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
4. A driveway width variance of 0.60 metres was approved for this parcel by the Municipal Planning Commission on February 22nd, 2022. The driveway width for this parcel has been varied to 8.23 metres;
5. A deck height variance of 0.40 metres was approved for this parcel by the Municipal Planning Commission on February 22nd, 2022. The deck height for this parcel has been varied to 1.9 metres;
6. The contractor commissioned for construction must have a valid Business License for the Town of Taber;
7. A lot drainage (grade) plan illustrating water will not accumulate at or near the buildings (positive drainage), nor accumulate on the lot, and will not adversely affect adjacent properties shall be produced by a qualified professional and supplied to the Town of Taber prior to the Building Permit being issued. In addition, the foundation must be staked by a qualified professional;
8. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2021);
9. All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development.

Background:

Administration has received an application for a driveway width variance and a deck height variance. The house was approved as a permitted use with a condition requiring a separate permit for the driveway and deck. The proposed driveway width is 8.23 metres, which, brings the driveway in at 48% of the lot frontage. There are several other driveways similar in width along this avenue.

The Proposed Deck Height is 1.9 metres, which will require a variance of 0.40 metres. The proposed deck height is in line with other developments in the area. This proposed deck will overlook a park to the rear of the property. This property does slope, so that the rear is lower than the front by a metre or more.

Legislation / Authority:

Subdivision Authority, Development Authority, and Municipal Planning Commission Bylaw 10-2018 Section 1(8)(c) The Municipal Planning Commission shall be the Development Authority for development permits applications for permitted uses which require a variance in excess of Ten Percent (10%) of a measurable standard established in the Land Use Bylaw or any other variance for which the Municipal Planning Commission is specifically authorized to provide in the Land Use Bylaw.

Strategic Plan Alignment:

Develop Community and Promote Growth #2: Review Town policies and regulations that pertain to development.

Financial Implication:

The applicant has paid the appropriate application fees which will cover costs of advertising and notifications.

Service Level / Staff Resource Implication:

Administration's time was required for the review and processing of the application.

Justification:

Through approval of this application the property owner would be able to develop in a similar way to the neighboring property with minimal impacts to the neighbours.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves Development Permit DP 22-009 for Driveway and Deck Variances at 25 Prairie Sunset Avenue, Lot 11, Block 5, Plan 1611498, with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit DP 22-009 for Driveway and Deck Variances at 25 Prairie Sunset Avenue, Lot 11, Block 5, Plan 1611498, with reasons.



Attachment(s): Application
Site Plan and Drawings
Check List

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



RESIDENTIAL DWELLING DEVELOPMENT PERMIT APPLICATION

TOWN OF TABER: A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME:
MAILING ADDRESS:
TOWN: POSTAL CODE:
EMAIL: PHONE NUMBER:

Owner Information (if different from applicant)

OWNER NAME:
MAILING ADDRESS:
TOWN: POSTAL CODE:
EMAIL: PHONE NUMBER:

Property Information (property to be developed)

MUNICIPAL ADDRESS:
LOT(S): BLOCK: PLAN:

Description of Project

DESCRIBE YOUR PROJECT

Construct a new single built family home *Variances for Driveway and deck*

Type of Development

TYPE OF DEVELOPMENT PROPOSED (check all that apply)

- Single Family Dwelling
- Row House Dwelling
- Moved-in Dwelling
- Other
- Semi-detached Dwelling
- Multi-unit Residential
- Addition
- Duplex Dwelling
- Mixed-use Development
- Renovation

DOES THE DEVELOPMENT REQUIRE ANY WAIVERS?

Note that all waiver requests must go to the Municipal Planning Commission.

- Setback
- Deck Height (1.5m max)
- Parking (Min. 2 / dwelling unit)
- Other

Start Date and Cost

ESTIMATED START DATE: February 15, 2022 ESTIMATED COST: 300,000

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: [Signature]

DATE: Jan 20, 2022

REGISTERED OWNER SIGNATURE: [Signature]

DATE: Jan 20, 2022

PLANNING OFFICER SIGNATURE: [Signature]

DATE: Jan 20, 2022

The personal information on this form is being collected for the purpose of reviewing your application to the municipality of the Town of Taber. The information is collected under the authority of Section 146 of the Municipal Government Act (MGA) and Section 33 of the Freedom of Information and Protection of Privacy Act (FOIPPA). Under Section 33 of the FOIPPA Act, the Town of Taber reserves the right to collect information that relates directly to and is necessary for an operating program or activity of the public body. Names of applicants will be provided to the public. If you have any questions about the collection of this information, please contact the FOIPPA coordinator at 403-223-5500 ext. 5519.

Note: This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction.

Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).

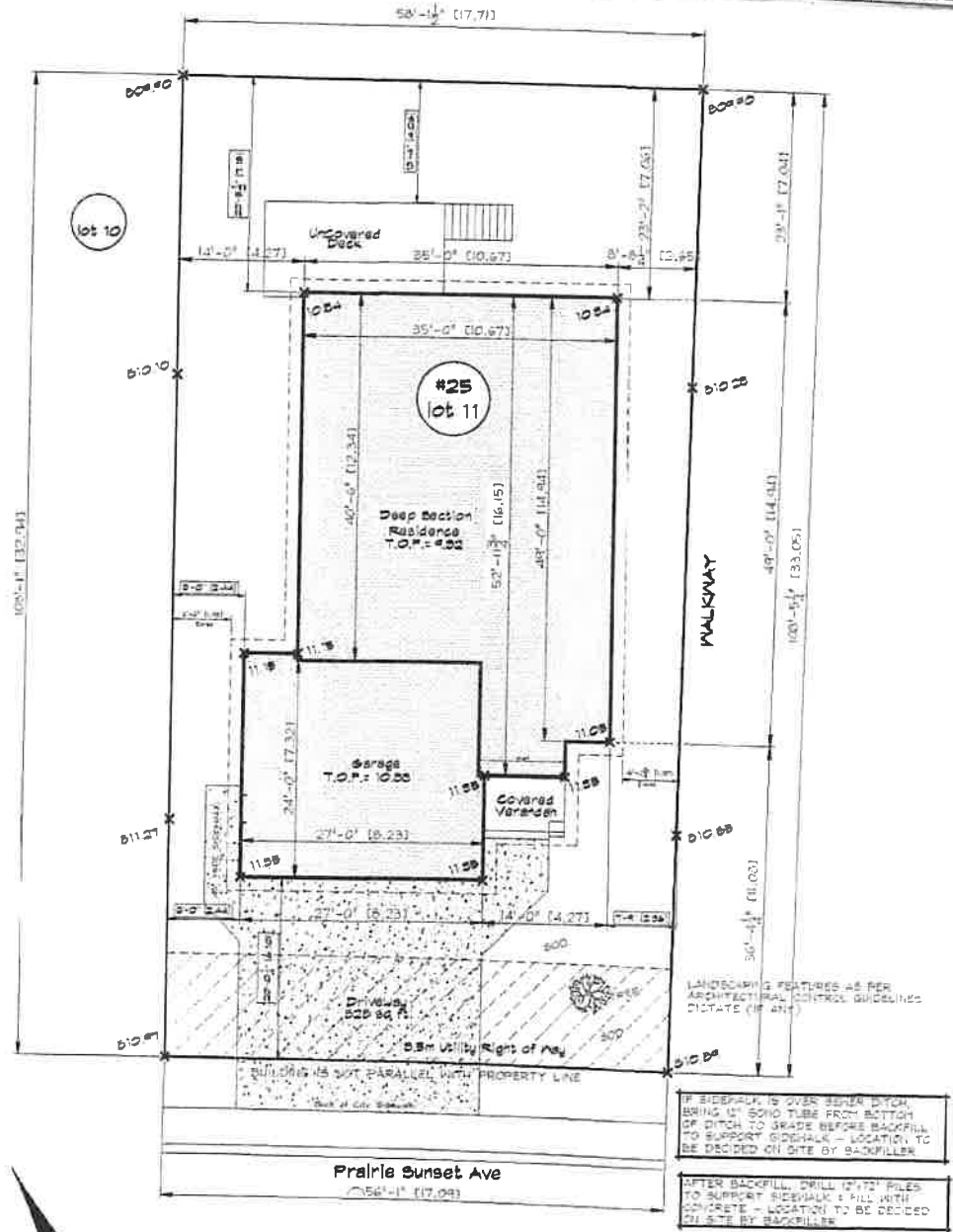
At the completion of the development, you will be required to submit an updated Real Property Report to the Town of Taber to verify that the project has been constructed in the correct location.

APPROVED
VERTICAL GRADES

DATE: 5-13-72
SIGNATURE: [Signature]

The builder/owner is responsible for the approved vertical grades shown on this plan.
SOUTH ALTA TRADING CO. LTD.

Municipal Reserve



LANDSCAPING FEATURES AS PER ARCHITECTURAL CONTROL GUIDELINES DICTATE (IF ANY)

IF SIDEWALK TO CROSS SEWER DITCH, BRING IN SAND TUBE FROM BOTTOM OF DITCH TO GRADE BEFORE BACKFILL TO SUPPORT SIDEWALK - LOCATION TO BE DECIDED ON SITE BY BACKFILLER

AFTER BACKFILL, DRILL 12" DIA. PILES TO SUPPORT SIDEWALK & FILL WITH CONCRETE - LOCATION TO BE DECIDED ON SITE BY BACKFILLER

Site Description	Area (sq ft)	Percent
LOT TOTAL CLASSIFICATION		
LOT AREA	523.700	
FRONT YARD BUILDING	350	
GARAGE (DETACHED OR ATT.)	270	
FRONT VERANDA	32	
REAR DECK (TOTAL DECK AREA)	300	
TOTAL AREA	1000	100%

Elevation Description	Elevation
FINISHED FLOOR GRADE	400
TOP OF WALL FLOOR	400
TOP OF HOUSE FOUNDATION	400
TOP OF HOUSE FINISH FLOOR	400
TOP OF GARAGE FOUNDATION	400
TOP OF GARAGE FINISH FLOOR	400
FINISHED GRADE OVERLY	400
FINISHED TOP OF ROOFING	N/A
FINISH BOTTOM OF FOOTING	N/A

TS Drafting & Design Ltd. Office: 405-942-1914 Cell: 405-360-1532 email: tsdrafting@shaw.ca web: tsdrafting.ca

Prairie Lake Estates Ph 3
Lot 11, Block 5
Plan # 161 1498

NOTE PLOT PLAN IS PRINTED IN 1:100 METRIC SCALE
#25 Prairie Sunset Ave. - Taber, Ab.

MAN = 200.00
LTF = N/A
O.G. = N/A



1. Any grades that do not comply with approved proposed grades set by Architect, Architectural Contractor, Design Review Committee OR Local Authority may result in the use and/or construction of retaining walls. This will be the responsibility of the home builder/owner.

2. If neighboring grades of existing structures, buildings and/or construction projects prevent the proposed grades for the above property to be possible, the home builder/owner of the above mentioned property is responsible for modifying the nature of neighboring properties in attempt for resolution.

3. Any estimated grades are based on (stick) grades supplied by land developer or surveyor. (SAL) grades may be modified to accommodate neighboring or existing grades.

4. Any concrete floor (basement or garage) to be on minimum of 6" compacted gravel fill on undisturbed soil. Some soil test kits have inappropriate engineered fill and may require more gravel.

5. Grades around residence (garage) are set as "finish" grades - and are based on engineered surveyed grades supplied by land developer and/or surveyor.

6. If soil is disturbed at bottom of footing level, excavator may be required to continue excavation until soil is undisturbed and proper soil bearing is achieved.

7. T.O.F. = Top of Footing

APPROVED

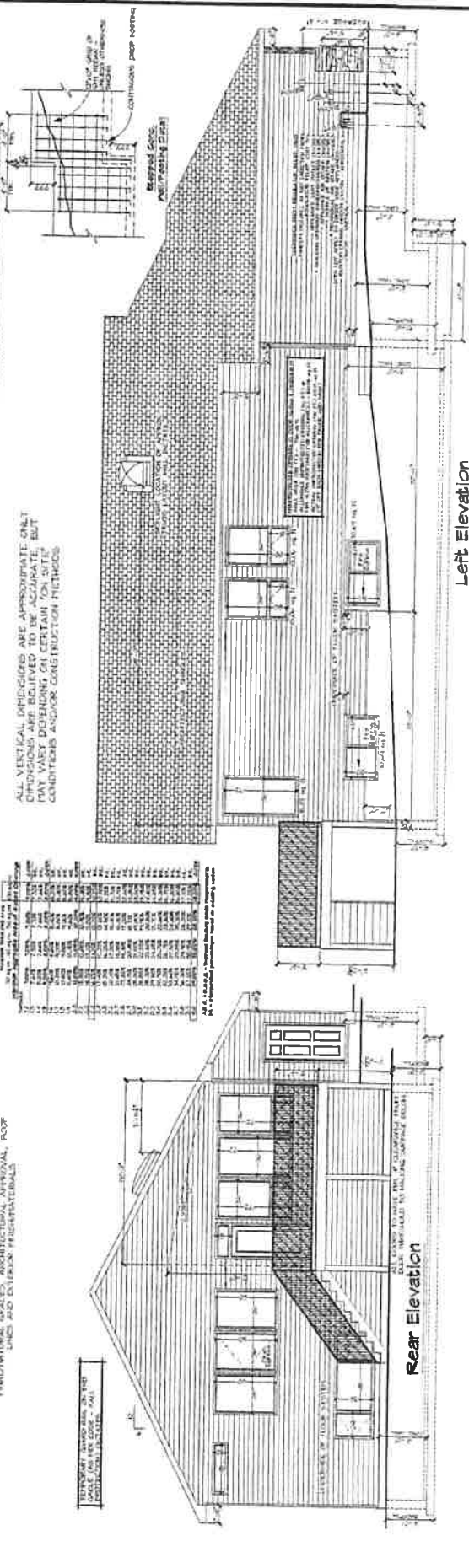
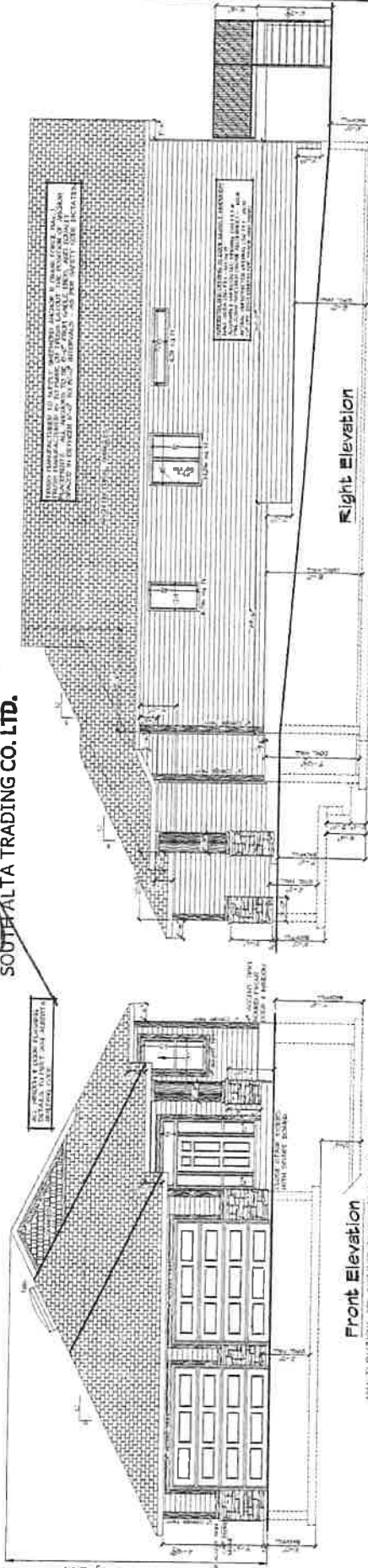
HOUSE PLAN AND FINISHES

2024/21/22

Date

Signature

SOUTH ALTA TRADING CO. LTD.

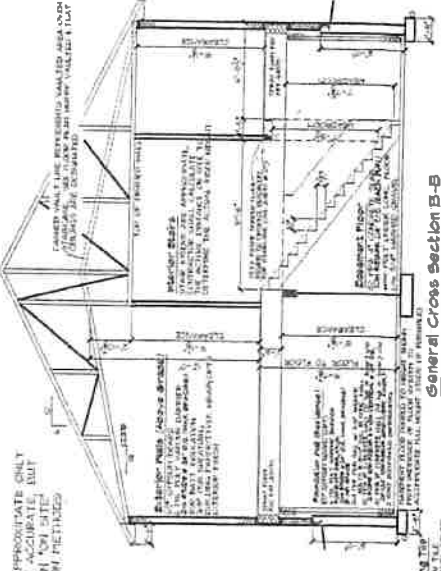


NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	FOUNDATION	1	SQ. FT.	100	100
2	FLOORING	1	SQ. FT.	200	200
3	CEILING	1	SQ. FT.	150	150
4	WALLS	1	SQ. FT.	300	300
5	ROOFING	1	SQ. FT.	120	120
6	PAINT	1	SQ. FT.	80	80
7	GLASS	1	SQ. FT.	100	100
8	DOORS	1	EA.	150	150
9	WINDOWS	1	EA.	100	100
10	STAIRS	1	EA.	200	200
11	BATH	1	EA.	150	150
12	KITCHEN	1	EA.	200	200
13	LIVING	1	EA.	150	150
14	BEDROOM	1	EA.	100	100
15	BEDROOM	1	EA.	100	100
16	BEDROOM	1	EA.	100	100
17	BEDROOM	1	EA.	100	100
18	BEDROOM	1	EA.	100	100
19	BEDROOM	1	EA.	100	100
20	BEDROOM	1	EA.	100	100
21	BEDROOM	1	EA.	100	100
22	BEDROOM	1	EA.	100	100
23	BEDROOM	1	EA.	100	100
24	BEDROOM	1	EA.	100	100
25	BEDROOM	1	EA.	100	100
26	BEDROOM	1	EA.	100	100
27	BEDROOM	1	EA.	100	100
28	BEDROOM	1	EA.	100	100
29	BEDROOM	1	EA.	100	100
30	BEDROOM	1	EA.	100	100

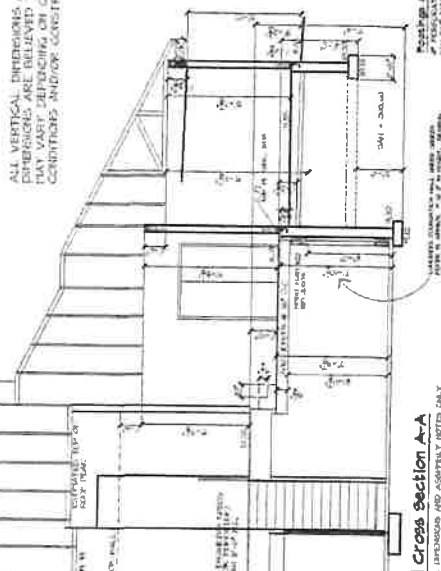
CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE AND ALL APPLICABLE REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

Scale: 1/8" = 1'-0" / Date: Jun 15th, 2022

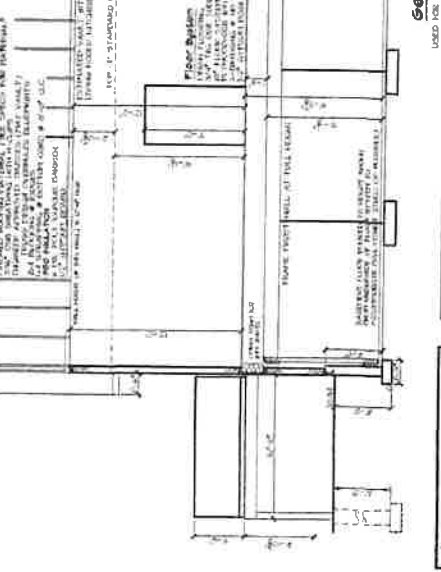
Plans/Blueprints to be verified by home owner/purchaser and/or project/construction manager before construction begins. All trades, workmanship to conform to national, provincial and municipal building codes, practices and city bylaws.



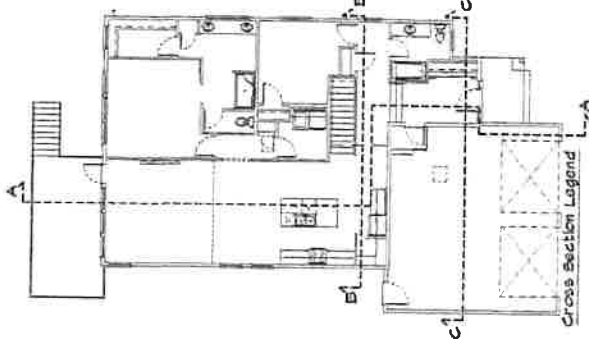
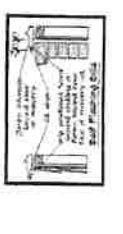
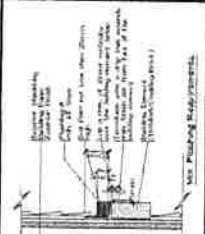
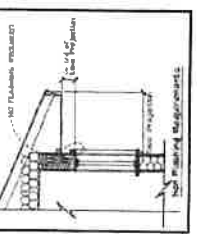
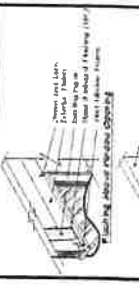
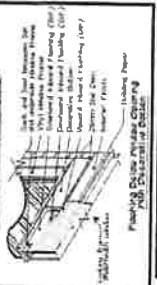
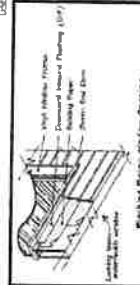
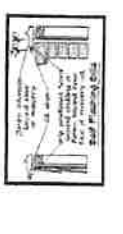
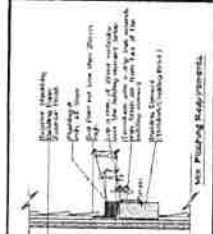
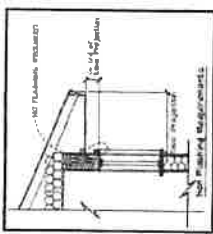
General Cross Section B-B
 USED FOR VERTICAL DIMENSIONS AND ASSEMBLY NOTES ONLY



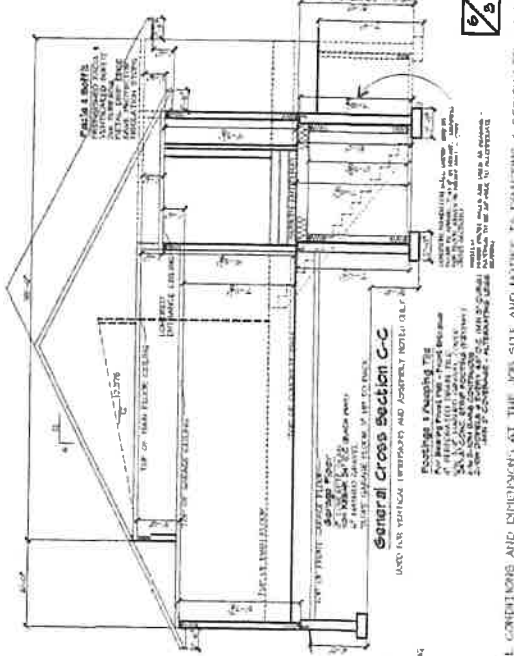
General Cross Section A-A
 USED FOR VERTICAL DIMENSIONS AND ASSEMBLY NOTES ONLY



Floor System
 2x10 FLOOR JOISTS
 1/2\"/>



Cross Section Legend



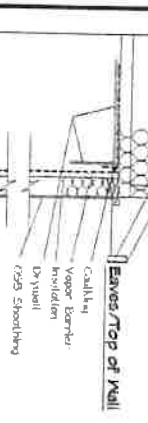
General Cross Section C-C
 USED FOR VERTICAL DIMENSIONS AND ASSEMBLY NOTES ONLY

ALL VERTICAL DIMENSIONS ARE APPROXIMATE ONLY DIMENSIONS ARE BELIEVED TO BE ACCURATE, BUT THEY VARY SUFFICIENTLY ON CERTAIN JOBS THAT CONDITIONS AND/OR CONSTRUCTION METHODS.

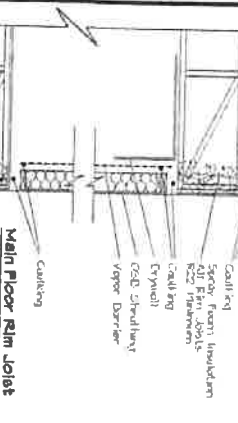
CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ENGINEERING & DESIGN LTD. OF ANY DISCREPANCIES, GRADE ERRORS, OBSTRUCTIONS OR ENCUMBRANCES BEFORE PROCEEDING WITH CONSTRUCTION. ALL TRADES & WORKSHOPS TO CONFORM TO NATIONAL, PROVINCIAL AND MUNICIPAL BUILDING CODES, PRACTICES AND CITY BY-LAWS.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ENGINEERING & DESIGN LTD. OF ANY DISCREPANCIES, GRADE ERRORS, OBSTRUCTIONS OR ENCUMBRANCES BEFORE PROCEEDING WITH CONSTRUCTION. ALL TRADES & WORKSHOPS TO CONFORM TO NATIONAL, PROVINCIAL AND MUNICIPAL BUILDING CODES, PRACTICES AND CITY BY-LAWS.

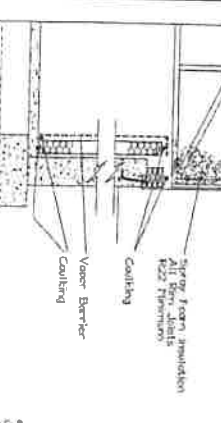
AIR CAULKING ON POLY TO HOLD INHER COMPRESSION (i.e. BETWEEN TIGHT & FINISHING) FOR AIR TIGHT SEAL.



Eaves/Top of Wall

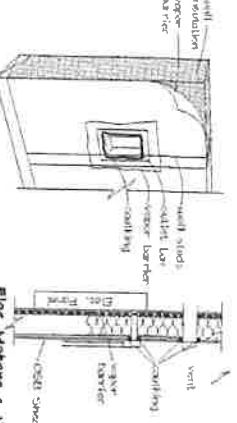


Upper Floor Rim Joist



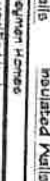
Main Floor Rim Joist

Typical Nail & Rim Joints
 NOTE TO USER: VAPOR BARRIERS & OTHER ASSEMBLIES ARE SHOWN WITH SPACES IN BETWEEN TO ILLUSTRATE THE FUNCTION OF LAYERS & LOCATIONS



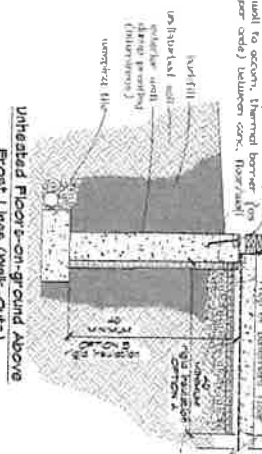
Typical Outlet Box - Ext. Walls

Typical Eave & Vents in Insulated Wall Detail

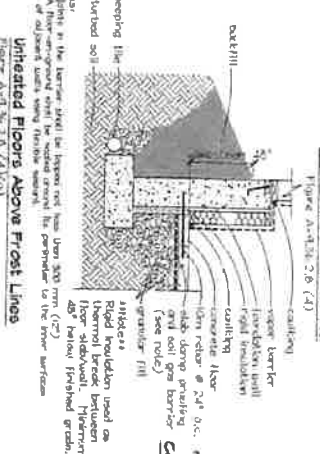


Eave & Vents in Insulated Wall Detail

Unheated Floor - on ground Above Frost Lines (Walk-Outs)
 Figure A-1.2.1.1.1 (A) (1)

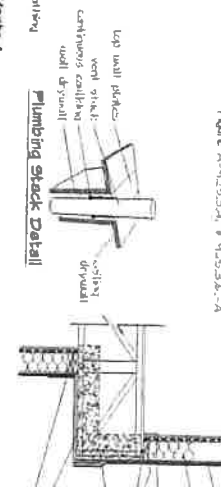


Unheated Floor - on ground Above Frost Lines (Walk-Outs)



Unheated Floors Above Frost Lines

Damp proofing & soil gas control at foundation wall/floor junctions with solid walls - Below Frost
 Figure A-1.2.3.3.1 & A-1.2.3.3.2



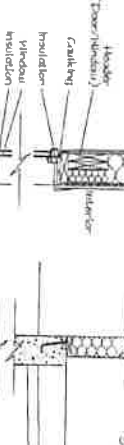
Damp proofing & soil gas control at foundation wall/floor junctions with solid walls - Below Frost

Walk-Out Detail
 R-19 Insulation R 0.99



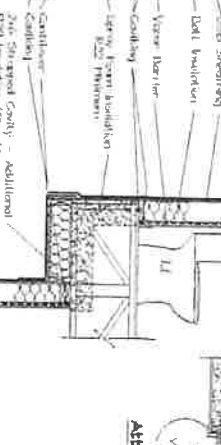
Walk-Out Detail

Intersecting Partition Walls - Plan View



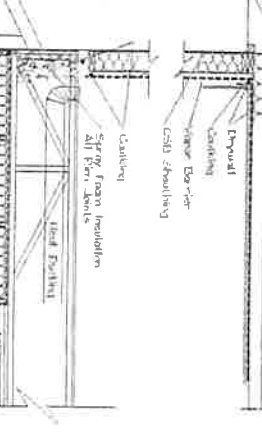
Intersecting Partition Walls - Plan View

Window Opening/Header Detail
 Elevation Section View



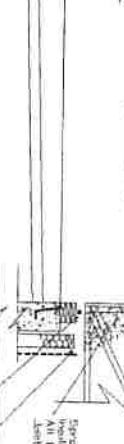
Window Opening/Header Detail

Typical Bonus Room Floor & Garage Detail



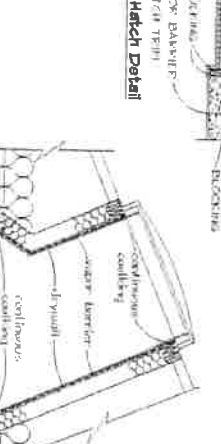
Typical Bonus Room Floor & Garage Detail

Attic Hatch Detail

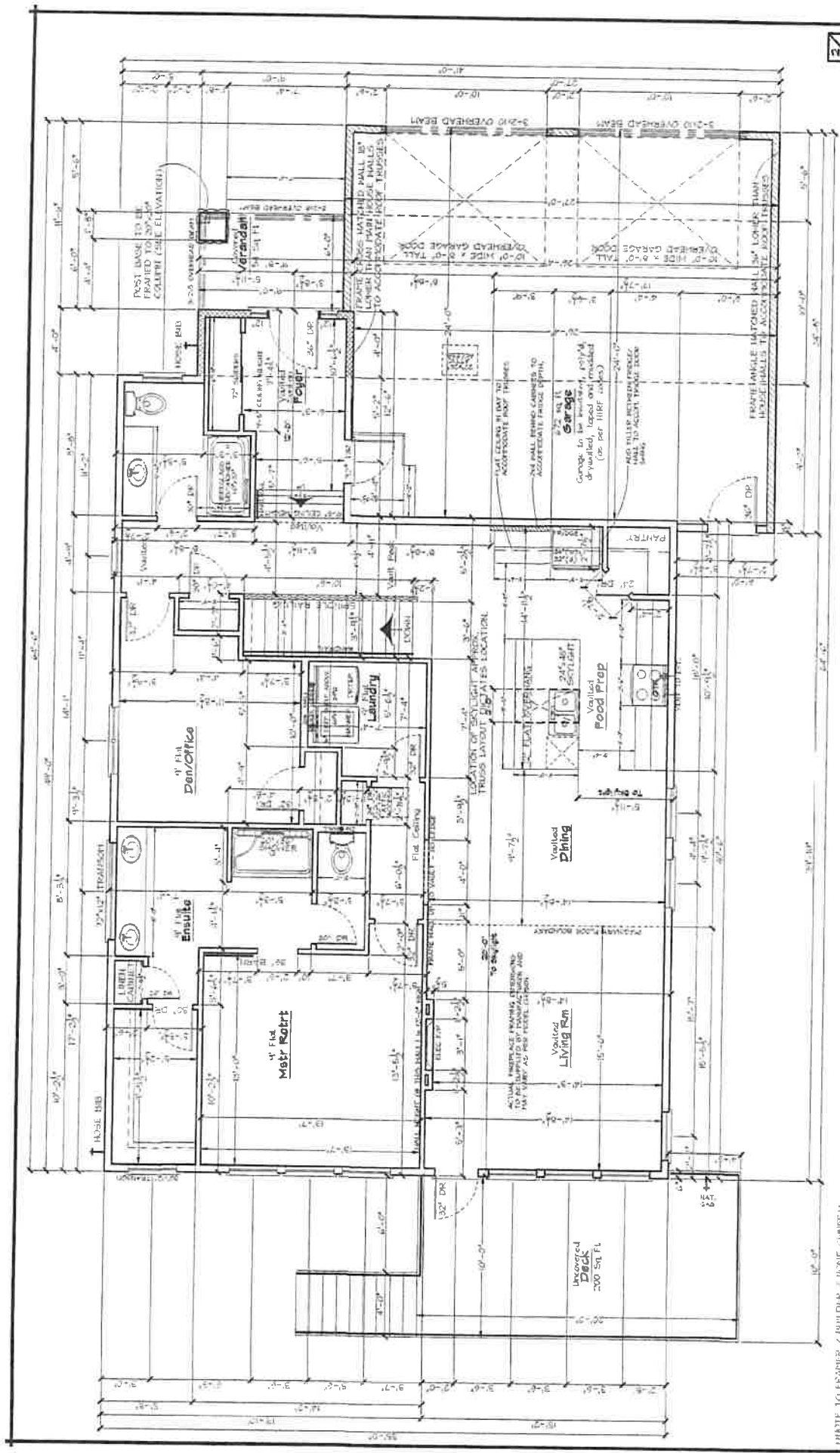


Attic Hatch Detail

Skylight Detail



Skylight Detail



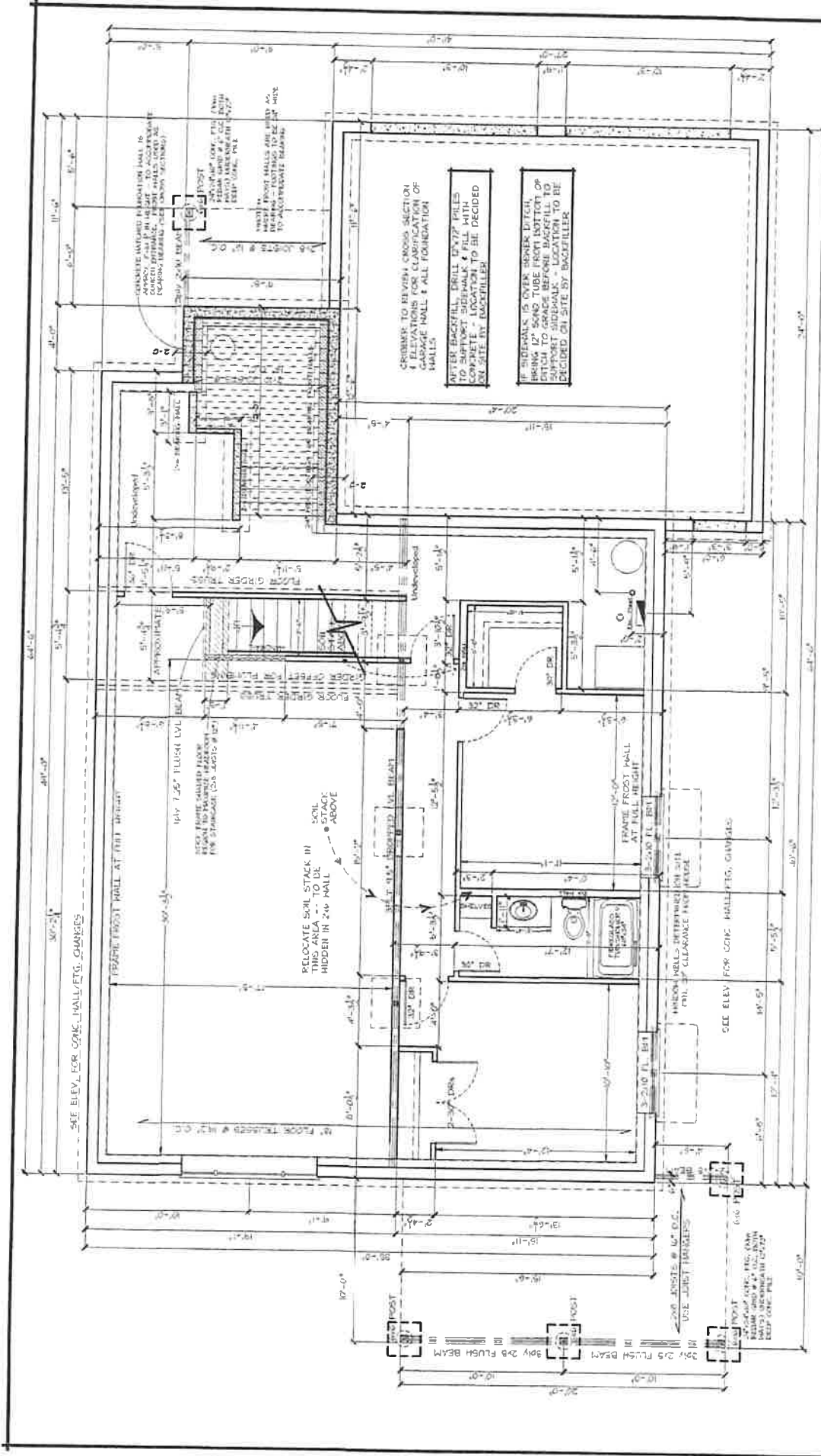
2/3

PHASE TO FRAMER / BUILDER / HOME OWNER:
 - ANY EXTERIOR DOOR OR WINDOW EQUAL TO OR LESS THAN 36" HIDE TO HAVE MINIMUM 3-2x10 HEADER ABOVE
 - ANY EXTERIOR DOOR OR WINDOW GREATER THAN 36" HIDE TO HAVE MINIMUM 3-2x8 HEADER ABOVE
 - ALL EXTERIOR DOORS AND WINDOWS TO BE VERIFIED BY THE CONTRACTOR TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 - ALL EXTERIOR DOORS AND WINDOWS TO BE VERIFIED BY THE CONTRACTOR TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 - ALL EXTERIOR DOORS AND WINDOWS TO BE VERIFIED BY THE CONTRACTOR TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

CONTRACTOR: SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY TO DRAFTING & DESIGN LTD. OF ANY DIMENSIONAL ERRORS, GRADE INADEQUACIES, OBSTRUCTIONS, OR OTHER CONDITIONS THAT MAY AFFECT THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE CONSTRUCTION BEGINS. ALL DIMENSIONS TO BE VERIFIED BY THE CONTRACTOR TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

Address: 425 Prairie Street Ave. - Tabor, IA
 Phone: 515-281-1800
 Fax: 515-281-1800
 Email: info@ddesign.com
 Website: www.ddesign.com

Client Name: _____
 Project Name: _____
 Date: _____



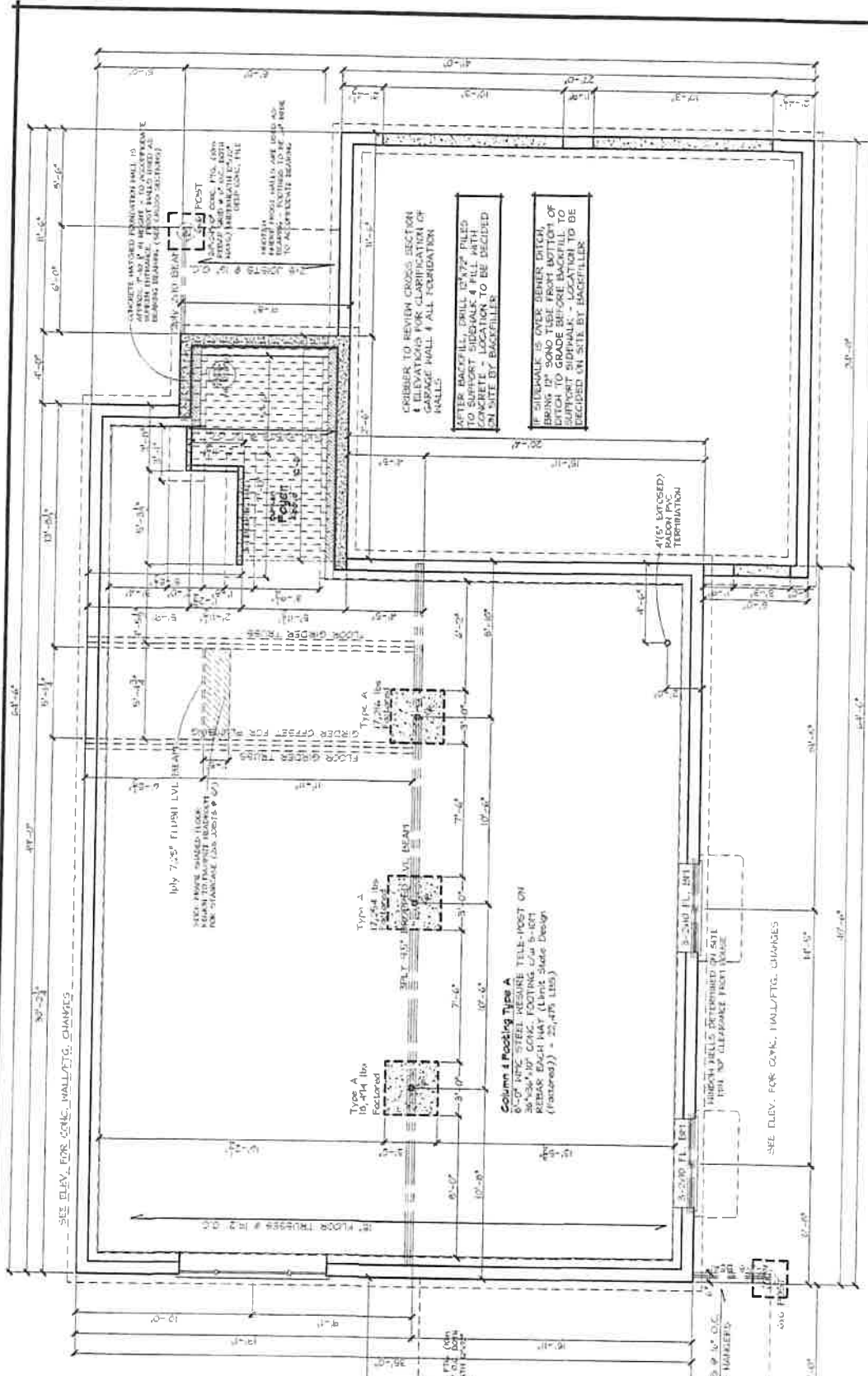
5/8

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND ADVISE ITS DRAFTING & DESIGN LTD. OF ANY DISCREPANCIES, OMISSIONS OR DISCREPANCIES IMMEDIATELY BY TELEPHONE OR BY REGISTERED MAIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

LOWER FLOOR PLAN
 133 Prairie Street Ave. - Tabor, Ab. Page Title: Lower Floor Plan
 133 Prairie Street Ave. - Tabor, Ab. Page Title: Lower Floor Plan
 133 Prairie Street Ave. - Tabor, Ab. Page Title: Lower Floor Plan
 133 Prairie Street Ave. - Tabor, Ab. Page Title: Lower Floor Plan

PLEASE PRINT: Name of Purchaser and/or Project/Construction Manager before construction begins. All trades & workmanship to conform to national, provincial and municipal building codes, practices and city bylaws.

LOGIC	FRUIT	DATE	TIME
SRKs	HAASRT	DRWA	VRG
1-17A	0'-0"	6,207	8m
1-17B	0'-0"	22,478	8m
1-17C	0'-0"	34,033	8m
1-17D	0'-0"	5,029	8m
ALUMINUM ONE (HORIZONTAL) GLAZING			
360 SIZES (1,000 BOUT 850004)			
1-17E	0'-0"	1,000	8m
1-17F	0'-0"	1,000	8m
1-17G	0'-0"	1,000	8m
1-17H	0'-0"	1,000	8m
1-17I	0'-0"	1,000	8m
1-17J	0'-0"	1,000	8m
1-17K	0'-0"	1,000	8m
1-17L	0'-0"	1,000	8m
1-17M	0'-0"	1,000	8m
1-17N	0'-0"	1,000	8m
1-17O	0'-0"	1,000	8m
1-17P	0'-0"	1,000	8m
1-17Q	0'-0"	1,000	8m
1-17R	0'-0"	1,000	8m
1-17S	0'-0"	1,000	8m
1-17T	0'-0"	1,000	8m
1-17U	0'-0"	1,000	8m
1-17V	0'-0"	1,000	8m
1-17W	0'-0"	1,000	8m
1-17X	0'-0"	1,000	8m
1-17Y	0'-0"	1,000	8m
1-17Z	0'-0"	1,000	8m



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DEVIATIONS AT THE JOB SITE AND NOTIFY THE DESIGNER & DESIGN LTD. OF ANY DISCREPANCIES, OMISSIONS, OR DISCREPANCIES. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DEVIATIONS AT THE JOB SITE AND NOTIFY THE DESIGNER & DESIGN LTD. OF ANY DISCREPANCIES, OMISSIONS, OR DISCREPANCIES. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DEVIATIONS AT THE JOB SITE AND NOTIFY THE DESIGNER & DESIGN LTD. OF ANY DISCREPANCIES, OMISSIONS, OR DISCREPANCIES.

TS Drafting & Design Ltd. Office: 408-442-1974 Cell: 408-560-7822 Email: tsdrafting@tsdesign.ca Website: www.tsdesign.ca

Project: 218-11-0 / (Undeveloped) n/a Section: 218-11-0 / (Undeveloped) n/a Date: Jan 12th, 2022

Plans/Blueprints to be verified by home owner/purchaser and/or project/construction manager before construction begins. All trades & workmanship to conform to national, provincial and municipal building codes, practices and city by-laws.

Project Name:		25 Prairie Sunset Avenue	
Date Submitted:	District R-1	Proposed Use SFD Permitted?	
Permit Number: 22-006	Address 25 Prairie Sunset Avenue	Permitted?	Permitted
Roll Number: 5843110	Lot, Block, Plan Lot 11, Block 5, Plan 1611498	Meeting and Notification Requirements	
Council MPC	Date	Required?	Dates
N/A	N/A	N/A	N/A
Required?	Date	Required?	Dates
N/A	N/A	N/A	N/A
Payments	Amount	Paid?	Date
DP Application Fee	200	Yes	
Damage Deposit in	n/a	No	
Const. Water Fee	n/a	No	
Total	200	No	
Deposit Returned?		No	

DP Submission	Required?	Completed	Notes
Application Filled?	Yes	Yes	
Site Plan	Yes	Yes	
Drainage Plan	Yes	Yes	
Payment	Yes	No	
All materials submitted?	Yes	No	
DP Review	Required?	Completed	Notes
LUB Review	Yes	Yes	
Waiver or Variance	No	No	
Internal Circulation	Yes	Yes	
Council or MPC	NA	N/A	
Mail Outs	N/A	N/A	
Approval/Refusal	Yes	N/A	
Following Approval	Required?	Sent/Taken	Returned
Damage Deposit	N/A	N/A	No
Send to Superior (if BP)	Yes	No	No
Pre-Inspection Reports	Yes	No	No
Post-Inspection Reports	Yes	No	No

Driveway Calculations	
Frontage for Lot	17.09
Driveway Width	8.23
Percentage of Lot	0.481568169
Allowable Waiver	1.709
	8.545

Lot Coverage Calculation	
Lot Size	573.56
Principle Building	146.88
Attached Garage	62.43
Poach	5.02
Decks	18.58
Detached Garage	
Accessory Structures	
Accessory Structures	
Accessory Structures	
Total Structures	232.91
	0
	0.40607783

Land Use Bylaw Checklist (units in metres)			
Principal Building Setbacks	Required	Proposed	Acceptable
Front Setback	6	6.1	Yes
Rear Setback	7	7.15	Yes
Side Setback 1	1.2	1.9	Yes
Side Setback 2	1.2	2.44	Yes
Accessory Setbacks	Required	Proposed	Acceptable
Front Setback	6		Yes
Rear Setback	0.6		Yes
Side Setback	0.6		Yes
Side Setback Adjacent Street	1.2		Yes
Principal Building	1.0		Yes
Coverages			
Max Building Coverage	45	40.6%	Yes
Principal Building		37.4%	No
Accessory Buildings		0.0%	Yes
Decks		3.2%	No
Driveway Coverage	40%	48.2%	
Landscaping	Required	Proposed	Acceptable
Amount required			Yes
Parcel Size	Required	Proposed	Acceptable
Min. Parcel Area	450	573.56	Yes
Min. Parcel Width	14	17.09	Yes
Heights	Required	Proposed	Acceptable
Max Building Height	10.5	6.61	Yes
Max Deck Height	1.5	1.9	No
Max Accessory Height			Yes
Parking	Required	Proposed	Acceptable
Stalls	2	2	Yes
Handicap			Yes
Other	Required	Proposed	Acceptable
Corner Site Triangle			Yes
Parking Calculation	1 Stall per	Stalls	
Uae(s)	Xm2	Area	required
Automobile Supply			#DIV/0!
Automotive Sales			#DIV/0!
Note: Total always rounds up	Total	Total	#DIV/0!

Development Authority Request for Decision

Meeting Date: February 22, 2022

Subject:

DP 22-010 5404 46 Street - Secondary Garage

Recommendation:

That the Municipal Planning Commission approves Development Permit DP 22-010 for a Secondary Garage with Variance at 5404 46 Street, Lot 8, Block 4, Plan 7710300, with the following thirteen (13) conditions:

1. The site is developed as per the attached site plan;
2. A height variance of 1.1 metres was approved for this parcel by the Municipal Planning Commission on February 22, 2022. The height for the garage has been varied to 6.1 metres;
3. A 12.4 square metre variance on the maximum allowable size for the garage was approved for garage by the Municipal Planning Commission on February 22, 2022. The maximum size for the garage has been varied to 112.4 square metres;
4. A separate demolition permit will be required for the removal of the existing garage;
5. The applicant will ensure that the foundation will be staked by a qualified professional;
6. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
7. The development conforms to the requirements of the Residential Single Dwelling District (R-1);
8. The exterior finish of the detached garage shall be professionally manufactured and complimentary to the finishing of the neighboring properties and subject dwelling;
9. Applicant to ensure water will not accumulate at or near the buildings (positive drainage) on site, nor accumulate on the lot, and will not adversely affect adjacent properties;
10. If the proposed garage is going to be used for a business, a Home Occupation License shall be required;
11. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 13-2020);
12. All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development;
13. In accordance with policy PLN-4, a \$2,500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets,

sidewalks, or services as a result of construction of this building shall be restored to Town standards at the applicant's expense prior to issuance of an occupancy permit.

Background:

Administration has received an application for a secondary garage at 5404 46 Street. The property currently has a single attached garage and a single detached garage. The applicant would be removing the single detached garage from the property to facilitate the development of the larger detached 3 car garage.

This is a large lot and with the removal of the single car detached garage and addition of the 3-car garage it will still be under the maximum building coverage of 45%. The proposed garage will also meet all the required setbacks, but will need a variance for the height. The proposed height of the new garage is 6.1 metres and the allowable height is 5 metres.

The proposed garage is also slightly over 100 square metres at 112.4 square metres and will require a variance for the allowable size. The principal building is approximately 145 square metres with the covered deck and 115.2 square metres without. The homes in this area are mostly bi-level. A few of these homes have added very large garages and then later attached them to their homes over the last decade.

Legislation / Authority:

Subdivision Authority, Development Authority, and Municipal Planning Commission Bylaw 10-2018 Section 1(8)(c) The Municipal Planning Commission shall be the Development Authority for development permits applications for permitted uses which require a variance in excess of ten Percent (10%) of a measurable standard established in the Land Use Bylaw or any other variance for which the Municipal Planning Commission is specifically authorized to provide in the Land Use Bylaw.

Strategic Plan Alignment:

Develop Community and Promote Growth #2: Review Town policies and regulations that pertain to development.

Financial Implication:

The applicant has paid the appropriate application fees which will cover costs of advertising and notifications.

Service Level / Staff Resource Implication:

Administration's time was required for the review and processing of the application.

Justification:

Approving the variance will allow the property owner to park and work on their personal vehicles on their property in a controlled environment. As this is a detached garage to the rear of the property there should be no negative effect on the neighbouring properties.



Alternative(s):

Alternative #1: That the Municipal Planning Commission approves Development Permit DP 22-010 for a Secondary Garage with a Variance at 5404 46 Street, Lot 8, Block 4, Plan 7710300, with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit DP 22-010 for a Secondary Garage with a Variance at 5404 46 Street, Lot 8, Block 4, Plan 7710300, with reasons.

Attachment(s): Application
 Site Plan
 Drawings
 Check List
 Photos

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



RESIDENTIAL ACCESSORY USE DEVELOPMENT PERMIT APPLICATION

TOWN OF TABER: A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME: [REDACTED]

MAILING ADDRESS: [REDACTED]

TOWN: [REDACTED]

POSTAL CODE: [REDACTED]

EMAIL: [REDACTED]

PHONE NUMBER: [REDACTED]

Owner Information (if different from applicant)

OWNER NAME: Same as above.

MAILING ADDRESS: _____

TOWN: _____

POSTAL CODE: _____

EMAIL: _____

PHONE NUMBER: _____

Property Information (property to be developed)

MUNICIPAL ADDRESS: 5404 46 St Taber, AB

LOT(S): 8

BLOCK: 4

PLAN: 771 0300

Description of Project

DESCRIBE YOUR PROJECT

To build a 32ft x 38ft garage in the Northwest corner of the property. Current garage will be sold and moved off the property. No demo of existing garage.

Type of Development

TYPE OF DEVELOPMENT PROPOSED (check all that apply)

- Garage (attached) Garage (detached) Shed Deck/Patio
 Pergola Pool/Hot Tub Overheight Fence Tree House
 Other _____

DOES THE DEVELOPMENT REQUIRE ANY WAIVERS?

Note that all waiver requests must go to the Municipal Planning Commission.

- Setback Deck Height Garage Size Second Garage
 Other _____

Start Date and Cost

ESTIMATED START DATE: March 15, 2022 ESTIMATED COST: \$ 60,000.00

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: _____ DATE: Feb 8, 2022

REGISTERED OWNER SIGNATURE: _____ DATE: Feb 8, 2022

PLANNING OFFICER SIGNATURE: [Signature] DATE: Feb 8, 2022

The personal information on this form is being collected for the purpose of reviewing your application to the municipality of the Town of Taber. The information is collected under the authority of Section 146 of the Municipal Government Act (MGA) and Section 33 of the Freedom of Information and Protection of Privacy Act (FOIPP). Under Section 33 of the FOIPP Act, the Town of Taber reserves the right to collect information that relates directly to and is necessary for an operating program or activity of the public body. Names of applicants will be provided to the public. If you have any questions about the collection of this information, please contact the FOIPP coordinator at 403-223-5500 ext. 5519.

Note: This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction.

Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).

At the completion of the development, you will be required to submit an updated *Real Property Report* to the Town of Taber to verify that the project has been constructed in the correct location.

Development Application Submission Requirements

THE FOLLOWING ITEMS MUST BE INCLUDED WITH YOUR APPLICATION (1 copy of each)

- Site Plan
 - Building Plan
-

SITE PLAN REQUIREMENTS:

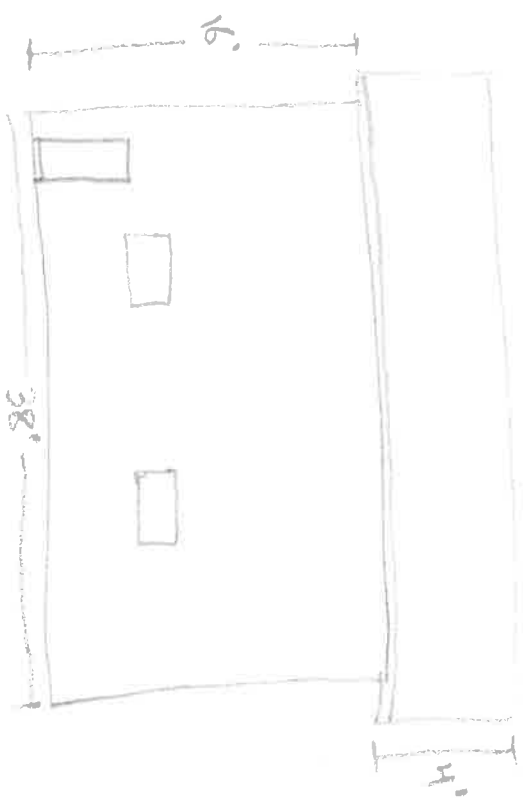
- Lot dimensions
 - Drainage Plan (directions of site drainage)
 - Dimensions and locations of all existing and proposed structures (including structures under 10m²)
 - Dimensions, locations, and heights of all existing and proposed decks/patios
 - All utility right of ways and easements located within or directly adjacent to the site
 - Distances between all structures and property lines
 - Site access with dimensions
 - Adjacent roads and lanes
 - North arrow
-

BUILDING PLAN REQUIREMENTS

- Scale and dimensions of exterior walls and interior room(s)
- Floor plan of entire building/use
- Building elevations and heights from finished grade
- Exterior materials, architectural features, and colours to be used

Official building plan
to be provided upon
approval of variance.

Rear Elevation



Right Side Elevation



Roof Pitch
 26.65% / 3.2:12

Left Side Elevation



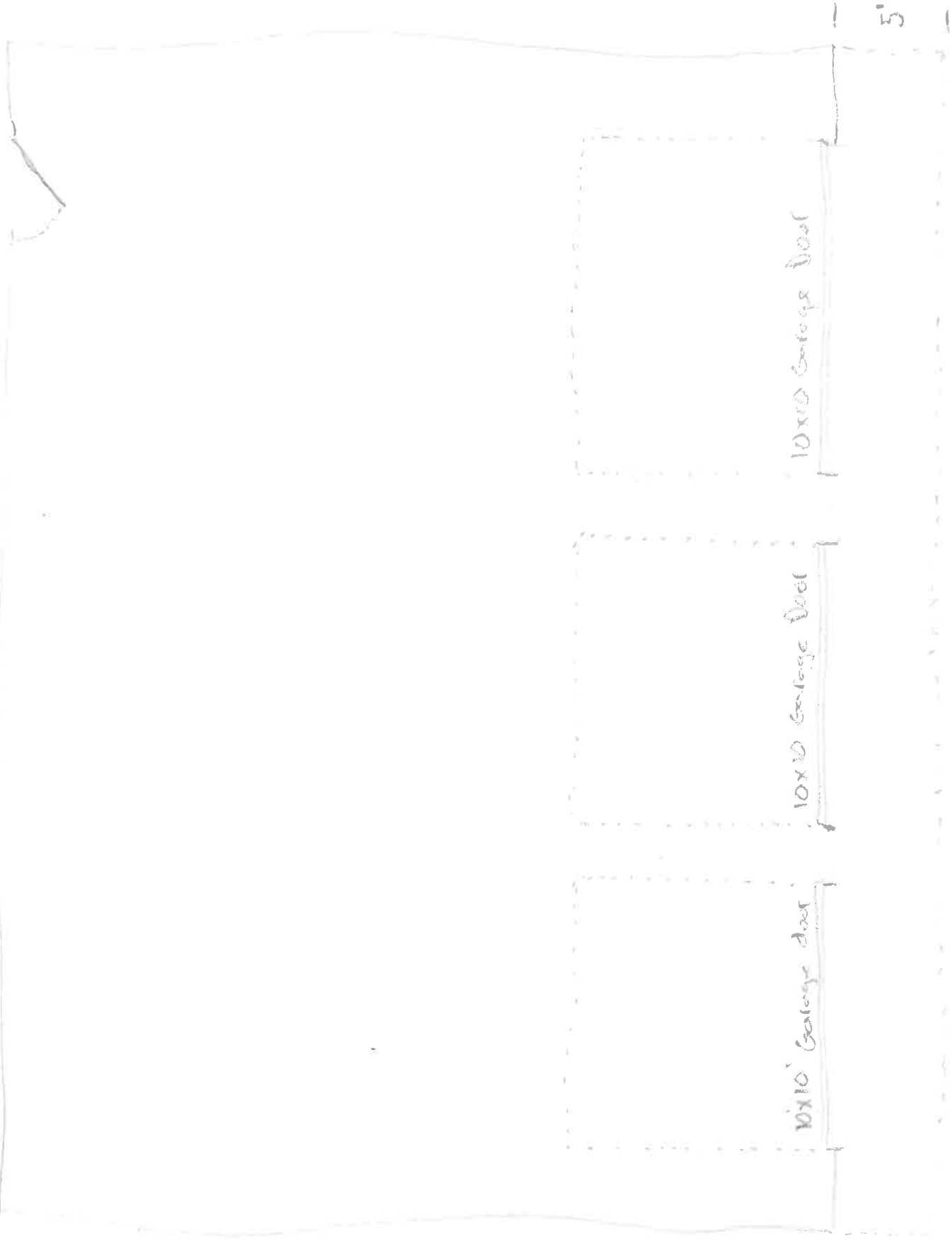
Front Elevation



width 38'

Depth 38'

5' Dividing



Project Name:		5404 46 Street	
Date Submitted:	District R-1	Proposed Use Garage	
Permit Number: 22-010	Address 5404 46 Street	Permitted? Discretionary	
Roll Number: 51501110	Lot, Block, Plan 7710300		
Meeting and Notification Requirements			
Required?	Date	Required?	Dates
Council	Newspaper		
MPC	Mailout		
Payments		Amount	Paid? Date
DP Application Fee	300	Yes	2/8/2022
Damage Deposit In	No	No	
Const. Water Fee	300	No	
Total	300	No	
Deposit Returned?	No		

DP Review	Required?	Completed	Notes
Application Filled?	Yes	Yes	
Site Plan	Yes	Yes	
Drainage Plan	No	N/A	
Payment	Yes	Yes	
All materials submitted?	Yes	Yes	
DP Review	Required?	Completed	Notes
LUB Review	Yes	Yes	
Waiver or Variance	Yes	Yes	
Internal Circulation	Yes	Yes	
Council or MPC	MPC	Yes	
Mail Outs	Yes	No	
Approval/Refusal	Yes	No	
Following Approval	Required?	Sent/Taken	Returned
Damage Deposit	No	No	No
Send to Superior (if BP)	Yes	No	No
Pre-Inspection Reports	Yes	No	No
Post-Inspection Reports	Yes	No	No

Lot Coverage Calculation	
Lot Size	877.08
Principle Building	145
Attached Garage	35.3
Poach	55.49
Decks	0
Detached Garage	112.4
Accessory Structures	0.268835226
Accessory Structures	0
Accessory Structures	0.128152506
Total Structures	348.19
	0.396987732

Driveway Calculations	
Frontage for Lot	14.02
Driveway Width	0
Percentage of Lot	0
Allowable Waiver	1.402

5.608

7.01

Land Use Bylaw Checklist (units in metres)			
Principal Building Setbacks	Required	Proposed	Acceptable
Front Setback	6	6	No
Rear Setback	7	7	No
Side Setback 1	1.2	1.2	No
Side Setback 2	3.0	3.0	No
Accessory Setbacks	Required	Proposed	Acceptable
Front Setback	6	6	Yes
Rear Setback	0.6	1.524	Yes
Side Setback	0.6	0.91	Yes
Side Setback Adjacent Street	1.2	9.75	Yes
Principal Building	1.0	12.5	Yes
Coverages			
Max Building Coverage	45%	39.7%	Yes
Principal Building	45%	26.9%	Yes
Accessory Buildings	45%	12.8%	Yes
Decks		0.0%	Yes
Driveway Coverage	40%	0.0%	
Landscaping	Required	Proposed	Acceptable
Amount required	Review	Review	#VALUE!
Parcel Size	Required	Proposed	Acceptable
Min. Parcel Area	450		No
Min. Parcel Width	1.4		No
Heights	Required	Proposed	Acceptable
Max Building Height	10.5		Yes
Max Deck Height			Yes
Max Accessory Height	5.0	6.1	No
Parking	Required	Proposed	Acceptable
Stalls			Yes
Handicap			Yes
Other	Required	Proposed	Acceptable
Corner Site Triangle			Yes
Parking Calculation			
Use(s)	1 Stall per	Stalls	
Automobile Supply	Xm2	Area	required
Automotive Sales			#DIV/0!
			#DIV/0!
Note: Total always rounds up			Total



This is a look down the alley form the south end to the north end.



This a look from the property down from the north end to the south end.



This is the garage they would remove and the area where the new garage would be built.



Orthographic photo of neighborhood.



Development Authority Request for Decision

Meeting Date: February 22/2022

Subject:

DP 22-011 - 5113 47 Avenue - Signage

Recommendation:

That the Municipal Planning Commission approves Development Permit DP 22-011 for 1 Freestanding Sign and 3 Fascia Signs at 5113 47 Avenue Lots 14-19, Block 2, Plan 5638L, with the following eight (8) conditions:

1. The signs must meet any applicable Provincial Signage requirements;
2. The signs may only be located at the proposed locations as seen on the attached site plan and drawings;
3. The Municipal Planning Commission varied the number of fascia signs allowed from two to three for this development on February 22, 2022;
4. The signs must adhere to all Digital Media and Illumination Rules as outlined in The Town of Taber's Land Use Bylaw 13-2020;
5. The sign must not employ any supplementary flashing or intermittent lighting either as part of the sign or on its supporting structure;
6. Prior to installation of the signs, the applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
7. The development conforms to the district requirements of the Downtown District (DT);
8. The signs must not display third party advertising.

Background:

Administration has received an application for a free-standing sign, which has previously had its location approved under DP 20-07, but not the sign itself. The Applicant has also proposed three fascia signs, which were not included in the original development permit. This property has frontage on two streets, which would allow it to have two fascia signs with out needing a variance. As they have proposed three a variance is required.

Legislation / Authority:

Bylaw 10-2018 - Subdivision and Development Authority and MPC Bylaw, Section 8(b) The Municipal Planning Commission shall be the Development Authority for Development Permit applications for Discretionary Uses.

Strategic Plan Alignment:

Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.



Financial Implication:

The applicant has paid the appropriate application fees which will cover costs of advertising and notifications.

Service Level / Staff Resource Implication:

Administration's time was required for the review and processing of the application.

Justification:

Approving this application will allow the business to have signage that is inline with the others in it chain. There should be no negative impacts to the surrounding businesses from the addition of the signage to the project.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves Development Permit DP 22-011 for 1 Freestanding Sign and 3 Fascia Signs at 5113 47 Avenue Lots 14-19, Block 2, Plan 5638L, with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit DP 22-011 for 1 Freestanding Sign and 3 Fascia Signs at 5113 47 Avenue Los 14-19, Block 2, Plan 5638L, with reasons.

Attachment(s): Application
Drawings for Fascia Signs
Site Plan
Drawings for Free Standing Sign
LED Information

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



SIGN PERMIT APPLICATION

TOWN OF TABER: A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME:

MAILING ADDRESS:

TOWN: POSTAL CODE:

EMAIL: PHONE NUMBER:

Land Owner Information (if different from applicant)

OWNER NAME:

MAILING ADDRESS:

TOWN: POSTAL CODE:

EMAIL: PHONE NUMBER:

Property Information (location of sign)

MUNICIPAL ADDRESS:

LOT(S): BLOCK: PLAN:

Type of Sign

TYPE OF SIGN(S) PROPOSED (check all that apply)

- Banner Billboard Canopy Fascia Freestanding
- Inflatable Portable Projecting Roof
- Other

WHAT TYPE OF INFORMATION THAT WILL BE DISPLAYED? (check all that apply)

- On-site Business Information On-site Business Advertising 3rd Party Advertising
- Other

Sign Construction Details

WHAT WILL THE SIGN BE COMPOSED OF? (check all that apply)

- Metal Wood Plastic
 Other

WILL THE SIGN BE ILLUMINATED?

- Yes
 No

SIGN DIMENSIONS: Area: Length Depth Height

DOES THE SIGN REQUIRE ANY WAIVERS?

Note that all waiver requests must go to the Municipal Planning Commission.

- Setback Sign Height Sign Size
 Other

Start Date and Cost

ESTIMATED START DATE: ESTIMATED COST:

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: Nick Kern DATE: February 11, 2022

REGISTERED OWNER SIGNATURE: [Signature] DATE: February 11, 2022

PLANNING OFFICER SIGNATURE: [Signature] DATE: February 11, 2022

The personal information on this form is being collected for the purpose of reviewing your application to the municipality of the Town of Taber. The information is collected under the authority of Section 146 of the Municipal Government Act (MGA) and Section 33 of the Freedom of Information and Protection of Privacy Act (FOIPPA). Under Section 33 of the FOIPPA Act, the Town of Taber reserves the right to collect information that relates directly to and is necessary for an operating program or activity of the public body. Names of applicants will be provided to the public. If you have any questions about the collection of this information, please contact the FOIPPA coordinator at 403-223-5500 ext. 5519.

Note: This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction.

Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).

Development Application Submission Requirements

THE FOLLOWING ITEMS MUST BE INCLUDED WITH YOUR APPLICATION (1 copy of each)

- Site Plan Sign Rendering
-

SITE PLAN REQUIREMENTS:

- Lot dimensions
 - Dimensions and locations of all existing and proposed structures (including structures under 10m²)
 - Dimensions and locations of all existing and proposed signs
 - All utility right of ways and easements located within or directly adjacent to the site
 - Distances between all structures, signs, and property lines
 - Site access with dimensions
 - Adjacent roads and lanes
 - North arrow
-

SIGN RENDERING REQUIREMENTS

- Dimensions of sign, and height from finished grade
 - Dimensions of all supporting structures
 - Sign materials, features, and colours to be used
-

South Sign
57" x 114"



Choice Savings

- Hanley LED Lighting for lettering and stars
- 3M 3630-144 Poppy Orange (to match pantone 137C)
- 3/16" White Acrylic
- 1" White Trim

East Sign
56" x 233"



Choice Savings and Credit Union Ltd.

- Pantone 137 C (Stars)
- Lettering Painted Gloss White
- Custom Formed Plastic 1" Lettering
- Pin Mounted

West Sign
42" x 85.5"



Choice Savings

- Pantone 137 C (Stars)
- Lettering Painted Gloss White
- Custom Formed Plastic 1" Lettering
- Pin Mounted



Lehanda - mk@zircongraphics.ca
#20 - 1035 30th St. N. - 403.228.7773

Customer: NEWGROUND
Address:
Contact: Marius Ardelean
Ph: 519-497-6597 Email: mard@newground.com

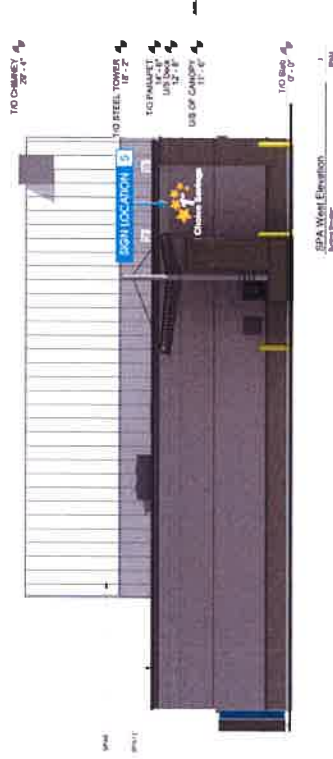
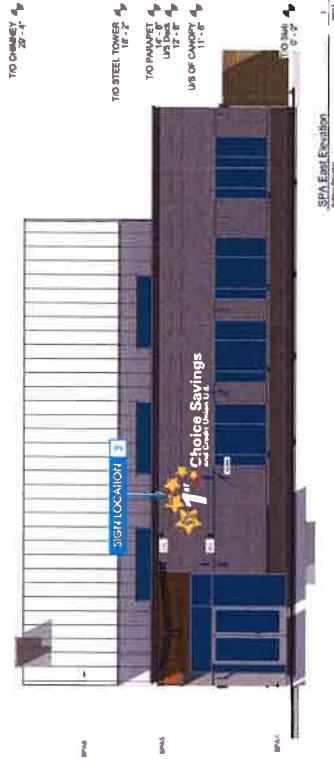
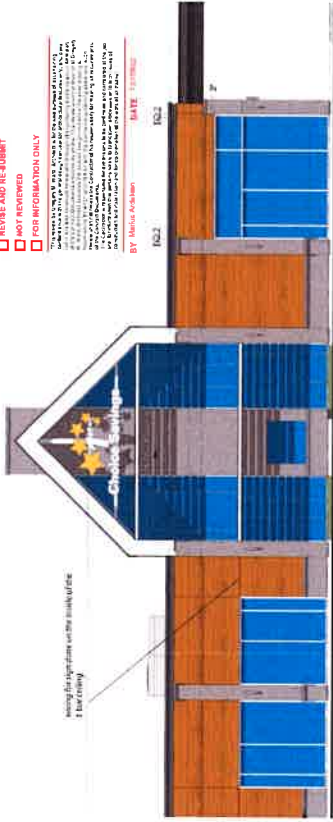
Note: Zircon Graphics makes every effort as possible to ensure accuracy on final job, however, it is the clients responsibility to verify the attached proof is correct.

Gregory M. Ward, Architect

- REVISED
- REVISIONS AS NOTED
- ISSUE AND RE-SUBMIT
- NOT REVIEWED
- FOR INFORMATION ONLY

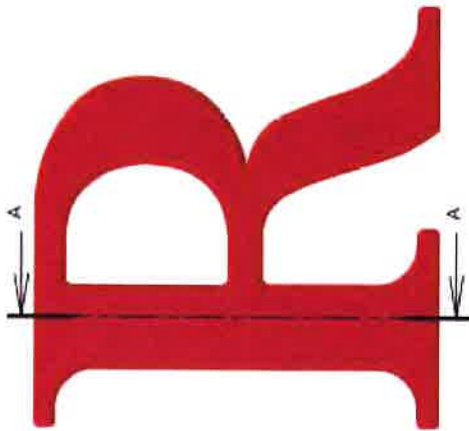
THIS DOCUMENT IS THE PROPERTY OF ZIRCON GRAPHICS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ZIRCON GRAPHICS. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED. ZIRCON GRAPHICS ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE USER ASSUMES ALL LIABILITY FOR ANY SUCH ERRORS OR OMISSIONS.

BY: Marius Ardelean DATE: 12/11/2022

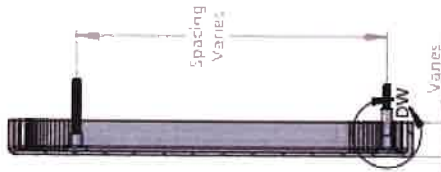


Job Description:	1st Choice Savings Exterior Signage	Start Date:	
Sales:	NK	Quote / <input checked="" type="checkbox"/> W.O.	13374
Designer:	NK	Design #:	Exterior
Customer Approval:	Signature X	Revision #:	1

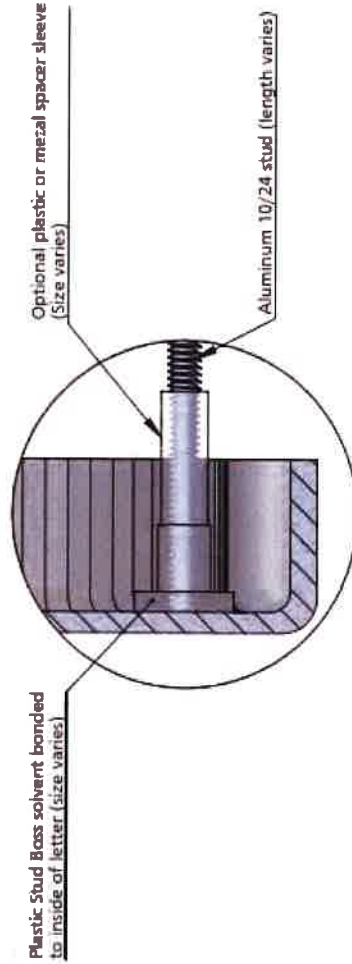
Please Print Name X



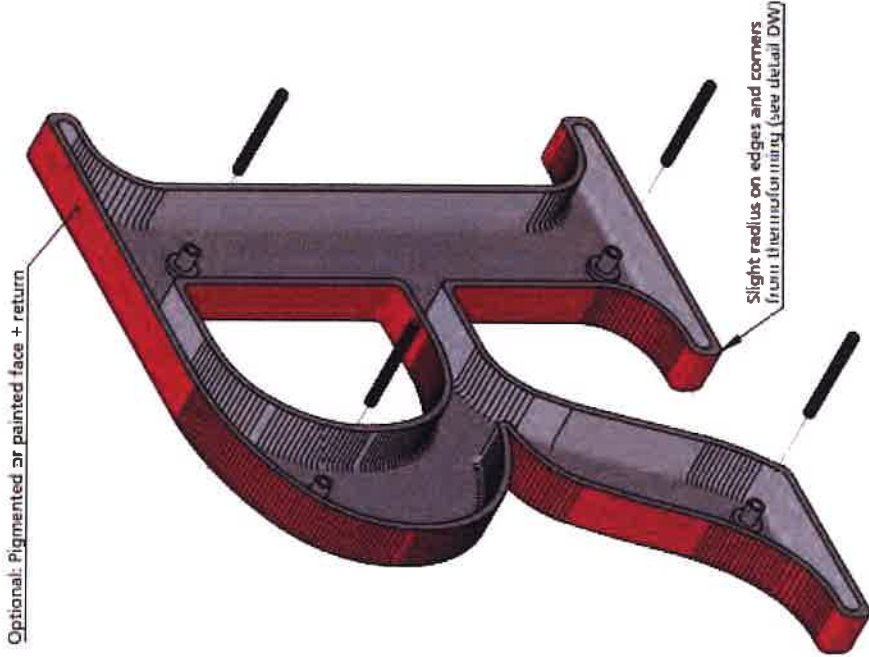
FRONT VIEW II SCALE 1:5



SECTION VIEW A-A II SCALE 1:5



DETAIL DW II SCALE 1:1



ISOMETRIC BACK VIEW II SCALE 1:3



TITLE:

FORMED PLASTIC - STUD MOUNT

MATERIAL:

PLASTIC

PRODUCT TYPE:

PLASTIC LETTERS

NOTES:
Typical stud length 2" beyond back of letter

2

DWG NO. FORM10

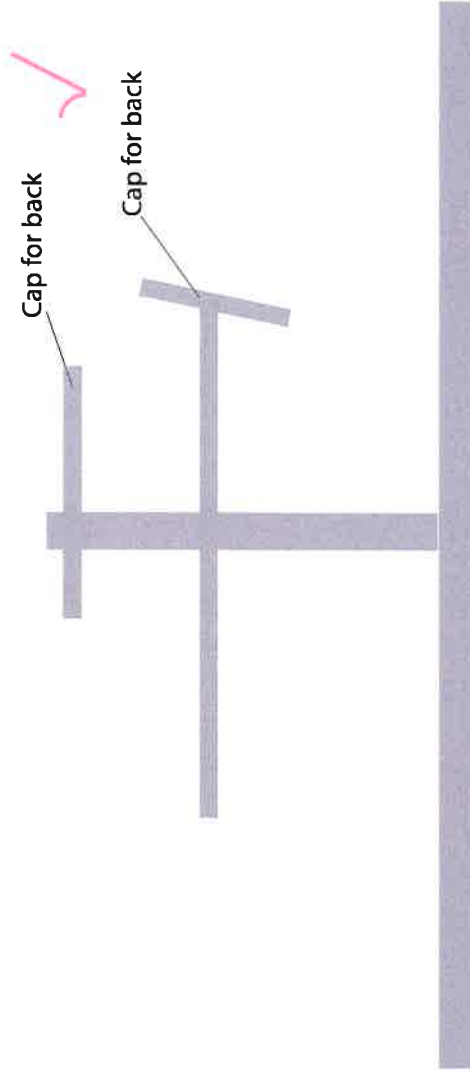
REV 02/24/15

SCALE: AS INDICATED

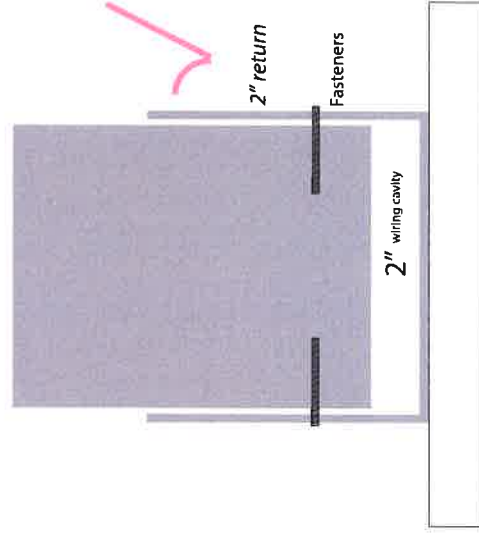
SHEET 1 OF 1

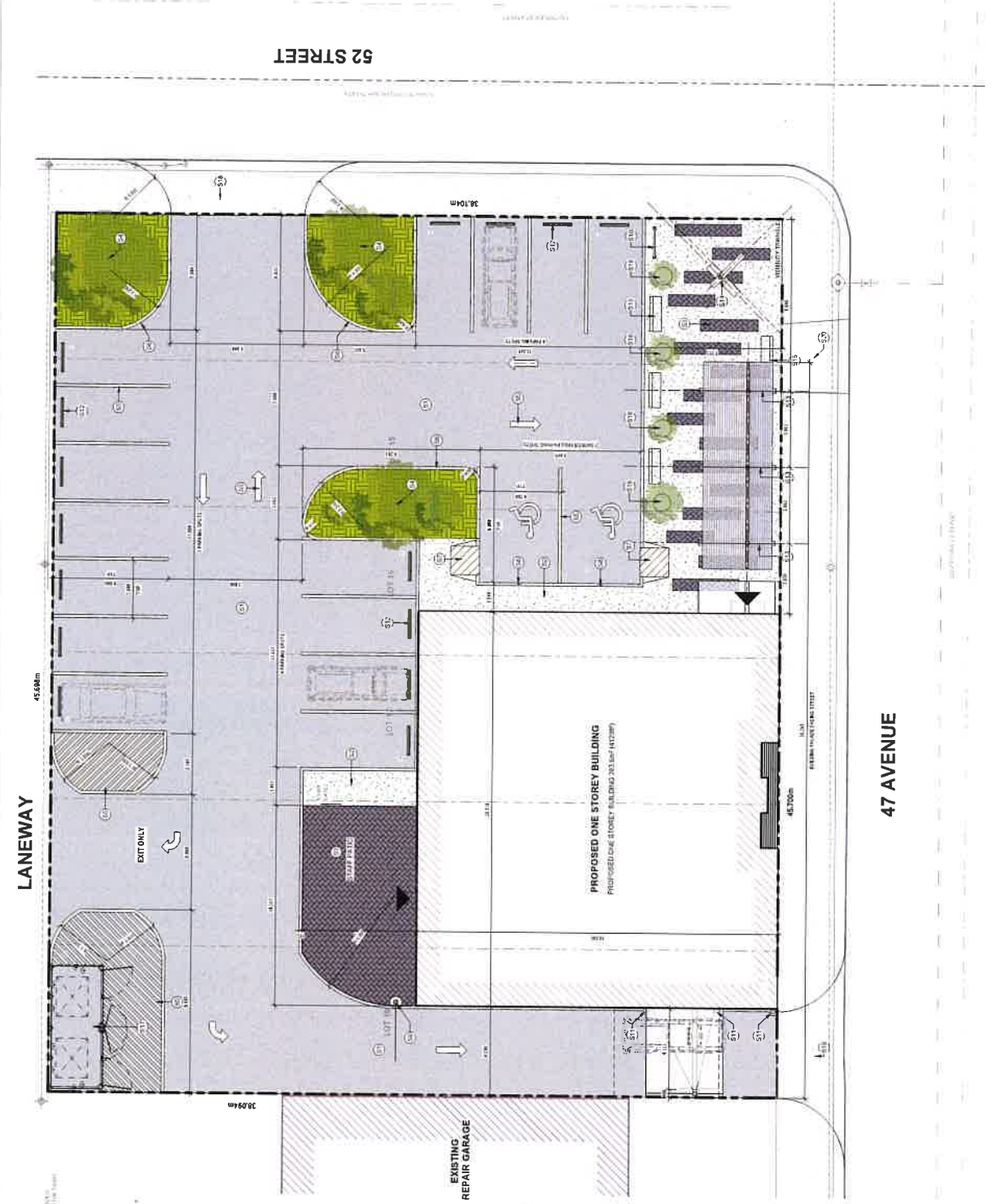
*Fabricated Frame
Produced to fit over existing bars
Hides wiring and secures signage*

113"



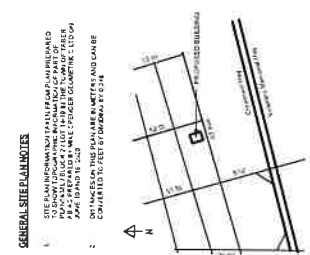
Frame Fits Over Metal Tubing
leaving room for wiring to tuck behind





GENERAL SITE PLAN NOTES

1. SITE PLAN INFORMATION PROVIDED IS FOR INFORMATIONAL PURPOSES ONLY. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
5. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
6. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
7. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
8. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
9. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
10. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



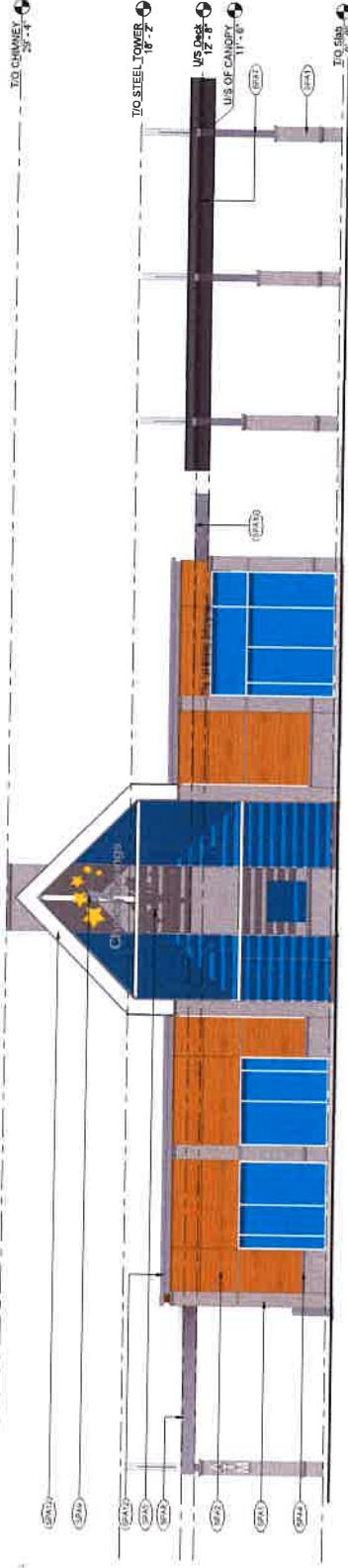
SITE PLAN KEYNOTES

1	EXISTING REPAIR GARAGE
2	PROPOSED ONE STOREY BUILDING
3	PROPOSED DRIVE AISLE
4	PROPOSED PARKING SPACES
5	PROPOSED LANDSCAPING
6	PROPOSED DRIVE AISLE
7	PROPOSED PARKING SPACES
8	PROPOSED LANDSCAPING
9	PROPOSED DRIVE AISLE
10	PROPOSED PARKING SPACES
11	PROPOSED LANDSCAPING
12	PROPOSED DRIVE AISLE
13	PROPOSED PARKING SPACES
14	PROPOSED LANDSCAPING
15	PROPOSED DRIVE AISLE
16	PROPOSED PARKING SPACES
17	PROPOSED LANDSCAPING
18	PROPOSED DRIVE AISLE
19	PROPOSED PARKING SPACES
20	PROPOSED LANDSCAPING

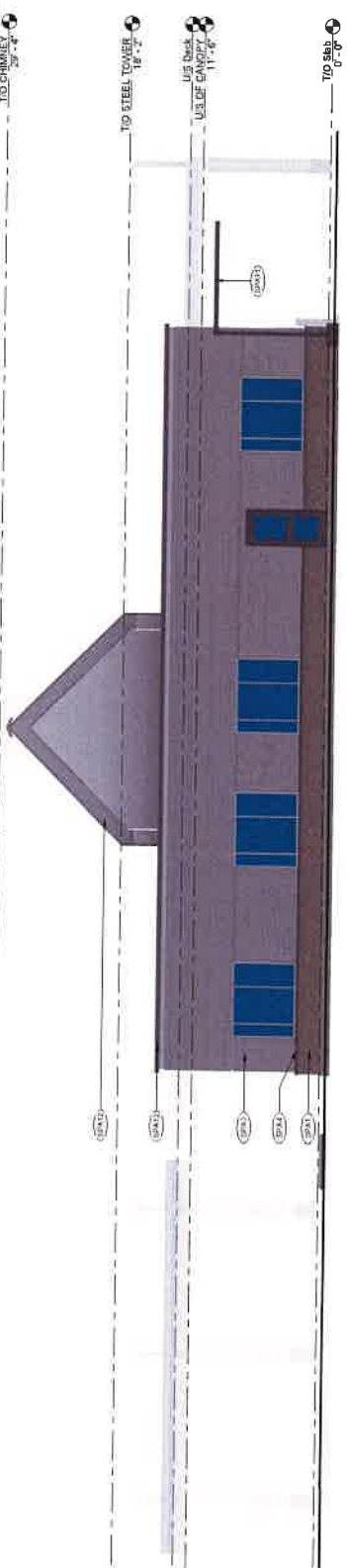
SITE PLAN
 10000 100th Street, Suite 100, Richmond, BC V6V 1K2

SPA ELEVATIONS KEYNOTES

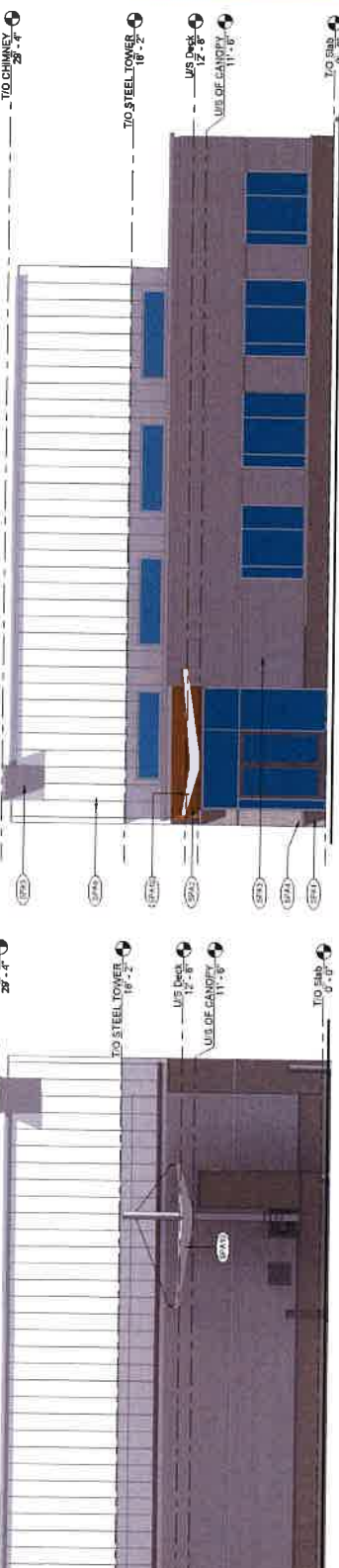
- 1. SEE SPA 200 FOR GENERAL NOTES AND SPECIFICATIONS.
- 2. SEE SPA 200 FOR MATERIAL SCHEDULE.
- 3. SEE SPA 200 FOR FINISH SCHEDULE.
- 4. SEE SPA 200 FOR WINDOW SCHEDULE.
- 5. SEE SPA 200 FOR DOOR SCHEDULE.
- 6. SEE SPA 200 FOR ROOFING SCHEDULE.
- 7. SEE SPA 200 FOR MECHANICAL SCHEDULE.
- 8. SEE SPA 200 FOR ELECTRICAL SCHEDULE.
- 9. SEE SPA 200 FOR PLUMBING SCHEDULE.
- 10. SEE SPA 200 FOR HVAC SCHEDULE.
- 11. SEE SPA 200 FOR INTERIORS SCHEDULE.
- 12. SEE SPA 200 FOR EXTERIORS SCHEDULE.
- 13. SEE SPA 200 FOR SIGNAGE SCHEDULE.
- 14. SEE SPA 200 FOR LANDSCAPE SCHEDULE.
- 15. SEE SPA 200 FOR UTILITIES SCHEDULE.
- 16. SEE SPA 200 FOR SPECIAL NOTES.



South Elevation
Building Elevation



North Elevation
Building Elevation



East Elevation
Building Elevation



West Elevation
Building Elevation

Choice Savings®
and Credit Union Ltd.

SPA2.0
ELEVATIONS

PROPOSED NEW FACILITY

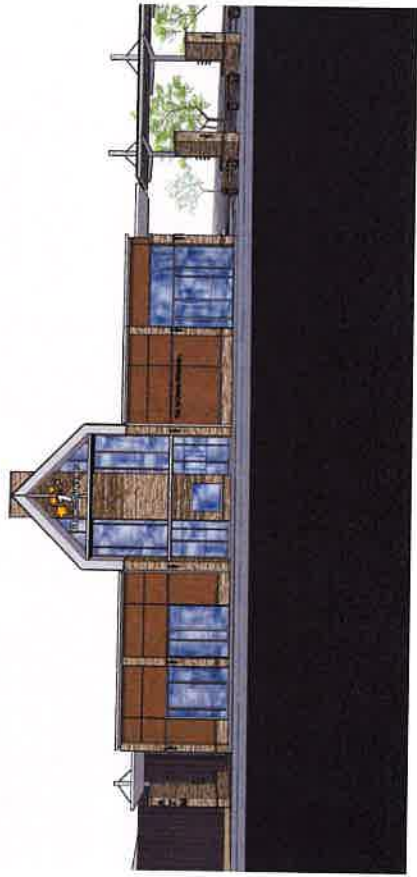
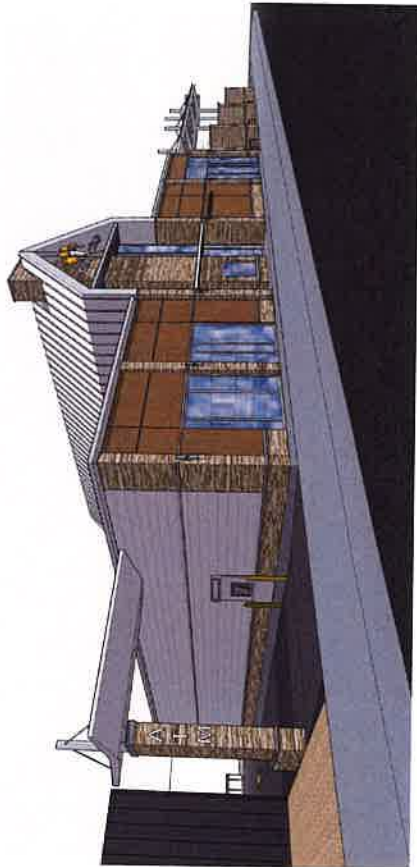
DATE: 11/11/2024
SCALE: 1/8" = 1'-0"
DRAWN BY: [Name]
CHECKED BY: [Name]

Crescent Moon Architects
NEWGROUND

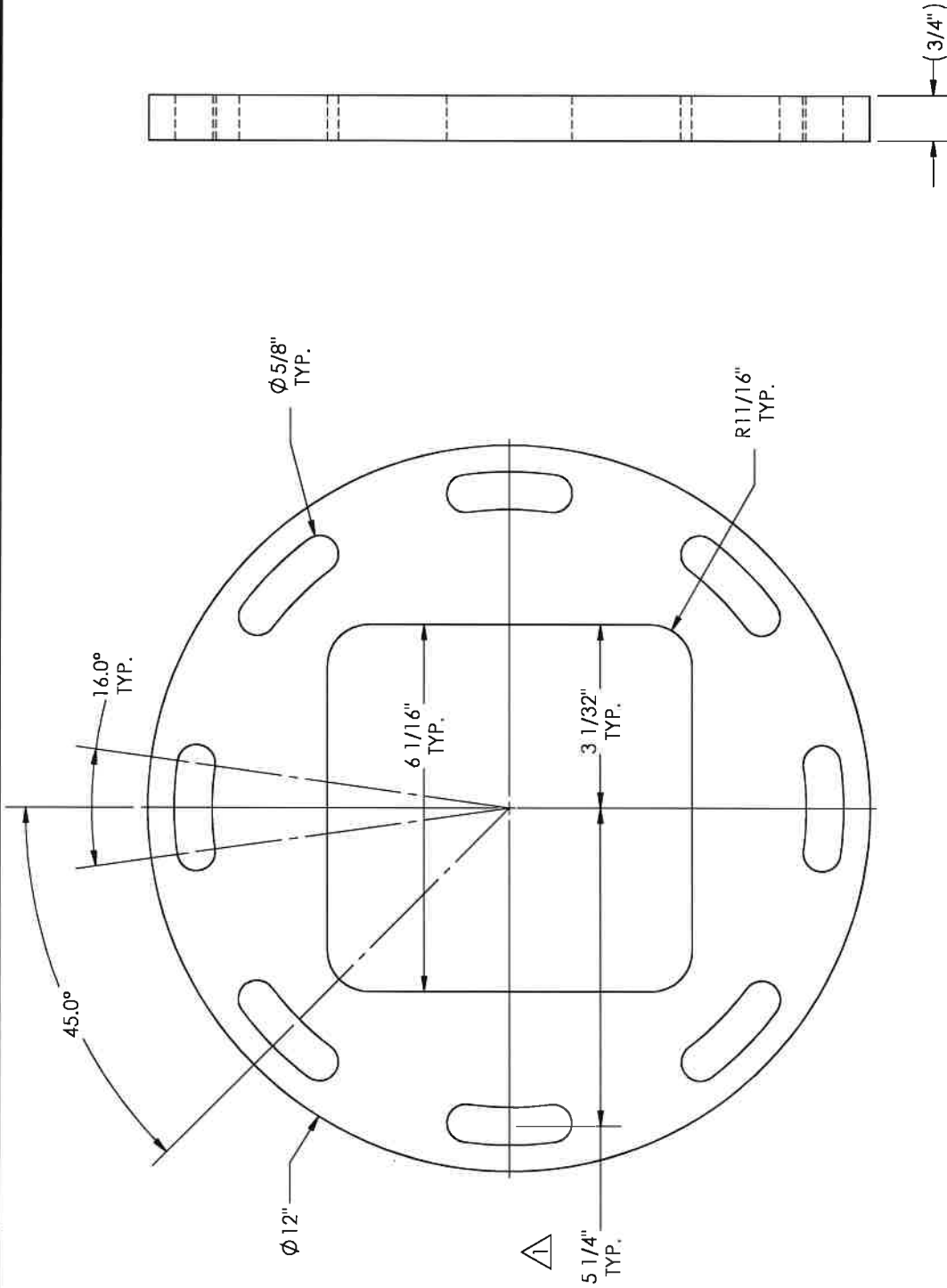




DATE	2018
SCALE	1/4" = 1'-0"
PROJECT	PROPOSED NEW FACILITY
NO.	001



00924-1001



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DESIGNED BY
JTH

DRAFTED BY
LS

WEIGHT(LBS)
14.243

DWG. NO.
00924-1001

REV.
01

SHEET SIZE
A

SCALE
3:8

SHEET NO.
1 OF 1

LED SIGN FRAME BASE PLT

UNLESS OTHERWISE SPECIFIED:
ALL DIMENSIONS ARE IN INCHES

TOLERANCES:
FRACTIONAL: $\pm 1/32$
ANGULAR: FORMED: $\pm 1^\circ$
MACHINED: $\pm 0.5^\circ$

THIRD ANGLE PROJECTION

POSITIONING TOLERANCE

CONCENTRICITY TOLERANCE

DATE
2022-01-10

REV BY
JTH

APPR BY
JTH

DATE
2022-01-10

REVISION

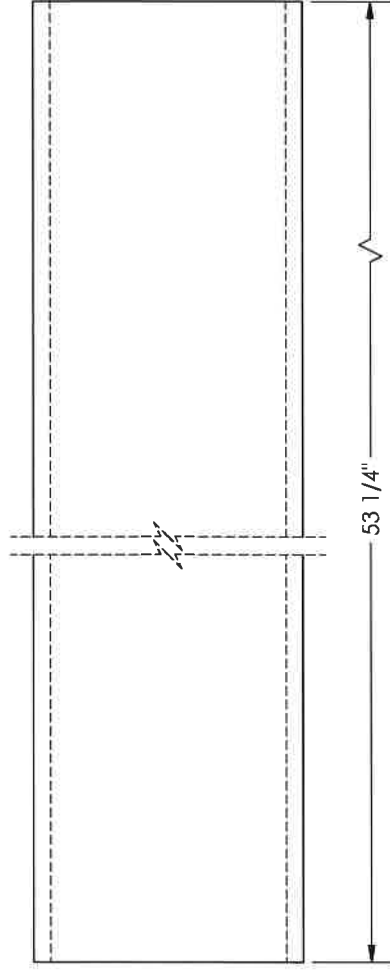
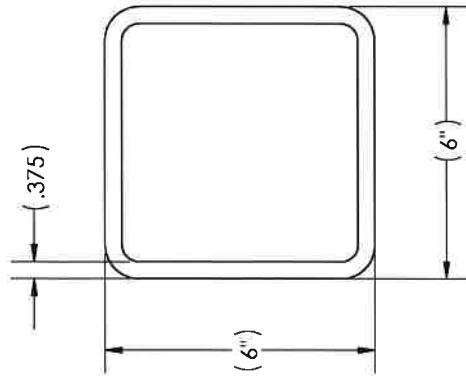
ADDED HOLE DIMENSIONS

NO. 1

1

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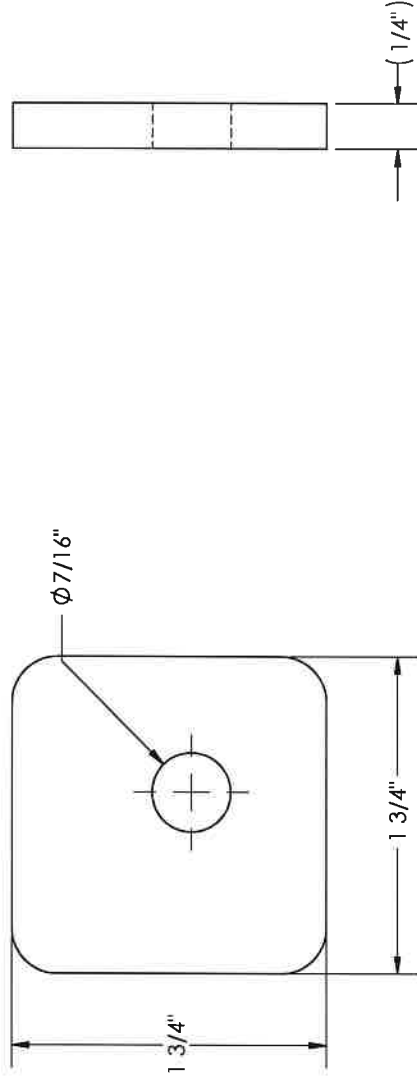
X:\SWDATA\DMT\00924 - LED SIGN FRAME\SW FILES



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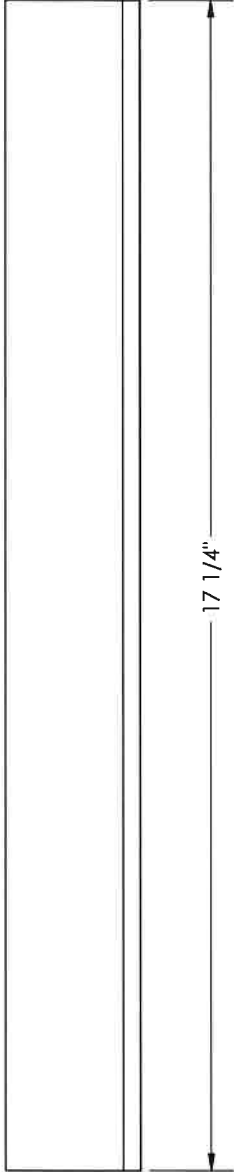
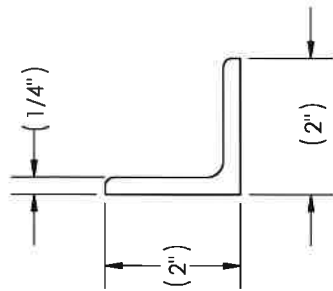
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TOLERANCES: FRACTIONAL: $\pm 1/32$ ANGULAR: FORMED: $\pm 1^\circ$ MACHINED: $\pm 0.5^\circ$	DATE (YYYYMMDD) 2021-11-30	DESIGNED BY JTH	REV. A
$\pm 1/32$ POSITIONING TOLERANCE	THIRD ANGLE PROJECTION	DRAFTED BY LS	SCALE 1:4
$\pm 1/32$ CONCENTRICITY TOLERANCE		WEIGHT(LBS) 121.951	SHEET NO. 1 OF 1
		MATERIAL TS6x6x0.25 50W (350W)	
		DWG. NO. 00924-1002	
		REV. 00	



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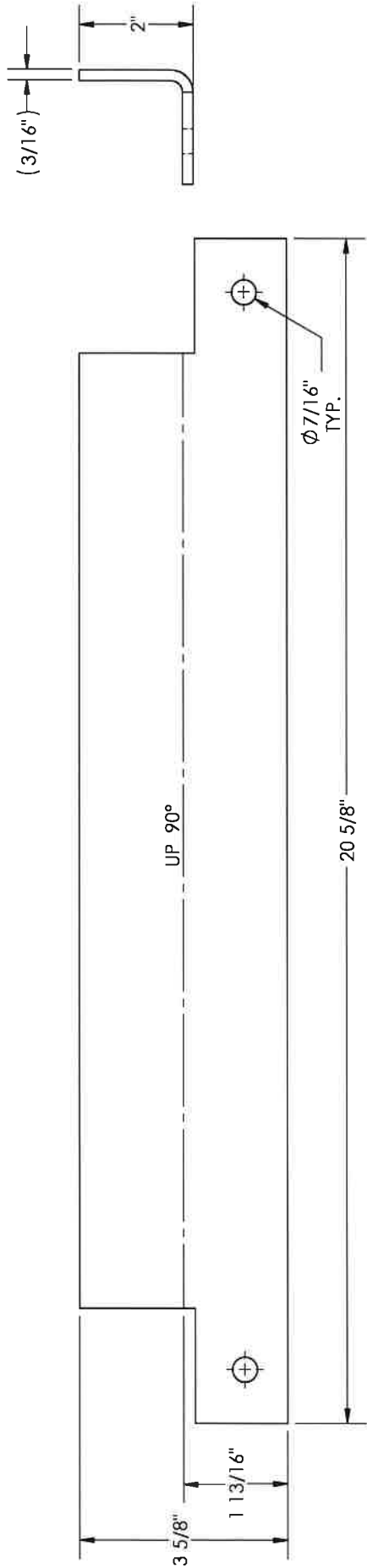
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TOLERANCES: FRACTIONAL: $\pm 1/32$ ANGULAR: $\pm 1^\circ$ MACHINED: ± 0.05		DESIGNED BY JTH	REV. 00
DATE (YYYYMMDD) 2021-11-30		DRAFTED BY LS	SHEET SIZE A
THIRD ANGLE PROJECTION		DWG. NO. 00924-1003	SCALE 1:1
Φ 1/32 POSITIONING TOLERANCE	\oplus 1/32 CONCENTRICITY TOLERANCE	WEIGHT(LBS) 0.069	MATERIAL 1/4 PL 5052-H32
		SHEET NO. 1 OF 1	



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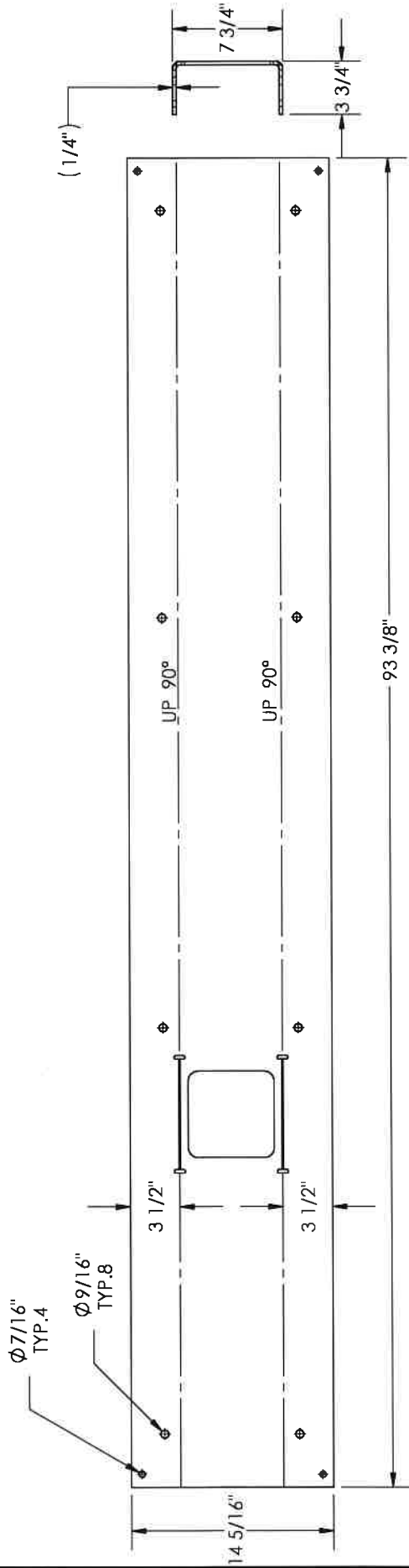
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TOLERANCES: FRACTIONAL: ± 1/32 ANGULAR: FORMED: ± 1° MACHINED: ± 0.5°	DATE (YYYYMMDD) 2021-11-30	DESIGNED BY JTH	REV. 00
POSITIONING TOLERANCE 1/32	THIRD ANGLE PROJECTION	DRAFTED BY LS	SHEET SIZE A
CONCENTRICITY TOLERANCE 1/32	WEIGHT(LBS) 1.589	DWG. NO. 00924-1004	SCALE 3:8
		MATERIAL L2x2x0.25 6061-T6	SHEET NO. 1 OF 1



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UNLESS OTHERWISE SPECIFIED:		DESCRIPTION	
ALL DIMENSIONS ARE IN INCHES	DATE	DESIGNED BY	DWG. NO.
FRACTIONAL: ± 1/32	(YYYYMMDD)	JTH	00924-1005
ANGULAR: FORMED: ± 1°	2021-11-30	DRAFTED BY	REV.
MACHINED: ± 0.5°		LS	00
THIRD ANGLE PROJECTION	THIRD ANGLE PROJECTION	WEIGHT(LBS)	SHEET SIZE
⊕ 1/32 POSITIONING TOLERANCE	⊕ 1/32 CONCENTRICITY TOLERANCE	1.209	A
			SCALE
			3:8
			SHEET NO.
			1 OF 1
			MATERIAL
			3/16 PL 5052-H32

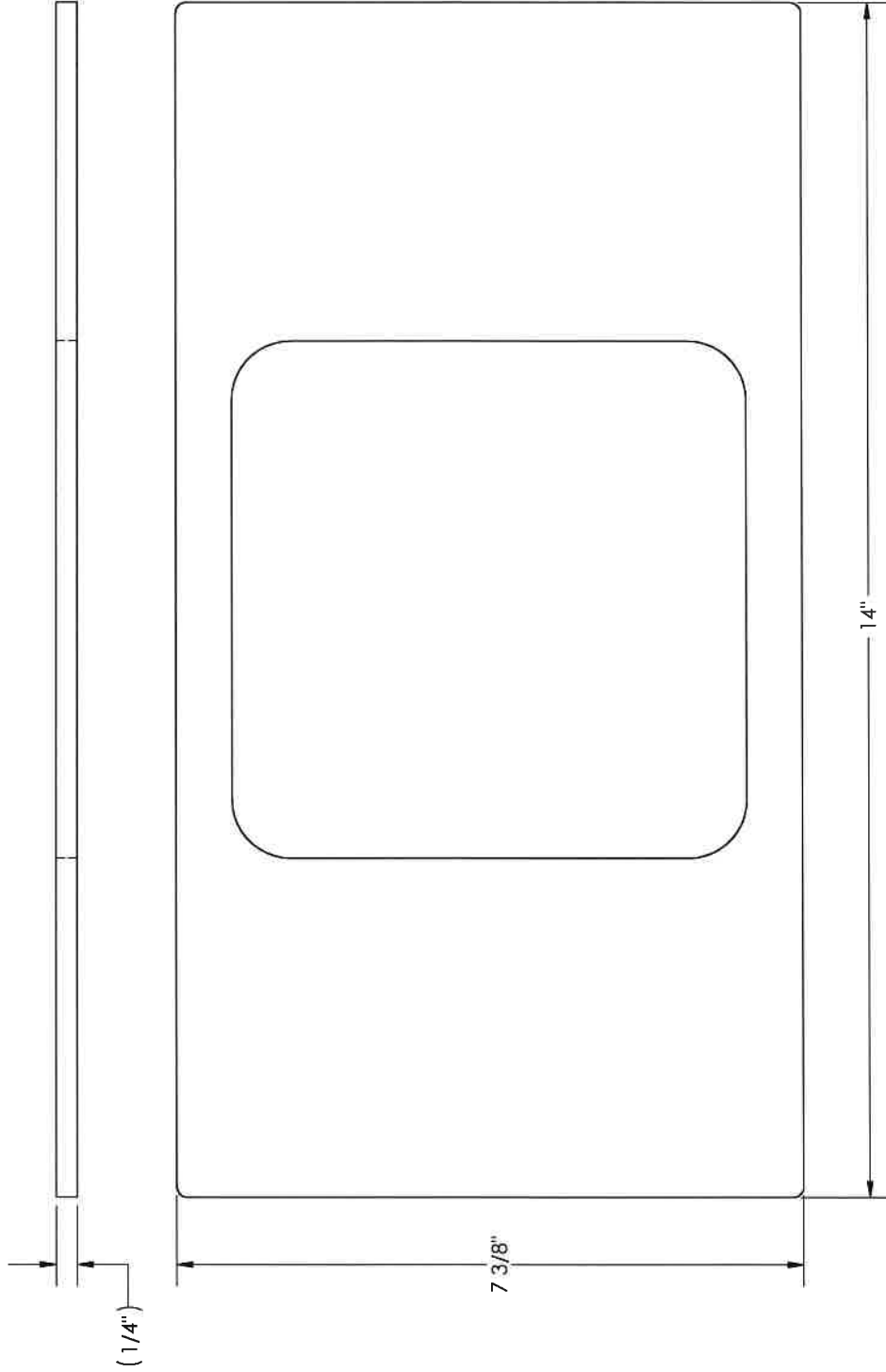
LED SIGN FRAME MNTG FORMED ANGLE



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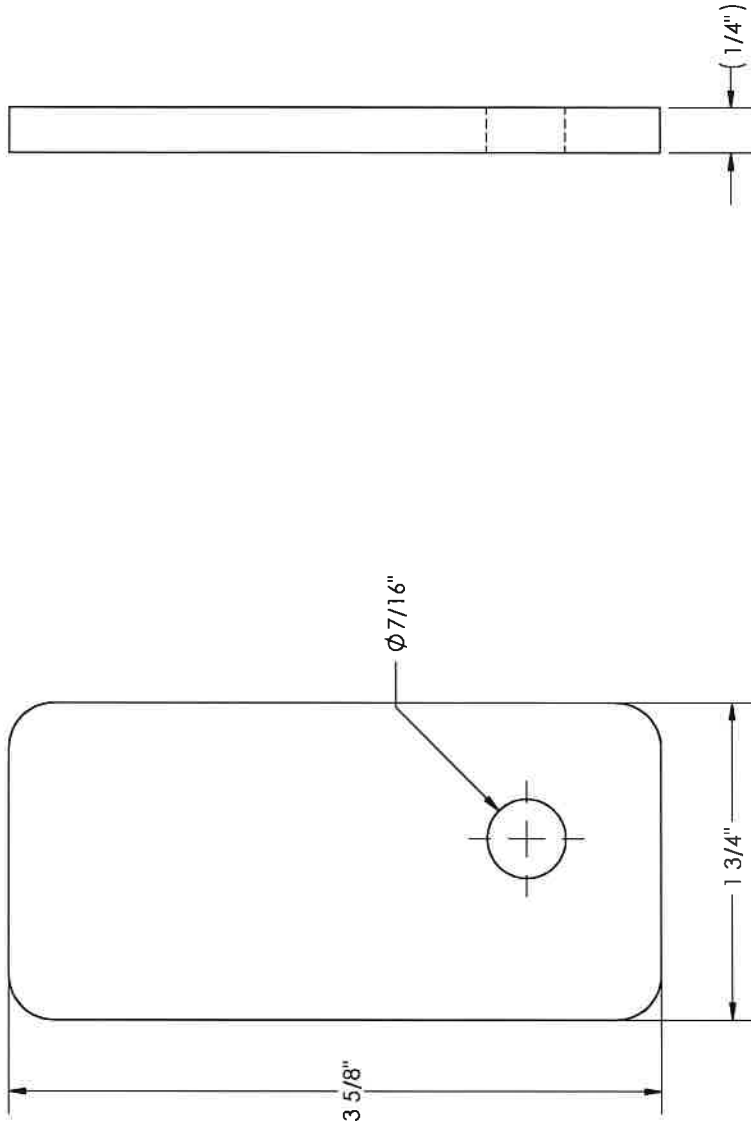
UNLESS OTHERWISE SPECIFIED: ALL DIMENSIONS ARE IN INCHES		DESCRIPTION LED SIGN FRAME SIGN SPRT CHNL	
TOLERANCES: FRACTIONAL: $\pm 1/32$ ANGULAR: FORMED: $\pm 1^\circ$ MACHINED: $\pm 0.5^\circ$	DATE (YYYYMMDD) 2021-11-30	DESIGNED BY JTH	REV. 00
$\pm 1/32$ POSITIONING TOLERANCE	THIRD ANGLE PROJECTION	DRAFTED BY LS	SCALE 3:32
⊕ 1/32 CONCENTRICITY TOLERANCE	⊘	WEIGHT(LBS) 91.765	SHEET NO. 1 OF 1
		MATERIAL 1/4 PL 44W (300W)	SHEET SIZE A



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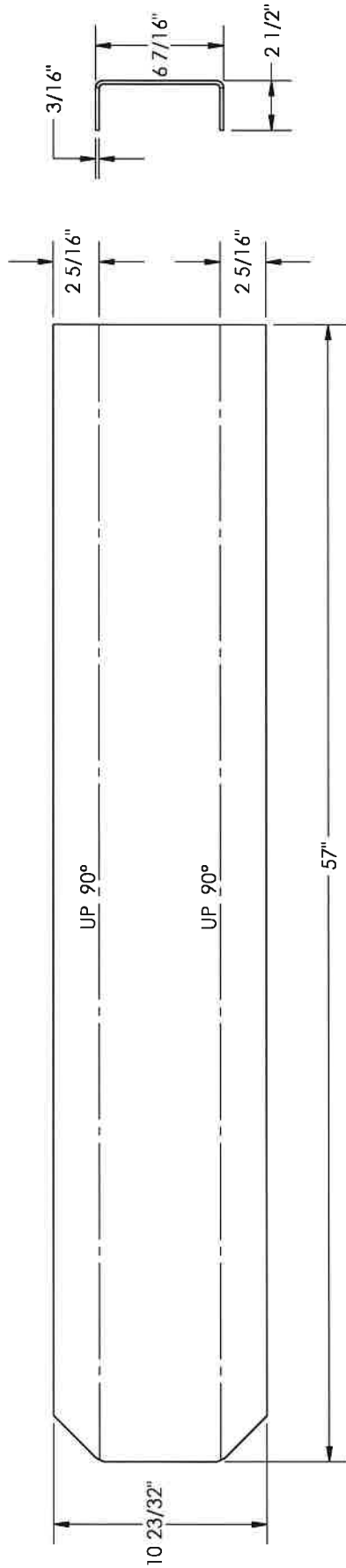
UNLESS OTHERWISE SPECIFIED: ALL DIMENSIONS ARE IN INCHES		DESCRIPTION LED SIGN FRAME CAP	
TOLERANCES: FRACTIONAL: ± 1/32 ANGULAR: FORMED: ± 1° MACHINED: ± 0.5°	DATE (YYYYMMDD) 2021-11-30	DESIGNED BY JTH	REV. 00
THIRD ANGLE PROJECTION	THIRD ANGLE PROJECTION	DRAFTED BY LS	SCALE 1:2
POSITIONING TOLERANCE 1/32	CONCENTRICITY TOLERANCE 1/32	WEIGHT(LBS) 4.742	SHEET NO. 1 OF 1
		MATERIAL 1/4 PL 44W (300W)	



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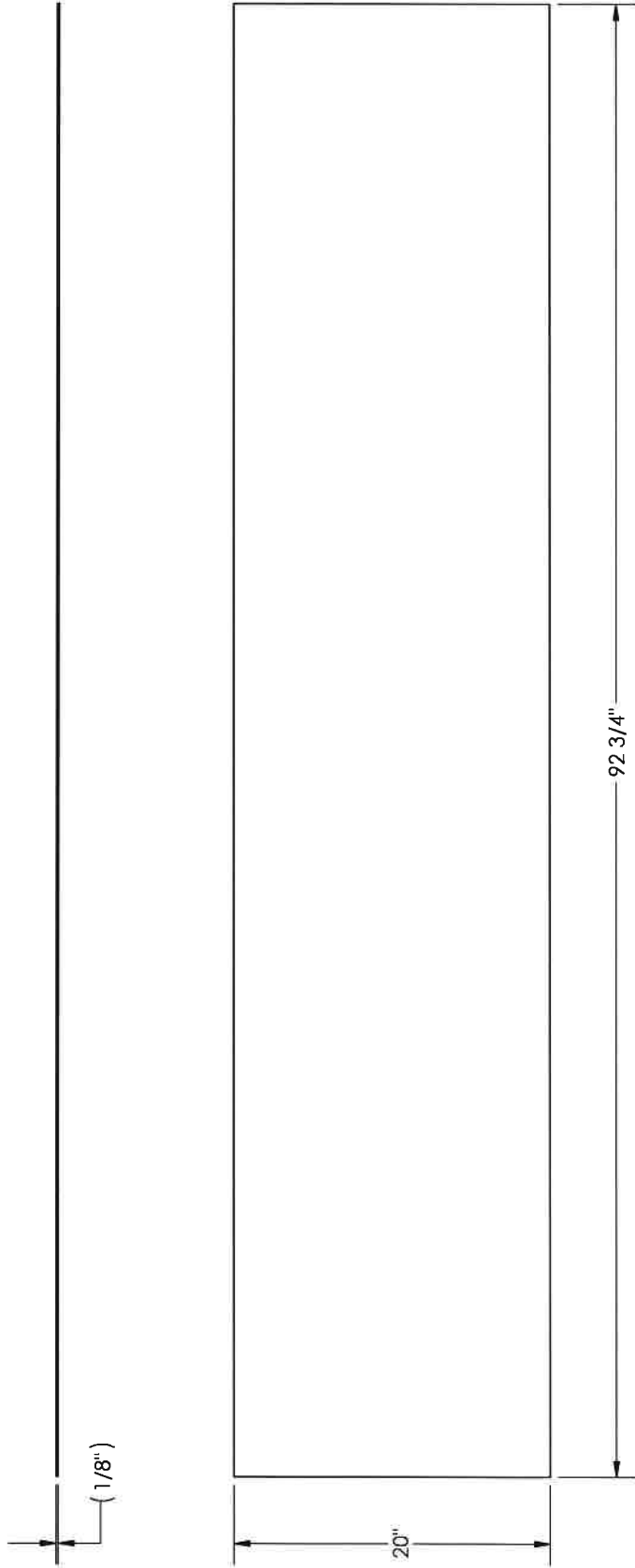
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TOLERANCES: FRACTIONAL: $\pm 1/32$ ANGULAR: FORMED: $\pm 1^\circ$ MACHINED: $\pm 0.5^\circ$	DATE (YYYYMMDD) 2021-11-30	DESIGNED BY JTH	REV. 00
ϕ 1/32 POSITIONING TOLERANCE \odot 1/32 CONCENTRICITY TOLERANCE	THIRD ANGLE PROJECTION	DRAFTED BY LS	DWG. NO. 00924-1008
		WEIGHT(LBS) 0.149	SCALE 1:1
			MATERIAL 1/4 PL 5052-H32
			SHEET NO. 1 OF 1



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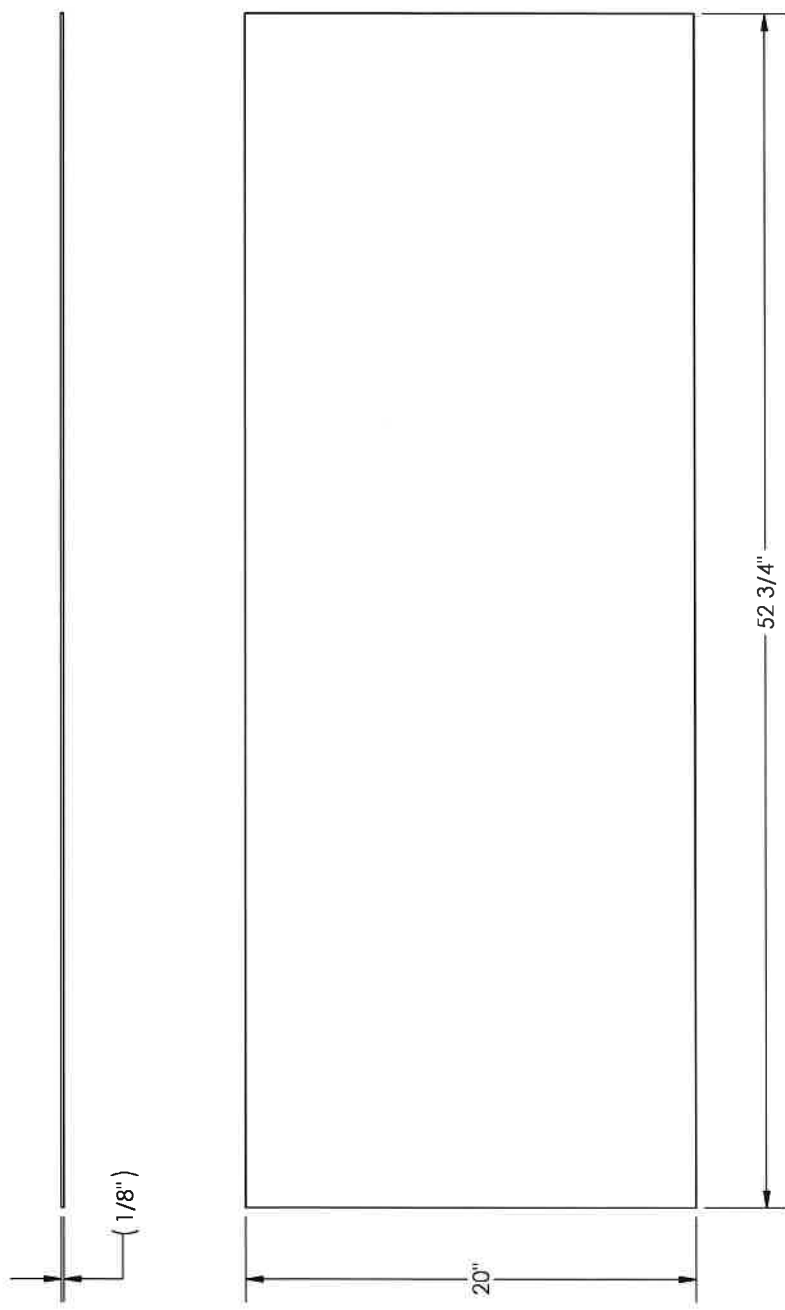
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ALL DIMENSIONS ARE IN INCHES		LED SIGN FRAME SIGN BRACE CHNL	
TOLERANCES:	DATE	DESIGNED BY	REV.
FRACTIONAL: $\pm 1/32$	(YYYYMMDD)	JTH	00
ANGULAR: FORMED: $\pm 1^\circ$	2021-11-30	DRAFTED BY	SCALE
MACHINED: $\pm 0.5^\circ$	THIRD ANGLE PROJECTION	LS	1:8
$\pm 1/32$ POSITIONING TOLERANCE		WEIGHT(LBS)	SHEET NO.
$\pm 1/32$ CONCENTRICITY TOLERANCE		32.214	1 OF 1
		MATERIAL	
		3/16 PL 44W (300W)	



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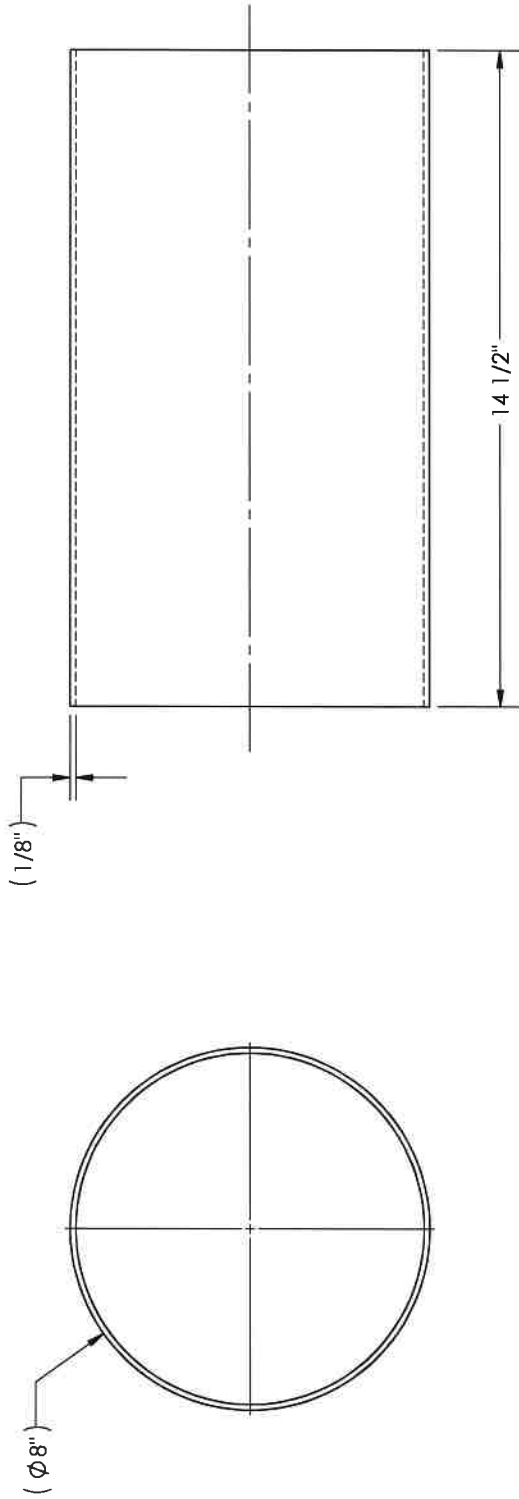
562 39 St. N. Lethbridge, AB T1H 6Y2
 Phone: 403-329-1134 www.projectworx.ca

UNLESS OTHERWISE SPECIFIED: ALL DIMENSIONS ARE IN INCHES		DESCRIPTION TOP PERF PANEL	
TOLERANCES: FRACTIONAL: ± 1/32 ANGULAR: FORMED: ± 1° MACHINED: ± 0.5°	DATE (YYYY/MM/DD) 2021-11-30	DESIGNED BY JTH	REV. SHEET SIZE 00 A
POSITIONING TOLERANCE 1/32	THIRD ANGLE PROJECTION	DRAFTED BY LS	SCALE 3:32
CONCENTRICITY TOLERANCE 1/32	WEIGHT (LBS) 22.618	DWG. NO. 00924-1010	MATERIAL 1/8 PL PERFORATED 6061-T6
			SHEET NO. 1 OF 1



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 Phone: 403-329-1134 www.projectworx.ca

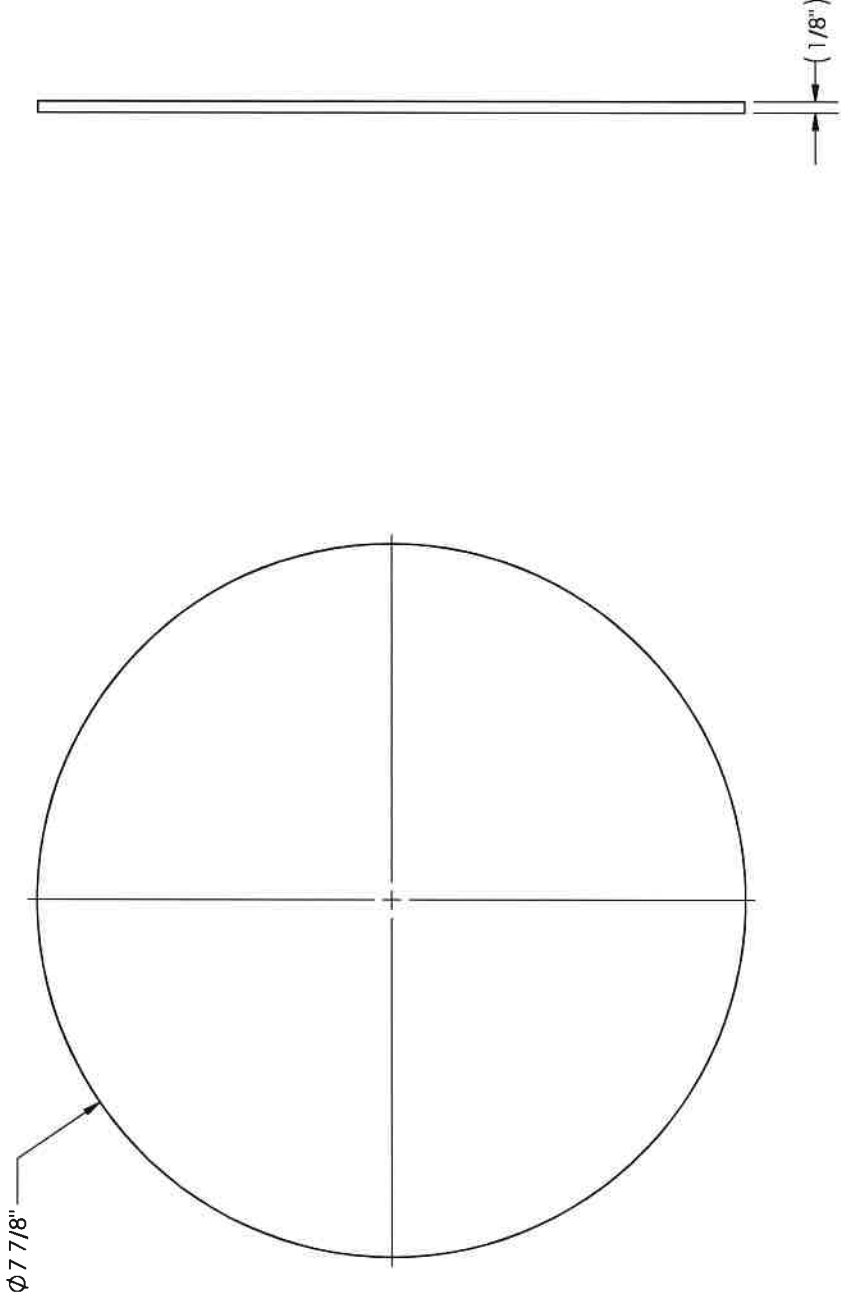
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ALL DIMENSIONS ARE IN INCHES			
TOLERANCES:	DATE	DESIGNED BY	REV.
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ANGULAR: FORMED: $\pm 1^\circ$	2021-11-30	DRAFTED BY	SCALE
MACHINED: $\pm 0.5^\circ$	THIRD ANGLE PROJECTION	LS	1:8
$\pm 1/32$ POSITIONING TOLERANCE		WEIGHT(LBS)	SHEET NO.
$\pm 1/32$ CONCENTRICITY TOLERANCE		12.864	1 OF 1
		MATERIAL	
		00924-1011	
		1/8 PL PERFORATED 6061-T6	
TOP PERF PANEL			



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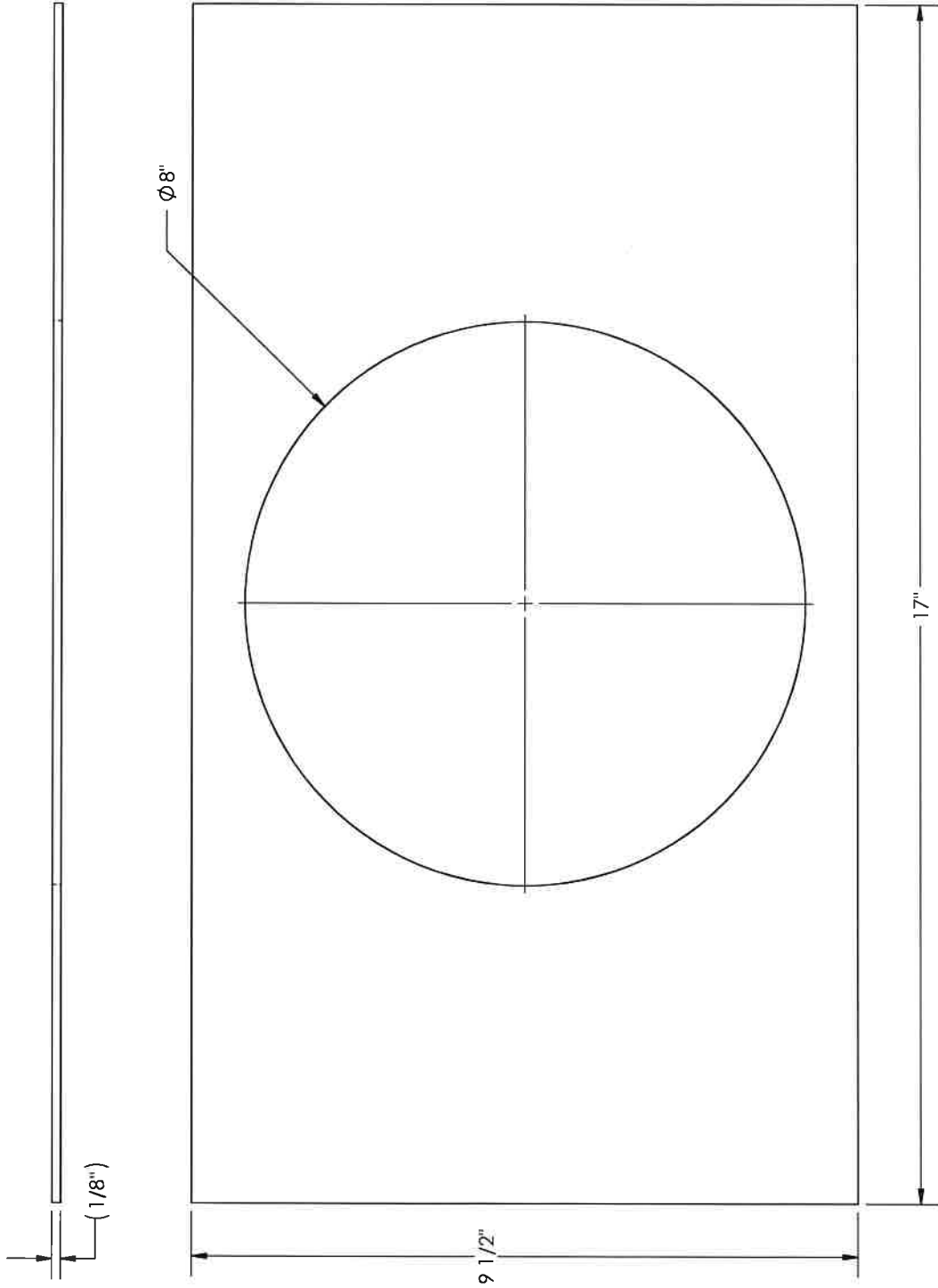
UNLESS OTHERWISE SPECIFIED:		DESCRIPTION	
ALL DIMENSIONS ARE IN INCHES		TOP CAP ROUND TUBE	
TOLERANCES: FRACTIONAL: 1/32	DATE (YYYYMMDD)	DESIGNED BY	REV.
ANGULAR: FORMED: ± 1° MACHINED: ± 0.5°	2021-11-30	JTH	00
POSITIONING TOLERANCE	THIRD ANGLE PROJECTION	DRAFTED BY	DWG. NO.
1/32	⊕	LS	00924-1012
CONCENTRICITY TOLERANCE	⊖	WEIGHT(LBS)	MATERIAL
1/32		4.374	8" X 1/8" WALL ROUND TUBE 6061-T6
			SHEET NO. 1 OF 1
			SCALE 1:4
			SHEET SIZE A



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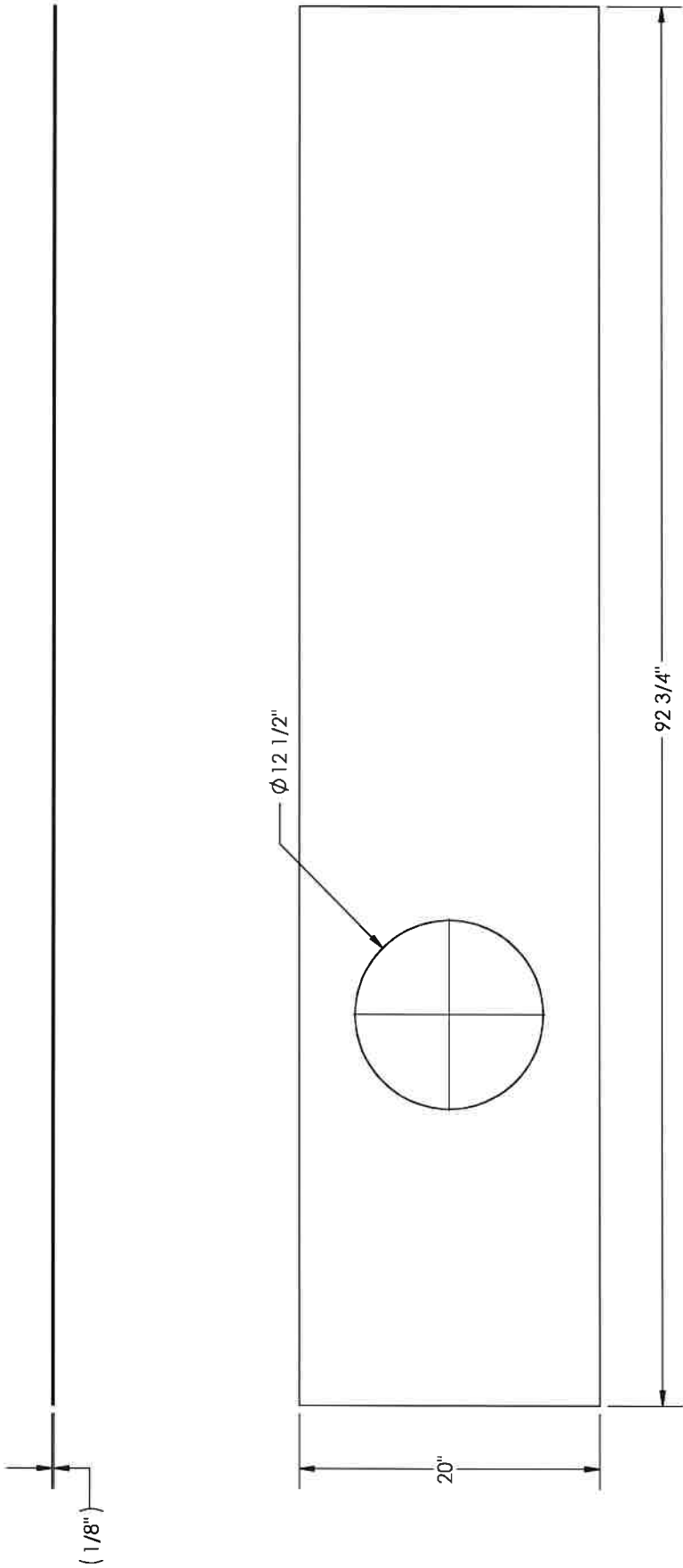
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ALL DIMENSIONS ARE IN INCHES			
TOLERANCES:		DWG. NO.	REV.
FRACTIONAL: $\pm 1/32$	DATE (YYYYMMDD)	00924-1013	00
ANGULAR: FORMED: $\pm 1^\circ$ MACHINED: $\pm 0.5^\circ$	2021-11-30		
Φ 1/32 POSITIONING TOLERANCE	THIRD ANGLE PROJECTION	SCALE 1:2	
\odot 1/32 CONCENTRICITY TOLERANCE		SHEET NO. 1 OF 1	
		MATERIAL 1/8 PL 5052-H32	
		WEIGHT(LBS) 0.589	
		DESIGNED BY JTH	
		DRAFTED BY LS	
		TOP CAP	



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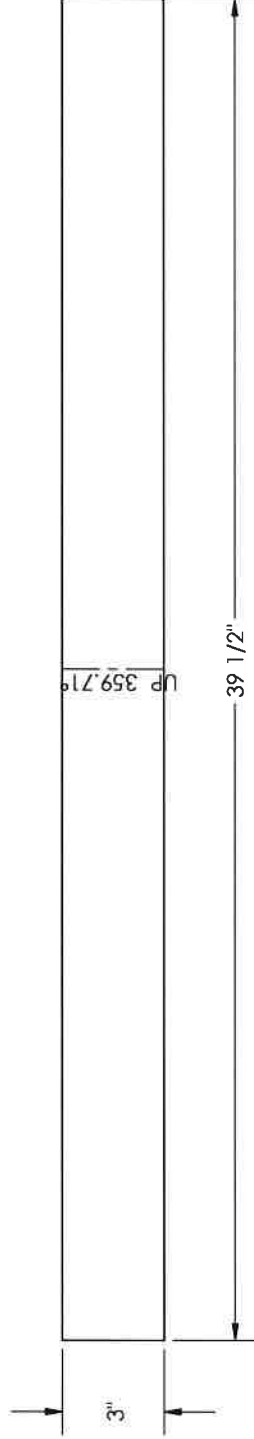
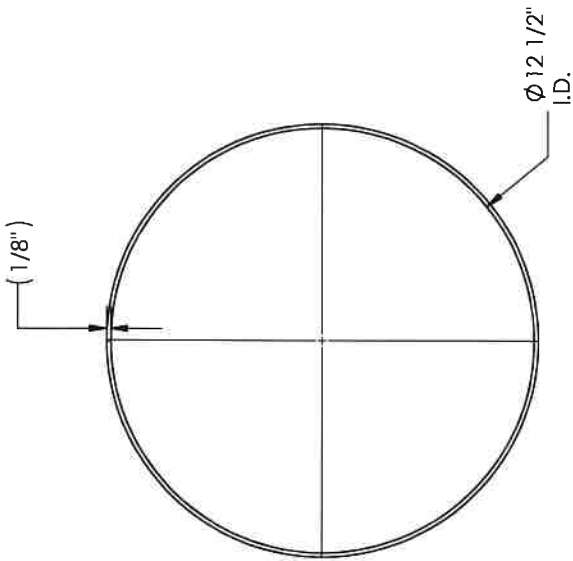
UNLESS OTHERWISE SPECIFIED:		DESCRIPTION	
ALL DIMENSIONS ARE IN INCHES		CAP BASE	
TOLERANCES: FRACTIONAL: ± 1/32 ANGULAR: FORMED: ± 1° MACHINED: ± 0.5°	DATE (YYYYMMDD) 2021-11-30	DESIGNED BY JTH	REV. 00
THIRD ANGLE PROJECTION	THIRD ANGLE PROJECTION	DRAFTED BY LS	SCALE 7:16
POSITIONING TOLERANCE 1/32	CONCENTRICITY TOLERANCE 1/32	WEIGHT(LBS) 1.346	SHEET NO. 1 OF 1
		MATERIAL 1/8 PL 5052-H32	



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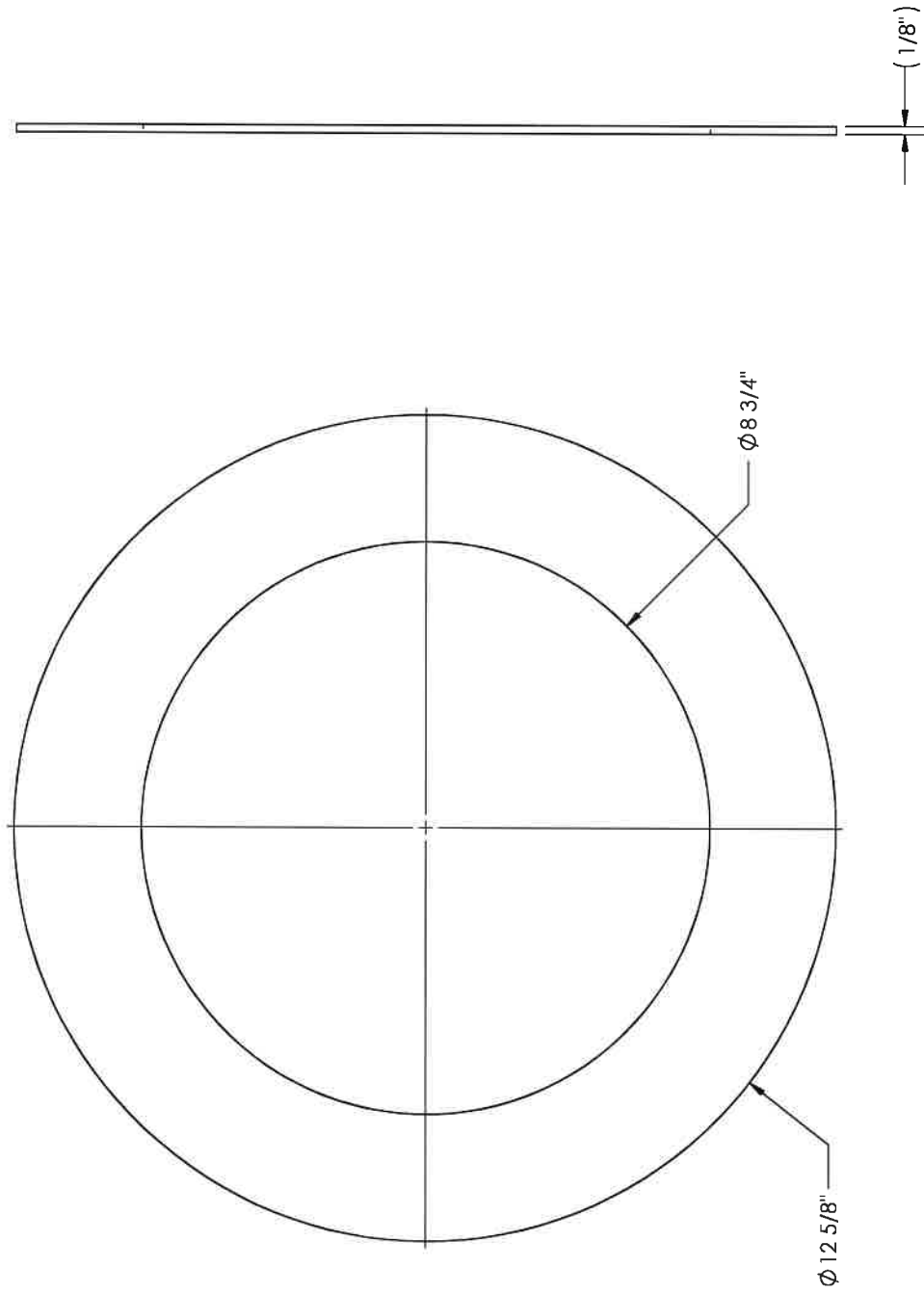
UNLESS OTHERWISE SPECIFIED: ALL DIMENSIONS ARE IN INCHES		DESCRIPTION BOTTOM PERF PANEL	
TOLERANCES: FRACTIONAL: $\pm 1/32$ ANGULAR: $\pm 1^\circ$	DATE (YYYYMM/DD) 2021-11-30	DESIGNED BY JTH	REV. 00
FORMED: $\pm 0.5^\circ$ MACHINED: $\pm 0.5^\circ$	THIRD ANGLE PROJECTION	DRAFTED BY LS	SCALE 3:32
ϕ 1/32 POSITIONING TOLERANCE	\circ CONCENTRICITY TOLERANCE	WEIGHT(LBS) 21.122	DWG. NO. 00924-1015
\circ 1/32			MATERIAL 1/8 PL PERFORATED 6061-T6
			SHEET NO. 1 OF 1
			SHEET SIZE A



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UNLESS OTHERWISE SPECIFIED: ALL DIMENSIONS ARE IN INCHES		DESCRIPTION		BOTTOM COLLAR	
TOLERANCES: FRACTIONAL: $\pm 1/32$ ANGULAR: FORMED: $\pm 1^\circ$ MACHINED: $\pm 0.5^\circ$	DATE (YYYYMMDD) 2021-11-30	DESIGNED BY JTH	DWG. NO. 00924-1016	REV. 00	SHEET SIZE A
\oplus 1/32 POSITIONING TOLERANCE	THIRD ANGLE PROJECTION	DRAFTED BY LS	WEIGHT (LBS) 1.434	SCALE 3:16	SHEET NO. 1 OF 1
\odot 1/32 CONCENTRICITY TOLERANCE			MATERIAL 1/8 PL 5052-H32		



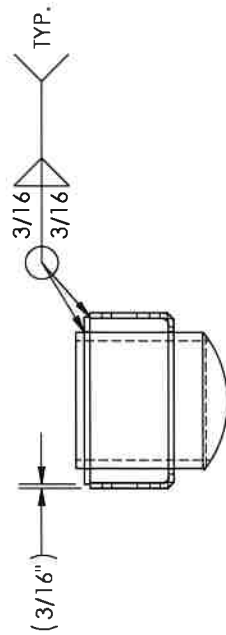
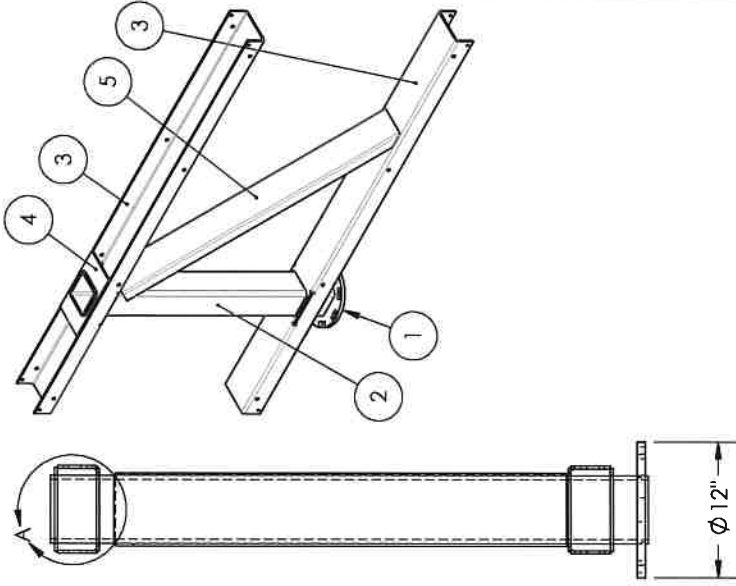
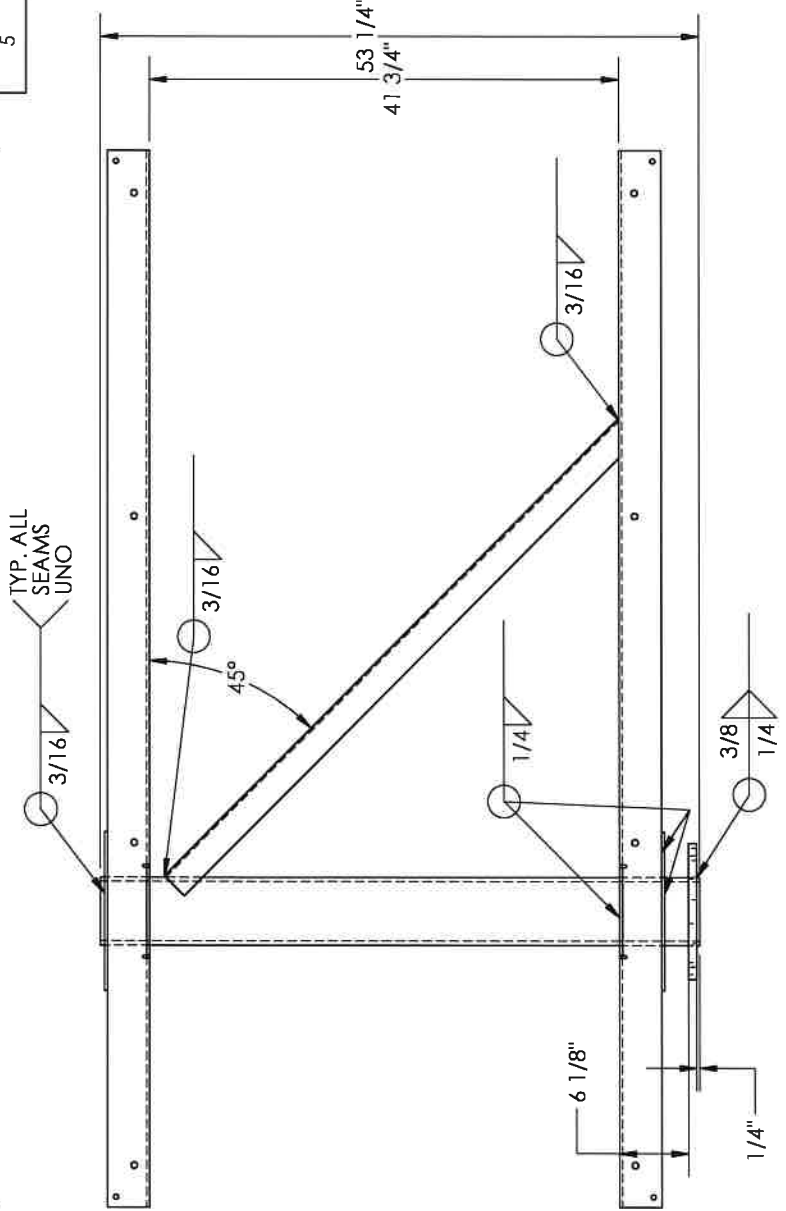
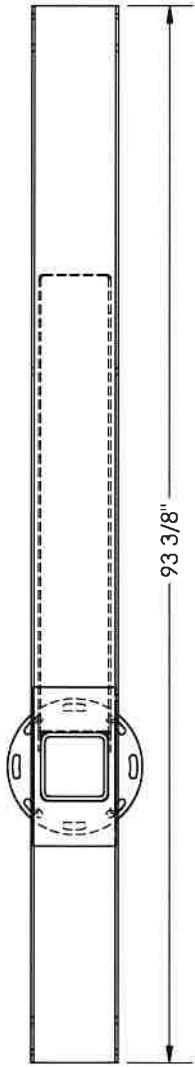
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UNLESS OTHERWISE SPECIFIED:		DESCRIPTION		BOTTOM COLLAR RING	
ALL DIMENSIONS ARE IN INCHES		DESIGNED BY		DWG. NO.	REV.
DATE		JTH		00924-1017	00
(YYYYMMDD)		LS		1/8 PL 5052-H32	A
2021-11-30		DRAFTED BY		SCALE	3/8
THIRD ANGLE PROJECTION		WEIGHT(LBS)		0.787	1 OF 1
TOLERANCES: FRACTIONAL: ± 1/32 ANGULAR: FORMED: ± 1° MACHINED: ± 0.5°		POSITIONING TOLERANCE			
1/32		CONCENTRICITY TOLERANCE			
1/32					

BILL OF MATERIALS

ITEM NO.	PART No.	REV.	DESCRIPTION	WT (LBS)	QTY
1	00924-1001	01	LED SIGN FRAME BASE PLT	14.243	1
2	00924-1002	00	LED SIGN FRAME MAIN VERT SPRRT	121.951	1
3	00924-1006	00	LED SIGN FRAME SIGN SPVRT CHNL	92.555	2
4	00924-1007	00	LED SIGN FRAME CAP	4.742	2
5	00924-1009	00	LED SIGN FRAME SIGN BRACE CHNL	32.513	1



DETAIL A
SCALE 1 : 8

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UNLESS OTHERWISE SPECIFIED:
ALL DIMENSIONS ARE IN INCHES

TOLERANCES:
FRACTIONAL: ± 1/32
ANGULAR: FORMED: ± 1°
MACHINED: ± 0.5°

POSITIONING TOLERANCE
CONCENTRICITY TOLERANCE

THIRD ANGLE PROJECTION

DATE
2022-01-11

DESIGNED BY
JTH

DRAFTED BY
LS

WEIGHT(LBS)
363.302

REVISION
CHANGES TO 00924-1001

LED SIGN MAIN FRAME WELDMENT

DWG. NO. 00924-1501

REV. 01

SHEET NO. 1 OF 1

SCALE 1:16

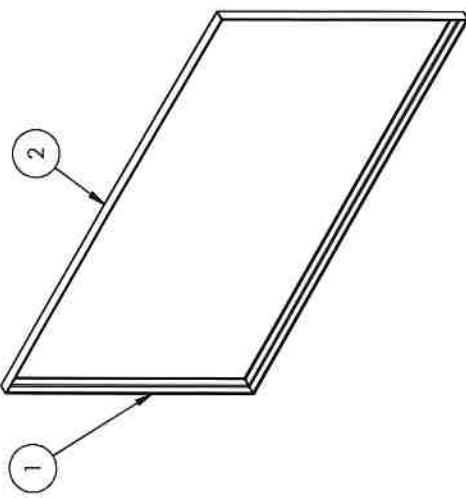
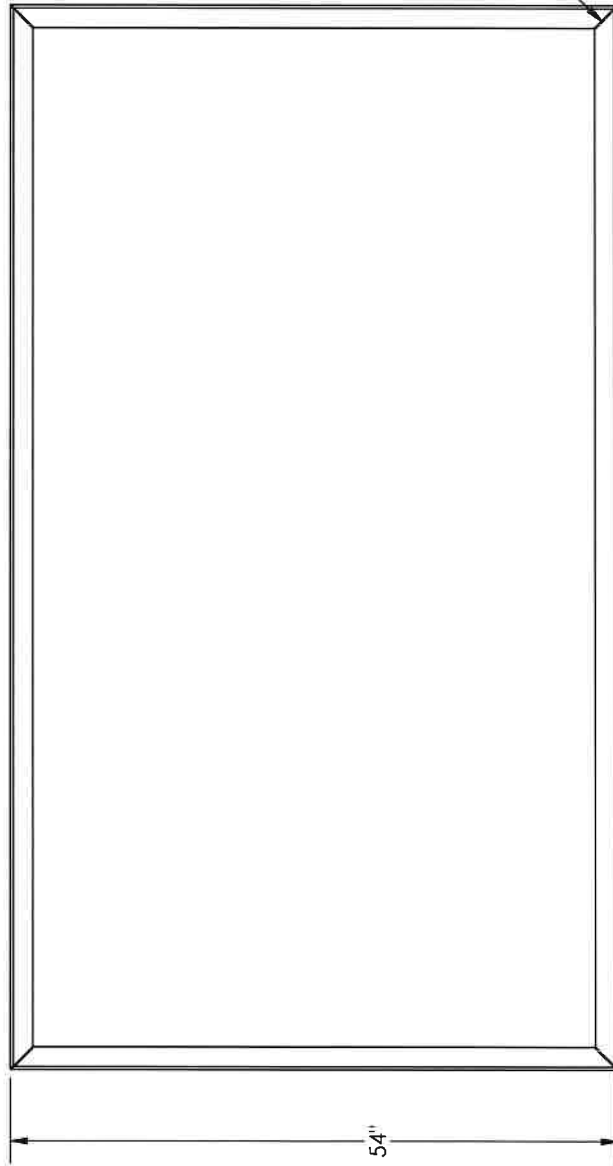
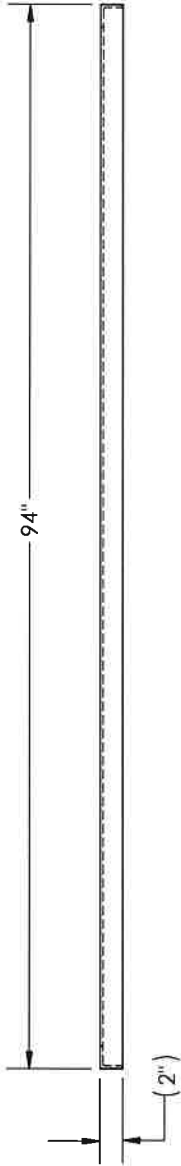
AS SHOWN

MATERIAL

AS SHOWN

1 OF 1

ITEM NO.	MATERIAL	LENGTH	ANGLE 1	ANGLE 2	QTY.
1	L2x2x0.25	53 31/32"	45°	45°	2
2	L2x2x0.25	93 31/32"	45°	45°	2



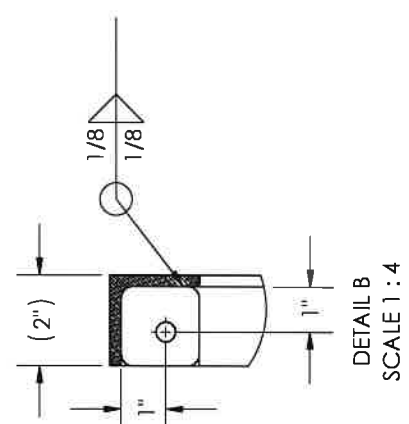
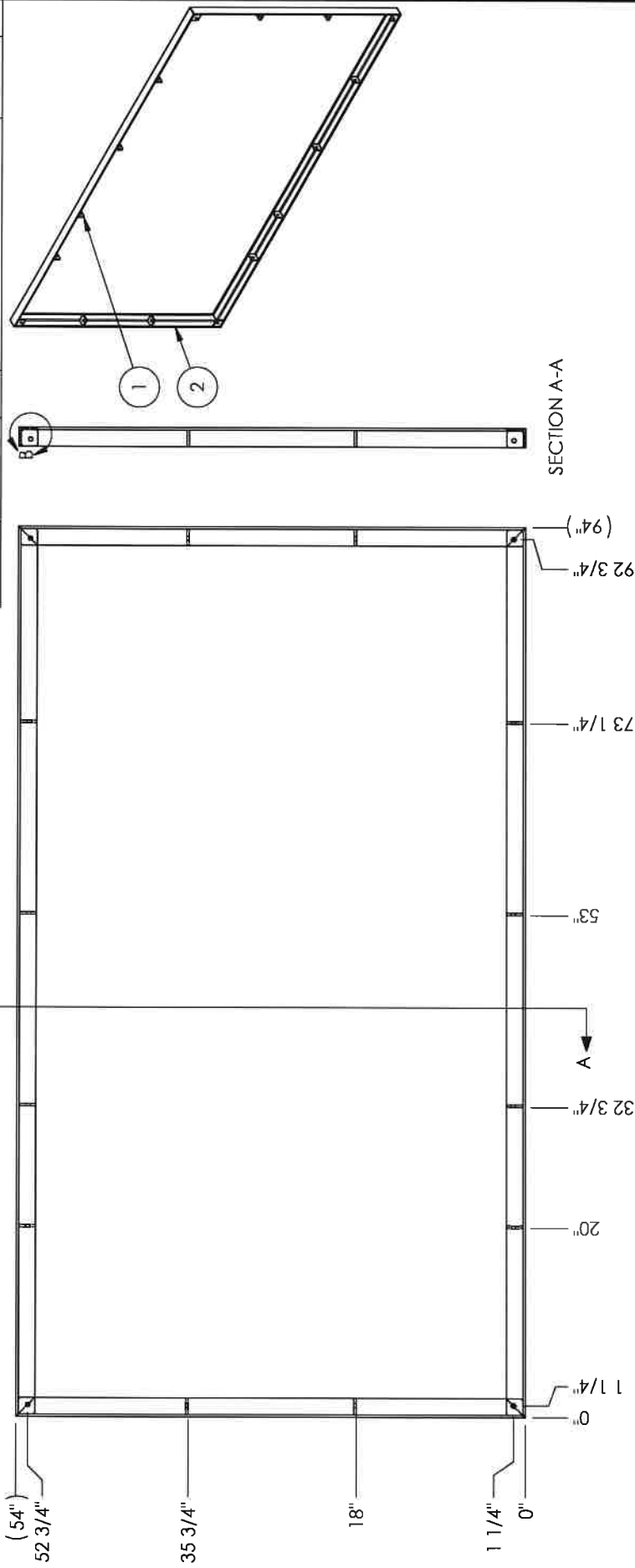
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UNLESS OTHERWISE SPECIFIED:		DESCRIPTION	
ALL DIMENSIONS ARE IN INCHES		SCREEN BORDER	
TOLERANCES:	DATE	DESIGNED BY	REV.
FRACTIONAL: ± 1/32	(YYYYMMDD)	JTH	00
ANGULAR: ± 0.5°	2021-11-30	DRAFTED BY	SCALE
POSITIONING TOLERANCE	THIRD ANGLE PROJECTION	LS	1:16
CONCENTRICITY TOLERANCE	WEIGHT(LBS)	MATERIAL	SHEET NO.
	26.816	L2x2x0.25	1 OF 1

BILL OF MATERIALS

ITEM NO.	PART No.	REV.	DESCRIPTION	WT (LBS)	QTY
1	00924-1003	00	SCREEN BORDER TAB	0.069	16
2	00924-1502	00	SCREEN BORDER	26.816	1



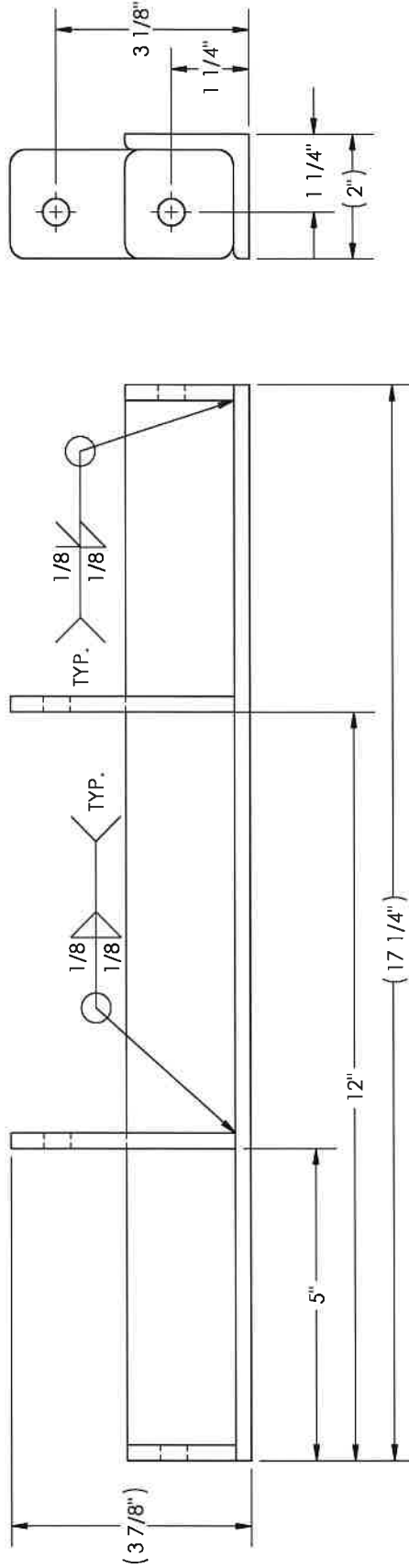
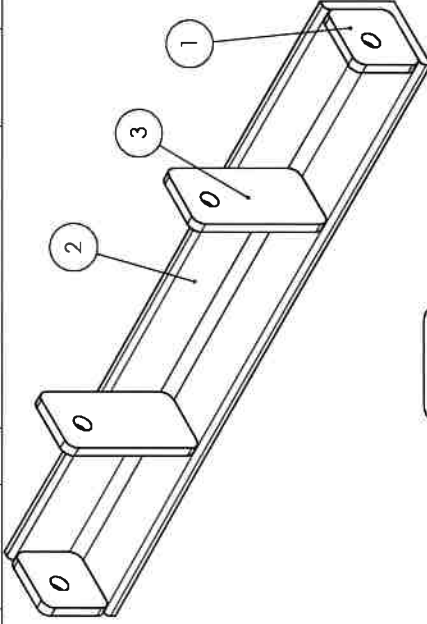
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Phone: 403-329-1134 www.projectworx.ca

UNLESS OTHERWISE SPECIFIED:		DESCRIPTION	
TOLERANCES:	(YYYYMMDD)	DESIGNED BY	REV.
FRACTIONAL: $\pm .102$	DATE	JTH	A
ANGULAR: FORMED: $\pm 1^\circ$	2021-11-30	DRAFTED BY	00
MACHINED: $\pm 0.5^\circ$	THIRD ANGLE PROJECTION	LS	00924-1503
\varnothing 1/32 POSITIONING TOLERANCE	\varnothing CONCENTRICITY TOLERANCE	WEIGHT (LBS)	MATERIAL
\varnothing 1/32	1/32	27.923	AS SHOWN
		SCREEN BORDER WLDT	
		SHEET NO. 1 OF 1	
		SCALE 1:16	

BILL OF MATERIALS

ITEM NO.	PART No.	REV.	DESCRIPTION	WT (LBS)	QTY
1	00924-1003	00	SCREEN BORDER TAB	0.069	2
2	00924-1004	00	BORDER TIE	1.589	1
3	00924-1008	00	BORDER TIE LONG TAB	0.149	2



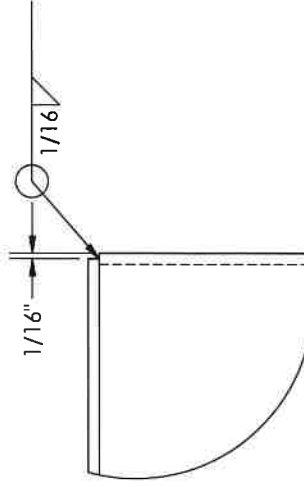
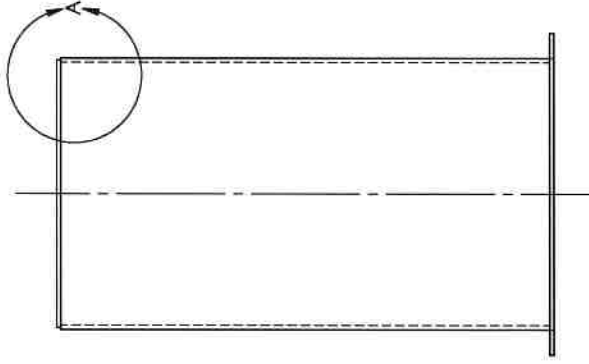
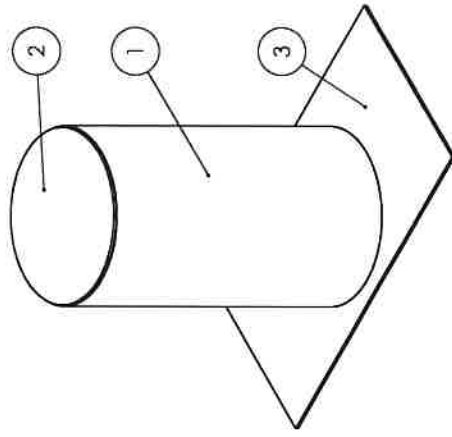
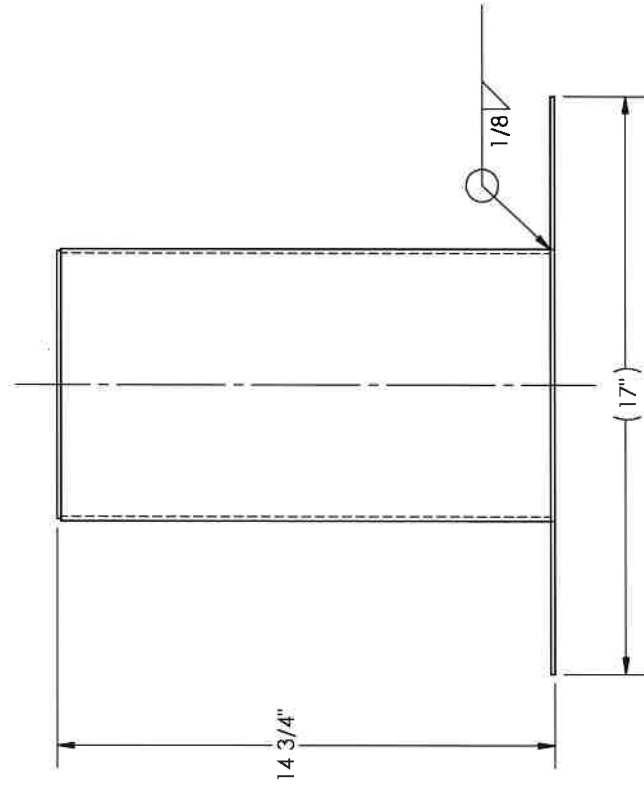
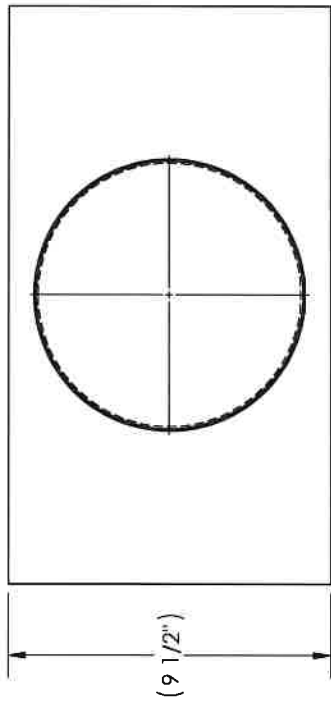
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UNLESS OTHERWISE SPECIFIED:		DESCRIPTION	
ALL DIMENSIONS ARE IN INCHES		BORDER TIE WLDT	
TOLERANCES:	DATE	DESIGNED BY	REV.
FRACTIONAL: $\pm 1/32$	(YYYYMMDD)	JTH	A
ANGULAR: FORMED: $\pm 1^\circ$	2021-11-30	DRAFTED BY	SCALE
MACHINED: $\pm 0.5^\circ$	THIRD ANGLE PROJECTION	LS	3:8
\varnothing 1/32 POSITIONING TOLERANCE	\varnothing CONCENTRICITY TOLERANCE	WEIGHT(LBS)	SHEET NO.
\varnothing 1/32 TOLERANCE	\varnothing TOLERANCE	2.024	1 OF 1
		MATERIAL	AS SHOWN
		DWG. NO.	00924-1504
		REV.	00

BILL OF MATERIALS

ITEM NO.	PART No.	REV.	DESCRIPTION	WT (LBS)	QTY
1	00924-1012	00	TOP CAP ROUND TUBE	4.374	1
2	00924-1013	00	TOP CAP	0.589	1
3	00924-1014	00	CAP BASE	1.346	1



DETAIL A
SCALE 1 : 2

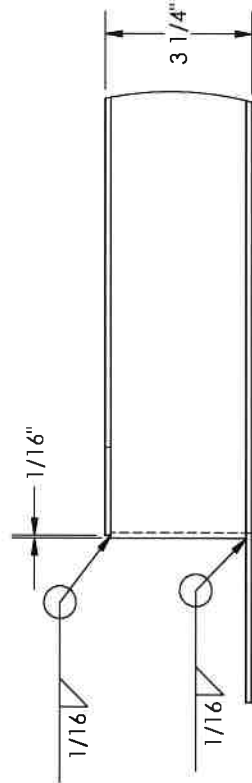
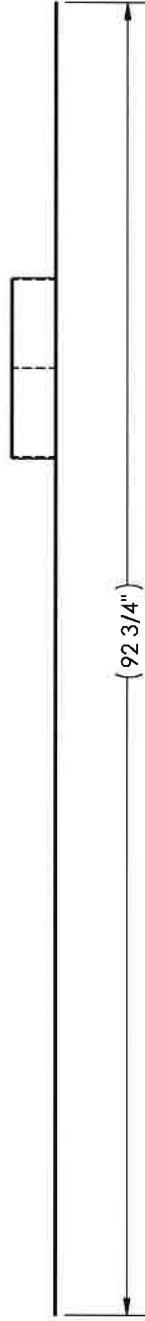
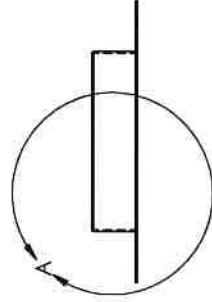
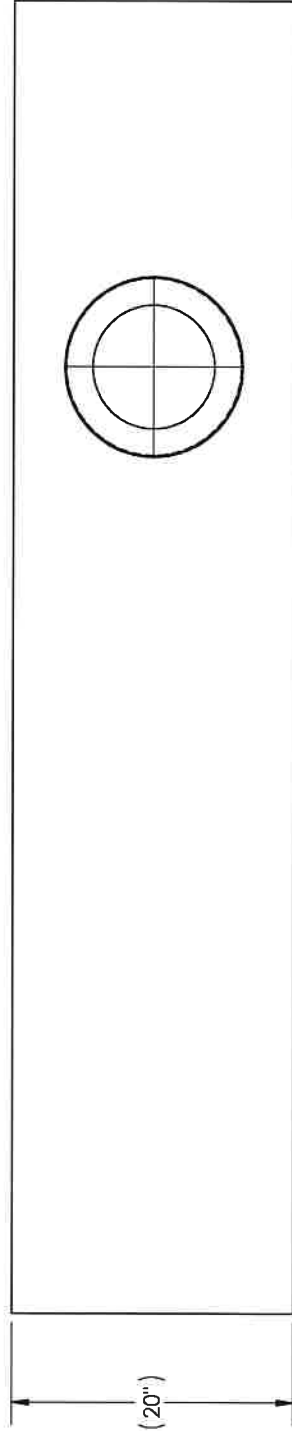
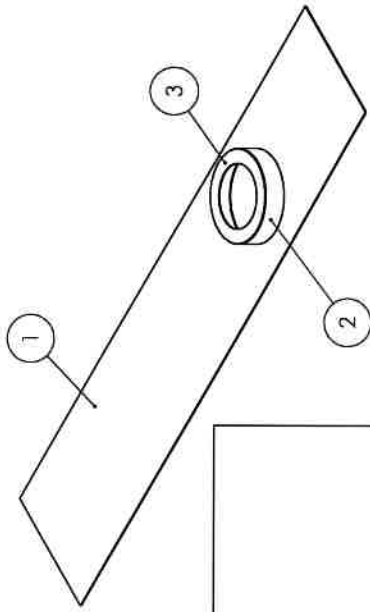
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UNLESS OTHERWISE SPECIFIED:		DESCRIPTION	
ALL DIMENSIONS ARE IN INCHES		CAP WLDT	
TOLERANCES: FRACTIONAL: ± .002 ANGULAR: MACHINED: ± 0.5°	DATE (YYYYMMDD) 2021-11-30	DESIGNED BY JTH	REV. SHEET SIZE 00 A
POSITIONING TOLERANCE 1/32	THIRD ANGLE PROJECTION	DRAFTED BY LS	SCALE 3:16
CONCENTRICITY TOLERANCE 1/32	WEIGHT (LBS) 6.310	MATERIAL	SHEET NO. 1 OF 1
		AS SHOWN	

BILL OF MATERIALS

ITEM NO.	PART No.	REV.	DESCRIPTION	WT (LBS)	QTY
1	00924-1015	00	BOTTOM PERF PANEL	21.122	1
2	00924-1016	00	BOTTOM COLLAR	1.439	1
3	00924-1017	00	BOTTOM COLLAR RING	0.787	1



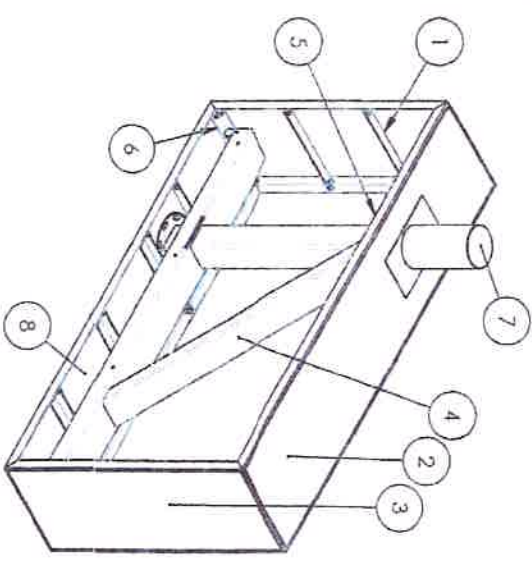
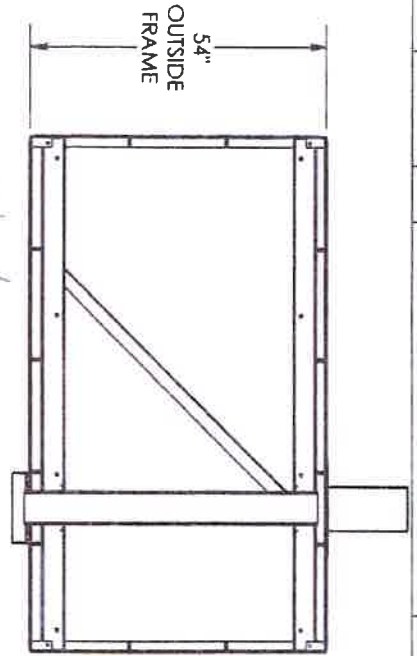
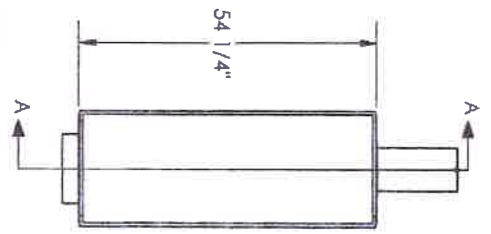
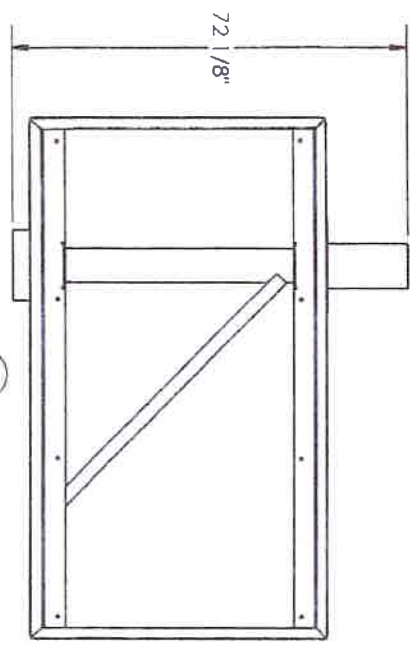
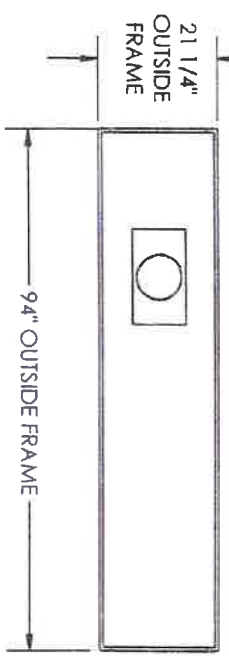
DETAIL A
SCALE 1 : 4

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UNLESS OTHERWISE SPECIFIED:		DESCRIPTION		REV.	
ALL DIMENSIONS ARE IN INCHES		BOTTOM PERF PLATE WLDT		REV. 00	
DATE (YYYYMMDD)		DESIGNED BY	DWG. NO.	SHEET SIZE	
2021-11-30		JTH	00924-1506	A	
TOLERANCES: FRACTIONAL: $\pm 1/32$ ANGULAR: $\pm 1^\circ$ MACHINED: $\pm 0.5^\circ$		DRAFTED BY	WEIGHT(LBS)	SCALE	
THIRD ANGLE PROJECTION		LS	23.348	5/64	
POSITIONING TOLERANCE		MATERIAL		SHEET NO.	
CONCENTRICITY TOLERANCE		AS SHOWN		1 OF 1	

00924-1701



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NOTES:
1. WELDING TO CONFORM TO CWB W47.1 & W59 MATERIAL MINIMUMS:
1. HSS - G40.21 350W (50W)
2. ANGLE/PLATE - G40.21 300W (44W)
FASTENERS TO BE ASTM A325 POST AND FOUNDATION RESPONSIBILITY OF OTHERS SIGN APPROVED FOR INSTALLATION: INTABER, AB

BILL OF MATERIALS				
ITEM NO.	PART No.	REV.	DESCRIPTION	WT (LBS)
1	00924-1005	00	LED SIGN FRAME MNTG FORMED ANGLE	1.224
2	00924-1010	00	TOP PERF PANEL	22.618
3	00924-1011	00	TOP PERF PANEL	12.864
4	00924-1501	01	LED SIGN MAIN FRAME WELDMENT	363.302
5	00924-1503	00	SCREEN BORDER WLDT	27.923
6	00924-1504	00	BORDER TIE WLDT	2.024
7	00924-1505	00	CAP WLDT	6.310
8	00924-1506	00	BOTTOM PERF PLATE WLDT	23.348

Projectwork
Engineering & Fabrication

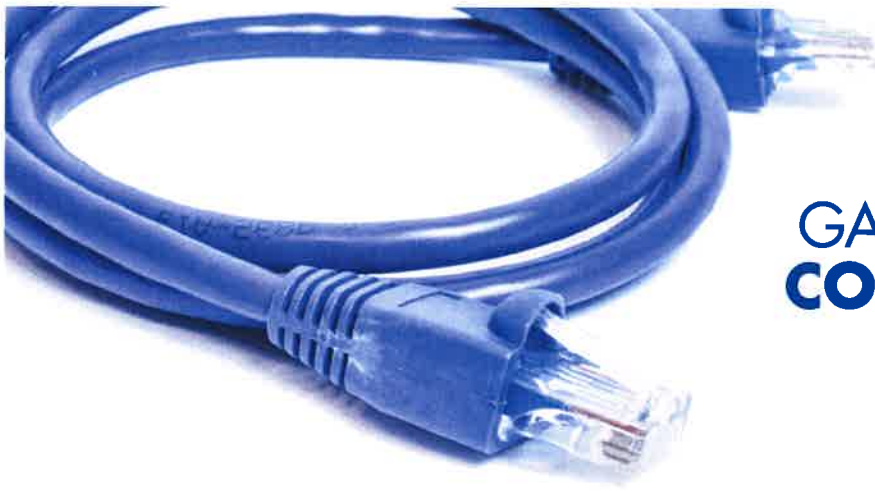
UNLESS OTHERWISE SPECIFIED:
ALL DIMENSIONS ARE IN INCHES.

TOOLERANCES: FRACTIONAL: ± 1/32 ANGULAR: MACHINED: ± 0.5°	DATE 2022-01-11
POSITIONING TOLERANCE 1/32	THIRD ANGLE PROJECTION
CONCENTRICITY TOLERANCE 1/32	DESIGNED BY JTH
	DRAWN BY LS
	WEIGHT(LBS) 519.939
	MATERIAL

DESCRIPTION LED SIGN FRAME ASSEMBLY	DWG NO. 00924-1701	REV. 01	SHEET SIZE A
DESIGNED BY JTH	DRAWN BY LS	SCALE 1:32	SHEET NO. 1 OF 1
WEIGHT(LBS) 519.939	MATERIAL	AS SHOWN	

NO.	REVISION	REV BY	APPR BY	DATE
1	CHANGES TO 00924-1501	JTH	JTH	2022-01-11

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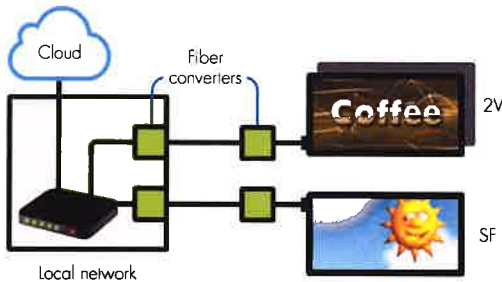


GALAXY GS6 & DVX COMMUNICATION

The Galaxy GS6 displays need an Internet connection to reach out to the cloud-based Venus Control Suite for content and schedule updates. Daktronics offers several Ethernet-based communication options for internet access.

PERFORMANCE TRAITS

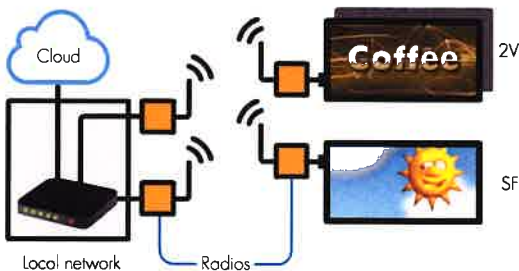
	ETHERNET FIBER OPTIC	ETHERNET BRIDGE RADIO	ETHERNET WIRE	CUSTOMER REMOTE CELLULAR	DAKTRONICS-VERIZON CELLULAR
Max. distance from local network to display	1.2 miles	1,500 ft	250 ft	unlimited	unlimited
Reliability	best	good	good	good	good
Noise immunity	best	good	good	good	good
Data speed	best	good	best	good	good
Requires customer network with internet connection	yes	yes	yes	no	no



ETHERNET FIBER OPTIC

Fiber Optic is the fastest and most reliable communication option offered. Electrically isolated fiber optics prevent damage due to electromagnetic interference from lightning or electrical storms.

- › Provides a fiber optic connection to Local Area Network for internet access
- › Distance from the Ethernet network router to the display must be less than 6,547 ft (2,000 m)
- › This option requires fiber-optic signal converters and multi-mode fiber-optic cables



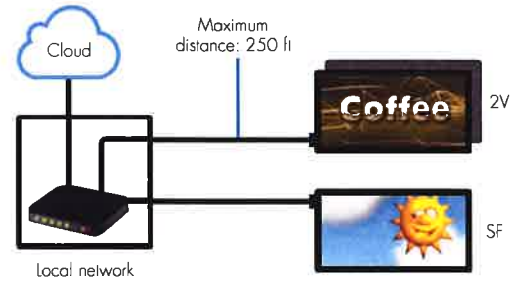
ETHERNET BRIDGE RADIO

- › Provides a wireless connection to Local Area Network for internet access
- › Use this option when Ethernet Fiber cannot be pulled and the distance from the Ethernet network router to the display is less than 1,500 ft (450 m)
- › This option requires outdoor installation for direct line of sight between server radio at the building and client radio at the display
- › This option is not recommended where significant RF interference exists (RF interference could be caused by cellular towers, radio/TV stations, wireless headsets, etc.)

Note: Wireless communication devices may be affected by site-specific conditions. Daktronics does not guarantee that wireless communication is suitable for every location.

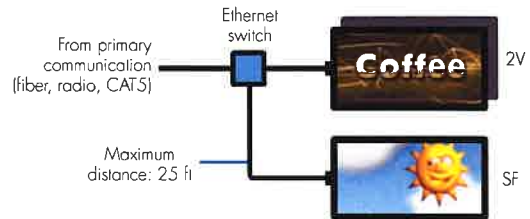
ETHERNET WIRE

- › Provides a wired connection to Local Area Network for internet access
- › Use when Ethernet Fiber cannot be pulled and the distance from the Ethernet network router to the display is less than 250 ft (76.2 m)



ETHERNET SWITCH

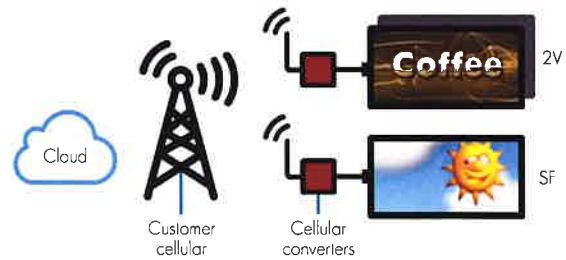
- › Provides a single connection type to multiple displays from Ethernet Bridge Radio, Ethernet Fiber or Ethernet Wire
- › Displays must be within 25 ft
- › This requires each display to have different IP addresses



CUSTOMER-PROVIDED REMOTE CELLULAR

- › Provides an Internet connection without a Local Network
- › Avoid customer's network by having the display connect directly via customer's cellular service
- › Use when there is not a Local Area Network or internet connection available on site

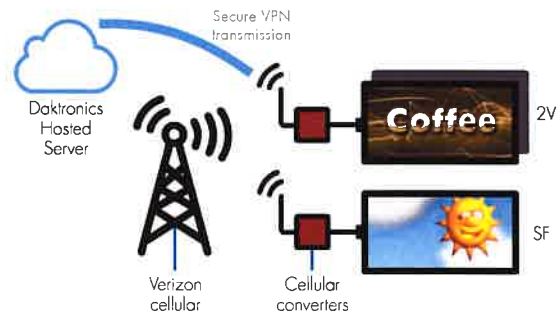
Note: Each display must be located in a reliable cellular signal area. This connection does require a cellular service.



DAKTRONICS-VERIZON LIFETIME DATA CELLULAR COMMUNICATION

- › Secure data transfer through virtual private network (VPN)
- › Enjoy freedom from IT hassles or network security concerns
- › Transfer content quicker with 4G data speed
- › Use when there is not a Local Area Network or internet connection available on site
- › Simplified communication setup reduces installation effort and costs

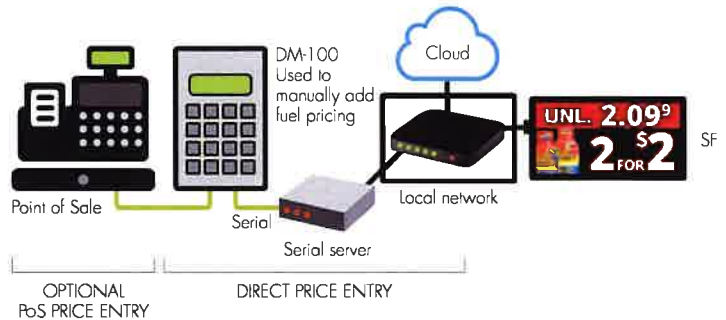
Note: Each display must be located in an adequate Verizon coverage area.



GALAXY FUEL PRICE DATA KIT

Share fuel prices and promotions on the same display at the same time with the Galaxy GS6 Fuel Price Data Kit.

- › Store up to five fuel grades in the DM-100 handheld
- › Change prices without accessing Venus Control Suite
- › Update prices without an internet connection
- › Use also with Ethernet Bridge Radio, Ethernet Fiber or Ethernet Wire to Local Area Network





Development Authority Request for Decision

Meeting Date: February 22, 2022

Subject:

PS 22-001 - 6200 46 Avenue - Portable Sign

Recommendation:

That the Municipal Planning Commission approves Development Permit PS 22-001 for a Portable Sign at 6200 46 Avenue, Lot 2, Block 4, Plan 0512581, with the following eight (8) conditions:

1. This permit is for a portable sign to be placed in the location shown on the attached map;
2. This permit is valid until June 22, 2023;
3. The sign must not be greater than 5.5m², and must not exceed 3.5m in height;
4. The sign must be placed so that it meets the setback requirements of Land Use Bylaw 13-2020 and shall be at least 0.6m from a property line and at least 45m from any other portable sign and from Residential Districts;
5. The name and phone number of the sign owner must be permanently affixed to the sign in a visually prominent location on the sign;
6. The sign must be anchored or secured, and changeable copy on Portable signs must be secured to prevent vandalism;
7. The owner shall maintain the sign in a proper state of repair and shall ensure that all sign support, structural elements and/or guy wires are properly attached;
8. The sign must be removed, or the permit must be renewed on or before the expiry date.

Background:

Administration has received an application for a temporary portable sign to be located at 6200 46 Avenue. The purpose of the sign will for advertising hiring for a business on the property that will be opening soon.

Legislation / Authority:

Bylaw 10-2018 - Subdivision and Development Authority and MPC Bylaw, Section 8(b) The Municipal Planning Commission shall be the Development Authority for Development Permit applications for Discretionary Uses.

Strategic Plan Alignment:

Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.

Financial Implication:

The applicant has paid the appropriate application fees which will cover costs of advertising and notifications.

Service Level / Staff Resource Implication:

Administration's time was required for the review and processing of the application.



Justification:

Approving this application would allow applicant to advertise for help on the location that they will be hiring for. The sign is temporary in nature and would require a renewal to remain after the initial time period is up. This is a commercial area and there should not be any negative impacts to the neighbouring business from the placement of the sign.

Alternative(s):

Alternative #1: That the Municipal Planning Commission Development Permit PS 22-001 for a Portable Sign at 6200 46 Avenue, Lot 2, Block 4, Plan 0512581, with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit PS 22-001 for a Portable Sign at 6200 46 Avenue, Lot 2, Block 4, Plan 0512581, with reasons.

Attachment(s): Application
 Site Plan

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



SIGN PERMIT APPLICATION

TOWN OF TABER: A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-8009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME:

MAILING ADDRESS:

TOWN: POSTAL CODE:

EMAIL: PHONE NUMBER:

Land Owner Information (if different from applicant)

OWNER NAME:

MAILING ADDRESS:

TOWN: POSTAL CODE:

EMAIL: PHONE NUMBER:

Property Information (location of sign)

MUNICIPAL ADDRESS:

LOT(S): BLOCK: PLAN:

Type of Sign

TYPE OF SIGN(S) PROPOSED (check all that apply)

- Banner Billboard Canopy Fascia Freestanding
- Inflatable Portable Projecting Roof
- Other

WHAT TYPE OF INFORMATION THAT WILL BE DISPLAYED? (check all that apply)

- On-site Business Information On-site Business Advertising 3rd Party Advertising
- Other

Sign Construction Details

WHAT WILL THE SIGN BE COMPOSED OF? (check all that apply)

- Metal Wood Plastic
 Other _____

WILL THE SIGN BE ILLUMINATED?

- Yes
 No

SIGN DIMENSIONS: Area: _____ Length 10 Depth _____ Height 5

DOES THE SIGN REQUIRE ANY WAIVERS?

Note that all waiver requests must go to the Municipal Planning Commission.

- Setback Sign Height Sign Size
 Other _____

Start Date and Cost

ESTIMATED START DATE: FEBRUARY 15, 2022 ESTIMATED COST: \$200

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: _____

DATE: 01/27/2022

REGISTERED OWNER SIGNATURE: _____

DATE: 01/31/2022

PLANNING OFFICER SIGNATURE: _____

DATE: 02/02/2022

The personal information on this form is being collected for the purpose of reviewing your application to the municipality of the Town of Taber. The information is collected under the authority of Section 146 of the Municipal Government Act (MGA) and Section 33 of the Freedom of Information and Protection of Privacy Act (FOIPPA). Under Section 33 of the FOIPPA Act, the Town of Taber reserves the right to collect information that relates directly to and is necessary for an operating program or activity of the public body. Names of applicants will be provided to the public. If you have any questions about the collection of this information, please contact the FOIPPA coordinator at 403-223-5500 ext. 5519.

Note: This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction.

Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).

Development Application Submission Requirements

THE FOLLOWING ITEMS MUST BE INCLUDED WITH YOUR APPLICATION (1 copy of each)

- Site Plan Sign Rendering
-

SITE PLAN REQUIREMENTS:

- Lot dimensions
- Dimensions and locations of all existing and proposed structures (including structures under 10m²)
- Dimensions and locations of all existing and proposed signs
- All utility right of ways and easements located within or directly adjacent to the site
- Distances between all structures, signs, and property lines
- Site access with dimensions
- Adjacent roads and lanes
- North arrow
-

SIGN RENDERING REQUIREMENTS

- Dimensions of sign, and height from finished grade
- Dimensions of all supporting structures
- Sign materials, features, and colours to be used
-

SIGNAGE APPLICATION:

DESCRIPTION: WENDY'S NOW HIRING SIGN

TYPE OF SIGN: PORTABLE SIGN – NON PERMANENT

LOCATION OF SIGN: REQUESTING TO PLACE SIGN ON PROPERTY. THE SIGN WOULD BE FACING TOWARDS THE HIGHWAY (NORTHBOUND). PLEASE REVIEW THE ATTACHED PHOTO. THE PROPOSED SIGN WOULD BE PLACED APPROXIMATELY CLOSE TO FENCE LINE, WHICH IS PROPERTY LINE.

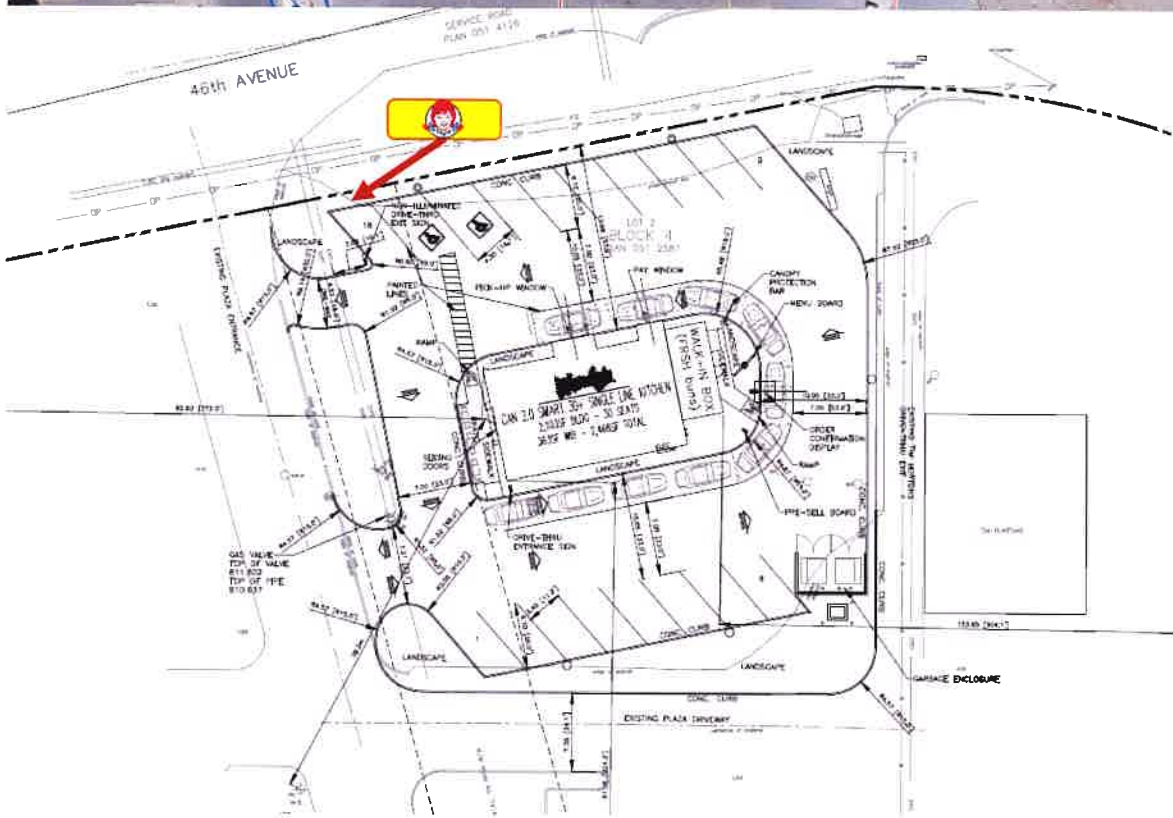
REQUESTING FOR APPROVAL: THIS IS ONLY A TEMPORARY SIGN FOR 1-2 MONTHS TOPS. THE PURPOSE OF THIS SIGN IS FOR RECRUITMENT IN THE TOWN OF TABER.

NAME: RYAN THAI

PHONE: 403-332-0176

EMAIL: ryanthai@tollestrup.com





Development Authority Request for Decision

Meeting Date: February 22, 2022

Subject:

Proposed Land Use Bylaw Amendments

Recommendation:

Discussion is recommended.

Background:

Administration has created several proposed amendments to Land Use Bylaw 13-2020 to address changes in regulation, clerical errors, and to address areas not previously in the Land Use Bylaw. Bylaw 13-2020 was adopted by Council on November 23, 2020, as with all Land Use Bylaws, it is considered a living document and revisions are often required as Administration identifies gaps, legislation is changed, and the community grows.

Bylaw 8-2021 was adopted by Council on April 12, 2021 in order to add a new Land Use District to the Land Use Bylaw. The Direct Control 4 (DC-4) District was created to appropriately regulate development in the Meadows of Taber manufactured housing neighbourhood. In late 2021 it was identified that the setbacks adopted for this district were not what was agreed upon between Administration and the Developer, Douglas J. Bergen & Associates. The proposed amendment to Land Use Bylaw 13-2020 will repeal the DC-4 amendment and reinsert the district with the corrected setbacks into the Land Use Bylaw in the new amendment.

The proposed changes include:

1. Fixing clerical errors;
2. Clarifying the maximum floor area for accessory structures;
3. Adding standards for Solar Energy Collectors (SECS) and adding the use in all land use districts. Currently residents installing solar panels on their home or business have not needed a Development Permit. With the addition of this use, a permit will be required to ensure the development standards are met and to better assist Taber Fire Department in identifying buildings with solar panels when they are on a call;
4. Adding and updating parking requirements;
5. Updating the maximum allowable driveway widths to better reflect today's development standards and reduce the number of projects that require waivers for driveway widths;
6. Adding shipping containers as a temporary use for construction purposes in residential districts. Previously, shipping containers have not been permitted in residential areas at all. This amendment will allow residents to use a shipping container on a temporary basis for moving or temporary storage while renovating;
7. Limiting election signs to one sign per candidate every 15 meters to reduce distractions while driving;
8. Clarifying portable sign requirements for community events;

9. Adding Apiaries as a Use and providing development standards. Apiculture was added to the Exotic and Wild Animal Bylaw 23-2021 in January 2022, adding it to the Land Use Bylaw regulates where apiculture can be located;
10. Correcting the DC-4 Development Standards;
11. Adding Slab on Grade House as a use, to allow for homes to be built on site in the Meadows in a manner that fits with the development. This will allow an additional building opportunity for residents in the Meadows and was indicated by a resident as something that was desired to build accessible homes; and
12. Updating the use definition for Childcare, removing the statement that overnight care is not permitted, this is in line with current legislation and was requested by a local business looking to expand their services;

Administration would like to request that the Municipal Planning Commission provide direction on the Residential Manufactured Home District. Currently, Accessory Uses and Accessory Structures are discretionary uses in the RMH district. This requires all decks, sheds, or other accessory uses, regardless of size, to be brought to the MPC for decision. Permit fees for discretionary uses are \$200 more to cover the cost of advertising, making a shed in this district \$250, rather than \$50. Moving the Accessory Use and Accessory Structure out of discretionary uses and into permitted uses would allow the Planning Officer to issue permits for these uses and allow residents to have up to two accessory structures per lot. The Land Use Bylaw does give the Planning Officer the authority to refer any application to the MPC, so it would still be possible to bring items to the MPC if they were unusual or contentious. On the contrary, having these items listed as discretionary provides an extra level of control over the districts feel as is the case with architectural controls in newer neighbourhoods or Condo Bylaws in areas governed by a Condo Association. Administration asks that the MPC indicate their preference so it can be included in the amendment if necessary.

Once Bylaw 2-2022 to amend the Land Use Bylaw 13-2020 is adopted by Council Administration will consolidate the amendments into the larger document for easier understanding and accessibility.

Legislation / Authority:

Section 692 of the MGA allows for amendments to the Land Use Bylaw.

Strategic Plan Alignment:

Develop Community & Promote Growth – Review Town Policies and regulations that pertain to development.

Financial Implication:

Cost of advertising.

Service Level / Staff Resource Implication:

Land use bylaw amendments fall under the regular duties of the Planning Department.



Justification:

Amendments to the Land Use Bylaw will provide greater clarity by fixing clerical errors identified in the bylaw, bringing the Town up to date with current legislation, and providing standards for developments not currently regulated by the Land Use Bylaw such as solar panels on residential buildings.

Alternative(s):

1. That the Municipal Planning Commission accepts proposed Bylaw 2-2022 to amend Land Use Bylaw 13-2020 as information and recommends adoption by Council with the following amendments to Schedule A:
 1. Remove section 3.11 and 3.13.
2. That the Municipal Planning Commission accepts proposed Bylaw 2-2022 to amend Land Use Bylaw 13-2020 as information and recommends adoption by Council as presented.

Attachment(s): Proposed Bylaw 2-2022 - Land Use Bylaw Amendments

APPROVALS:

Originated By:
Kattie Schlamp

Chief Administrative Officer (CAO) or Designate: _____

TOWN OF TABER
BYLAW NO. 2-2022

BEING A BYLAW OF THE TOWN OF TABER, IN THE PROVINCE OF ALBERTA, FOR THE PURPOSE OF AMMENDING THE TOWN OF TABER LAND USE BYLAW 13-2020 WITHIN THE TOWN OF TABER.

WHEREAS section (640) of the Municipal Government Act (Alberta, R.S.A. 2000, Chapter M-26, and amendments thereto) permits a Council to prohibit or regulate and control the use and development of land and buildings in a municipality by passing a land use bylaw;

AND WHEREAS the Council of the Town of Taber adopted Land Use Bylaw No. 13-2020;

AND WHEREAS Council deems that the purpose of proposed Bylaw No. 2-2022 is to undertake a series of amendments as identified in the attached 'Schedule A' in order to correct, clarify and add to existing Land Use Bylaw 13-2020 and align it with Provincial Acts and Regulations;

AND WHEREAS theses amendments include, but are not limited to, clarifying provisions of regulations, development standards, land uses and definitions;

NOW THEREFORE the Council of the Town of Taber in the Province of Alberta, duly assembled, hereby enact as follows:

1.0 GENERAL

- 1.1 That the attached 'Schedule A' provides a list of all the amendments to Land Use Bylaw 13-2020 for consolidation.

2.0 INTENTION OF TOWN COUNCIL

It is the intention of the Town Council that each separate provision of this Bylaw shall be deemed independent of all other provisions herein and it is further the intention of the Town Council that if any provision of the Bylaw be declared invalid, all other provisions thereof shall remain valid and enforceable.

3.0 RESCINDED OR AMENDED BYLAWS

- 3.1 Bylaw 13-2020 being the Land Use Bylaw is herby amended as indicated in the attached 'Schedule A'.
3.2 Bylaw 8-2021 being the Land Use Bylaw DC-4 Amendment is herby repealed in its entirety.

4.0 EFFECTIVE DATE

This Bylaw shall take effect on the day of the final passing and the signatures of the chief elected official and duly authorized designated officer thereof.

RES. Read a first time this ____ day of _____, 20__

RES. Read a second time this ____ day of _____, 20__

RES. Read a third time and finally passed this ____ day of _____, 20__

TOWN OF TABER
BYLAW NO. 2-2022

TOWN OF TABER

MAYOR

CHIEF ADMINISTRATIVE OFFICER (C.A.O.)

TOWN OF TABER
BYLAW NO. 2-2022

Schedule "A"

1. Administration of This Bylaw

- 1.1. Section 1.1.5(2) be revised to:
"Throughout this Bylaw a Land Use District may be referred to either by its full name or by its symbol as identified in 1.1.5(1)."
- 1.2. Section 1.1.5(3) be revised to:
"The Land Use Districts listed in 1.1.5(1) are delineated on Map 1 – Land Use Map, and appended to this Bylaw as Schedule A – Land Use District Maps, and shall be known as the Land Use Map."
- 1.3. Section 1.1.5(5) and 1.1.5(6) be revised to become subsections of Section 1.1.5(4) and all subsequent numbering be updated for Section 1.1.5.
- 1.4. Section 1.6.2(1)(i) to be revised to:
"the construction of a maximum of two permitted structures or buildings less than 10 m² in area and not permanently attached to the ground within a Residential District, or the Urban Reserve District, provided the building conforms with Section 2.11 – Accessory Structures;"
- 1.5. Section 1.9(4) be revised to:
"A person who receives a notice pursuant to subsection 1.9(2) of this section may appeal the order to the Subdivision and Development Appeal Board, in accordance with the Municipal Government Act."

2. General Land Use Regulations

- 2.1. Section 2.11.3(2) to be revised to:
"The floor area or combined floor area of all Accessory Structures and Uses, excluding decks, must not exceed the greater of:
 - (a) 100.0 m²; or
 - (b) the building coverage of the of the principal building; and
 - (c) the combined building coverage of the principal building and any accessory structures and uses, including decks and patios less than 2.4 metres above grade, can not be greater than the Maximum Building Coverage allowed for the applicable District."
- 2.2. Section 2.12.2(4) be revised to:
"The gross floor area of a Garage (attached or detached) shall not exceeded 100 m² or the building coverage of the principal building which ever is the lesser amount."
- 2.3. Add Section 2.12.5 Solar Energy Collectors for Private Use after Section 2.12.4 with the following subsections:
 - 1) A solar energy collector for private use attached to a wall or roof of a building shall be considered an accessory use and is subject to the following:
 - (a) A solar collector mounted on a roof:
 - i) may project a maximum of 1.2 m from the surface of the roof and shall not exceed the maximum height requirements of the applicable land use district; and
 - ii) must not extend beyond the outermost edge of the roof.
 - (b) A solar collector mounted to a wall:

TOWN OF TABER
BYLAW NO. 2-2022

Schedule "A"

- i) must be located such that it does not create undue glare on neighbouring property or public roadways;
 - ii) must be located a minimum of 2.4 m above grade;
 - iii) may project a maximum of 1.2 m from the surface of the wall, when the wall faces the rear property line, subject to the setback requirements of the applicable land use district; and
 - iv) shall not be located on the front or sides of the building.
- (c) A free-standing solar collector:
- i) shall only be allowed in industrial districts;
 - ii) shall be classified as both an Accessory Use and an Accessory Structure. All Accessory Structure requirements detailed in Section 2.11 shall apply.
 - iii) is required to meet all Development Standards detailed in the specific District in which the collector is located;
 - iv) must be located such that it does not create undue glare on neighbouring property or public roadways;
 - v) must not exceed 1.8m in height above existing grade; and
 - vi) must not be located in the front, or secondary front, of the principle building.

2.4. Section 2.15.3(5) add the following to the parking requirements table after Residential Dwellings (Excluding Apartments):

Use	Minimum Parking Stalls
Restaurant Large/Small	1/10 m ² of public use area, plus 5 for employee parking
Restaurant Take-Out	1/25 m ² of public use area, plus 3 for employee parking

2.5. Section 2.15.3(5) Beverage Service Facility" be revised to:

Use	Minimum Parking Stalls
"Food and/or Beverage Service Facility"	"1/5 m ² of public use area plus a minimum of 5 for employee parking"

2.6. Section 2.15.3(5) Drinking Establishment be revised to:

Use	Minimum Parking Stalls
"Drinking Establishment"	"1/5 m ² of public use area plus a minimum of 5 for employee parking"

TOWN OF TABER
BYLAW NO. 2-2022

Schedule "A"

2.7. Section 2.15.8(8) be revised to:

"Driveway widths for parking in residential front yards should not exceed 6.7 metres or 40% of the lot frontage, which ever is the greater of the two, but shall not be less than three (3) metres wide in any case."

2.8. Section 2.16(5) be added after 2.16(4):

"(5) Shipping Containers for Temporary Residential Use:

- (a) For use in a Residential District one (1) shipping container shall be allowed for a period that is not to exceed 6 months once a valid development permit and building permit, or for renovations, a building permit has been issued.
 - i. For the purposes of this subsection the 6-month period shall commence from the date of the arrival/delivery of the Shipping Container for which the date shall be established by the production of a delivery receipt/invoice or by such other evidence satisfactory for the Development Authority;
 - ii. In the event such receipt/invoice or other satisfactory evidence is not received by the Development Authority the Shipping Container shall be deemed to have been in use for the period of three months immediately prior to the date of the initial request by the Development Officer for confirmation of the date of arrival/delivery of the Shipping Container.
- (b) If the shipping container is not deemed to be in a location or condition satisfactory to the Development Authority the property owner may be required to remove it from the property before the 6-month period is up."

2.9. Section 2.21.8(7) be revised to:

"The Town is not required to give notice for the removal of any unlawful election signs. As per section 1.9(9) and 1.9(10) the Development Authority or their designate may seize the unlawful signs without notice and determine, at their discretion, what is to be done with the signs."

2.10. Section 2.21.8(9) be revised to:

- "Election signs may be posted on public property subject to the following conditions:
- (a) signs cannot be placed between the curb and the sidewalk; if there is no sidewalk, signs cannot be placed within 1.0 metres of the curb or edge of the pavement;
 - (b) signs shall not be placed within 30.0 metres of an intersection or pedestrian crossover or be located on a median or island; and
 - (c) there shall not be more than 1 sign per candidate every 15 meters."

TOWN OF TABER
BYLAW NO. 2-2022

Schedule "A"

2.11. Section 2.21.14(11) be revised to:

"subject to Section 1.6.2(1)(r), a development permit application for a portable sign to be located on privately-owned land:"

2.12. Section 2.21.14(14) be revised to:

"A portable sign located on private land that is for a community event, and will be removed within 14 days of its placement shall:

- (a) meet all the setbacks and requirements for the district and portable signs;
- (b) be removed within 2 days of the conclusion of the event, whether or not the 14 days of placement has been reached;
- (c) will require a development permit; but
- (d) not require the submission of a fee for that permit; and
- (e) may be approved by the Development Authority."

2.13. Section 2.21.19 add the following definition to the Sign Definitions in alphabetical order:

Sign Definitions

Community Use/Event	means an event or use held by a group, club, society, or non-profit that is available to the public. The event may be of a civic, political, public, or educational nature, or be a fundraiser, all of which will occur for a limited time only. This is not for private or corporate use events.
---------------------	---

2.14. Add Section 2.22 Apiaries after 22.21.19 with the following subsections:

- “(1) Any structures associated with apiculture activities shall:
 - (a) require a development permit
 - (b) Must meet minimum setback requirements for a school in the applicable district; and
 - (c) Not be located within 30.0 m of a Residential, Commercial, or Industrial district;
- (2) The Development Authority may waive 2.22(1)(c) if, the Development Authority is of the opinion that the Apiary will be reasonable compatible based on the merits of the application and the characteristics of the area. “

3. Land Use Districts

3.1. Add to Section 3.3.2(1) the following uses:

"Accessory Structure"

"Solar Energy Collector Systems (SECS) (also see Section 2.12.5)"

3.2. Section 3.3.3(2)(c)(iv) revise to:

TOWN OF TABER
BYLAW NO. 2-2022

Schedule "A"

"Corner Lots: 3.0 m on street side; 1.2 metres on the other side"

3.3. Add to Section 3.4.3(1) the following use:

"Solar Energy Collector Systems (SECS) (also see Section 2.12.5)"

3.4. Section 3.4.3(2)(c)(v) revise to:

"Corner Lots: 3.0 m on street side; 1.2 metres on the other side"

3.5. Add to Section 3.5.3(1) the following use:

"Solar Energy Collector Systems (SECS) (also see Section 2.12.5)"

3.6. Section 3.5.4(2)(c) revise to:

"Minimum Side Yard"

3.7. Section 3.5.4(2)(c)(iv) revise to:

"Corner Lots: 3.0 m on street side"

3.8. Add to Section 3.6.2(2) the following use:

"Solar Energy Collector Systems (SECS) (also see Section 2.12.5)"

3.9. Section 3.6.4(1)(c) revise to:

"Minimum Side Yard"

3.10. Section 3.6.4(1)(c)(iii) revise to:

"Corner Lots: 3.0 m on street side"

3.11. Add to Section 3.7.2(1) the following uses:

"Accessory Structure"

"Accessory Use"

3.12. Add to Section 3.7.2(2) the following uses:

"Solar Energy Collector Systems (SECS) (also see Section 2.12.5)"

3.13. Remove from the Section 3.7.2(2) the following uses:

"Accessory Structure"

"Accessory Use"

3.14. Section 3.7.2(3)(a) revise with:

TOWN OF TABER
BYLAW NO. 2-2022

Schedule "A"

"A Manufactured Home shall be considered a permitted use if it is located:"

3.15. Add to Section 3.8.2(2) the following use:

"Solar Energy Collector Systems (SECS) (also see Section 2.12.5)"

3.16. Add to Section 3.9.2(2) the following use:

"Solar Energy Collector Systems (SECS) (also see Section 2.12.5)"

3.17. Add to Section 3.10.2(2) the following use:

"Solar Energy Collector Systems (SECS) (also see Section 2.12.5)"

3.18. Add to Section 3.11.2(2) the following use:

"Solar Energy Collector Systems (SECS) (also see Section 2.12.5)"

3.19. Add to Section 3.12.2(2) the following use:

"Solar Energy Collector Systems (SECS) (also see Section 2.12.5)"

3.20. Remove from Section 3.12.2(2) the following uses:

"Automobile Supply"

3.21. Add to Section 3.14.2(1) the following use:

"Apiary"

3.22. Add to Section 3.14.2(2) the following use:

"Solar Energy Collector Systems (SECS) (also see Section 2.12.5)"

3.23. Remove from Section 3.14.2(2)(e) the following use:

"Recreational Use - Outdoor"

3.24. Add to Section 3.15.2(1) the following uses:

"Accessory Use"

"Solar Energy Collector Systems (SECS) (also see Section 2.12.5)"

3.25. Remove from Section 3.15.2(2)(a) the following use:

"Accessory Use"

3.26. Add the following Direct Control District 4 (DC-4) after Section 3.21 Direct Control District 3 (DC-3) as follows:

**TOWN OF TABER
BYLAW NO. 2-2022**

Schedule "A"

DIRECT CONTROL DISTRICT 4 (DC-4)

Purpose

- The purpose of this District is to permit and regulate a comprehensively designed Manufactured Housing Community under a Condominium Plan specific to the 60 acre parcel at 7000 50th Street in the NE/SE 7-10-16-W4M.

Uses

1) Permitted Uses	2) Discretionary Uses
<ul style="list-style-type: none"> a) Accessory Structure b) Accessory Use c) Home Occupation – Class 1 (also see Section 2.19) d) Manufactured Home e) Park f) Sign – Class A g) Utilities 	<ul style="list-style-type: none"> a) Accessory Structure (also see Section 2.11) b) Accessory Use (also see Section 2.12) c) Child Care - Limited d) Community Entrance Feature e) Group Care - Limited f) Home Occupation – Class 2 (also see Section 2.19) g) Neighbourhood Commercial h) Sign – Class B i) Slab on Grade House

Standards

1) Subdivision Standards	
a) Minimum Parcel Area:	350.0 m ²
b) Minimum Parcel Width:	13.0 m
2) Development Standards	
a) Minimum Front Yard:	3.5 m
b) Minimum Rear Yard:	1.2 m
c) Minimum Side Yard:	
i) Interior Parcel without attached garage:	As per the comprehensive plan
ii) Interior Parcel with attached garage:	1.2 m on both sides
iii) Corner Parcel:	3.5 m on street side and 1.2 m on the other
d) Maximum Building Height:	4.5 m
e) Maximum Coverage	50%
f) Minimum Separation Between Buildings:	1.2 m

TOWN OF TABER
BYLAW NO. 2-2022

Schedule "A"

Special Requirements

- Landscaping Requirements:
 - (a) All areas not covered by buildings and parking shall be landscaped.
 - (b) All dwelling units must plant and maintain at least one (1) tree in the front yard and one (1) tree in the rear or side yard. Where feasible, the front yard tree may be placed on the boulevard with approval from the Development Authority.
 - (c) All landscaping shall be identified on the site plan.
- Accessory Structures:
 - (a) Unless otherwise noted, the following requirements pertain to all Accessory Structures, including structures under 10.0 m².
 - (b) An Accessory Structure must not be used or maintained as a Dwelling Unit or Home Occupation, unless otherwise permitted in this Bylaw.
 - (c) A maximum of two (2) Accessory Structures, excluding decks and patios, may exist on a lot at any given time.
 - (d) The total floor area of all Accessory Structures, excluding decks and patios, must not exceed 75.0 m².
 - (e) The maximum height of an accessory structure is 4.0 metres.
 - (f) All Accessory Structures must have an exterior finish that is complimentary to the Principal Building, to the satisfaction of the Development Authority.
 - (g) Accessory Structures, including decks, shall be located:
 - (i) No closer to the front property line than the front line of the Principal Building, and must not be located within the front yard setback;
 - (ii) A minimum of 3.5 m from a side or rear property line shared with a street;
 - (iii) A minimum of 1.2 m from a side or rear property line not shared with a street;
 - (iv) A minimum of 1.2 m from the Principal Building.
- Parking
 - (a) All parking areas, including areas for Recreational Vehicles, shall be paved with a hard, durable weather resistant surface.
 - (b) A minimum of two (2) parking stalls must be located on-site for each dwelling unit.
- District Approval Procedures
 - (a) Council may then approve the application with or without conditions or refuse the application.
 - (b) Council hereby delegates to the Development Authority decision-making authority for all permitted uses listed in this District, including District requirements.

TOWN OF TABER
BYLAW NO. 2-2022

Schedule "A"

4. General Definitions

4.1. Remove from Part 4.0 General Definitions the following definitions:

"Accessory Structure - means a building naturally or normally incidental, subordinate and exclusively devoted to the Principal building on the lot, and located on the same lot as the principal building."

"Manufactured Home Community - means a use comprising a lot under single ownership which is managed by an operator and which has been designed for the placement of manufactured homes or manufactured home community lots for non-transient use."

"Manufactured Home - means a residential building containing one (1) dwelling unit built in a factory and designed to be transported in one (1) or more sections to a lot, is ready for occupancy except for incidental building operations such as placement on foundation supports and connection to utilities, but does not meet the requirements of a single-detached dwelling in an R-1 or R-2 District."

"Solar Energy Collector Systems (SECS) - means the complete system required to convert solar rays into useable electricity for private use, including solar panels, mounting equipment and additional required conversion electronics."

"Wind Energy Conversion Systems (WECS) - means the complete system required to convert wind energy into mechanical or electrical energy."

5. Use Definitions

5.1. Add to Part 5.0 Use Definitions the following definitions in alphabetical order:

"Accessory Structure - means a building naturally or normally incidental, subordinate and exclusively devoted to the Principal building on the lot, and located on the same lot as the principal building."

"Apiary - means the land and buildings used for the production of honey, including the facilities for the maintenance of hives and bees and the extraction, processing, and packaging of raw honey."

"Apiculture - means the keeping and management of bees."

"Community Use/Event - means an event or use held by a group, club, society, or non-profit that is available to the public. The event may be of a civic, political, public, or educational nature, or be a fundraiser, all of which will occur for a limited time only. This is not for private or corporate use events."

TOWN OF TABER
BYLAW NO. 2-2022

Schedule "A"

"Manufactured Home Community -means a use comprising a lot under single ownership which is managed by an operator, or a group of lots set up as a condominium, or privately-owned lots and which has been designed for the placement of manufactured homes for non-transient use."

"Solar Energy Collector Systems (SECS) -means the complete system required to convert solar rays into useable electricity for private use, including solar panels, mounting equipment and additional required conversion electronics."

"Slab on Grade House - means a single-story building that contains only one Dwelling Unit and is not a manufactured home. The building shall not have a basement and shall not exceed 1,672 sq. ft. in size. The footprint, roof pitch, and exterior finish of the building shall be complementary to the surrounding neighbourhood.

Buildings in the Direct Control 4 (DC-4) District shall also be built in the location and size determined in the Community's comprehensive plan."

5.2. Part 5.0 Use Definitions revise the following definitions to:

"Child Care – "means a use licensed by the Province of Alberta to provide personal care, maintenance, supervision or education, for more than six (6) children under the age of 15 years. This includes home-based care, daycare centres, kindergartens, nursery schools, play schools and other similar uses."

"Child Care Limited – "means a use that may or may not be licensed by the Province of Alberta to provide personal care, maintenance, supervision or education, for up to six (6) children under the age of 15 years. This includes home-based care, daycare centres, kindergartens, nursery schools, play schools and other similar uses."

"Manufactured Home – "means a residential building, not consisting of a mobile home, containing one (1) dwelling unit built in a factory or off site and designed to be transported in one (1) or more sections to a lot, is ready for occupancy except for incidental building operations such as placement on foundation supports and connection to utilities, but does not meet the requirements of a single-detached dwelling in an R-1 or R-2 District."

"Storage, Indoor – "means a use involving a self-contained building or group of buildings available for the storage of goods; and includes "mini-storage" or private storage facilities; but does not include a warehouse."

5.3. Part 5.0 Use Definitions revise "Beverage Service Facility" to:

"Food and/or Beverage Service Facility"



Development Authority Request for Decision

Meeting Date: February 22, 2022

Subject:

January 2022 Building Statistics

Recommendation:

That the Municipal Planning Commission accepts the January 2022 Building Permit Statistics as information.

Background:

Building Permit Statistics for the month of January 2022 have been compiled and are attached.

Legislation / Authority:

Subdivision and Development Authority and MPC Bylaw 10-2018 (43)(h)

Strategic Plan Alignment:

N/A

Financial Implication:

N/A

Service Level / Staff Resource Implication:

The compiling of building permit statistics is a requirement of the Planning and Economic Development Department.

Justification:

That statistical records are an important tool for monitoring building activity within the Town of Taber.

Alternative(s):

Alternative #1: That the Municipal Planning Commission does not accept the Building Permit Statistics for the month of January 2022 as information.

Attachment(s): January 2022 Building Statistics

APPROVALS:

Originated By:

Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



TOWN OF TABER

BUILDING PERMIT STATISTICS

January 2022

	Month of January by Year								
	2022			2021			2020		
	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value
SINGLE FAMILY DWELLINGS	1	1	\$ 350,000.00	1	1	\$ 200,000.00	2	2	\$ 250,000.00
2 FAMILY DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
SEMI DETACHED DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
MULTI FAMILY DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
RESIDENTIAL ADDITIONS & ACCESS.	2	0	\$ 110,000.00	0	0	\$ -	2	0	\$ 10,000.00
GARAGES & CARPORTS	0	0	\$ -	0	0	\$ -	0	0	\$ -
MANUFACTURED HOMES	1	0	\$ 195,000.00	0	0	\$ -	0	0	\$ -
SWIMMING POOLS	0	0	\$ -	0	0	\$ -	0	0	\$ -
FARM & AGRICULTURE BUILDINGS	0	0	\$ -	0	0	\$ -	0	0	\$ -
NEW COMMERCIAL	0	0	\$ -	0	0	\$ -	0	0	\$ -
COMMERCIAL ADDITIONS/ALTER	2	0	\$ 232,991.56	2	0	\$ 85,000.00	3		\$ 24,000.00
NEW INDUSTRIAL	0	0	\$ -	0	0	\$ -	1		\$ 1,200,000.00
INDUSTRIAL ADDITIONS/ALTER	0	0	\$ -	0	0	\$ -	0	0	\$ -
NEW INSTITUTIONAL	0	0	\$ -	1	0	\$ 1,000,000.00	0	0	\$ -
INSTITUTIONAL ADDITIONS/ALTER	0	0	\$ -	0	0	\$ -	2		\$ 473,000.00
MOBILE HOME PARK	0	0	\$ -	0	0	\$ -	0	0	\$ -
DEMOLITIONS	0	0	\$ -	0	0	\$ -	0	0	\$ -
OCCUPANCY/INSPECTION ONLY	0	0	\$ -	0	0	\$ -	0	0	\$ -
PERMANENT SIGNS	0	0	\$ -	0	0	\$ -	0	0	\$ -
	6	1	\$ 887,991.56	4	1	\$ 1,285,000.00	10	2	\$ 1,957,000.00

	Year to Date (January 1 to 31)								
	2022			2021			2020		
	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value
SINGLE FAMILY DWELLINGS	1	1	\$ 350,000.00	1	1	\$ 200,000.00	2	2	\$ 250,000.00
2 FAMILY DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
SEMI DETACHED DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
MULTI FAMILY DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
RESIDENTIAL ADDITIONS & ACCESS.	2	0	\$ 110,000.00	0	0	\$ -	2	0	\$ 10,000.00
GARAGES & CARPORTS	0	0	\$ -	0	0	\$ -	0	0	\$ -
MANUFACTURED HOMES	1	0	\$ 195,000.00	0	0	\$ -	0	0	\$ -
SWIMMING POOLS	0	0	\$ -	0	0	\$ -	0	0	\$ -
FARM & AGRICULTURE BUILDINGS	0	0	\$ -	0	0	\$ -	0	0	\$ -
NEW COMMERCIAL	0	0	\$ -	0	0	\$ -	0	0	\$ -
COMMERCIAL ADDITIONS/ALTER	1	0	\$ 7,000.00	2	0	\$ 85,000.00	3		\$ 24,000.00
NEW INDUSTRIAL	0	0	\$ -	0	0	\$ -	1		\$ 1,200,000.00
INDUSTRIAL ADDITIONS/ALTER	0	0	\$ -	0	0	\$ -	0	0	\$ -
NEW INSTITUTIONAL	0	0	\$ -	1	0	\$ 1,000,000.00	0	0	\$ -
INSTITUTIONAL ADDITIONS/ALTER	0	0	\$ -	0	0	\$ -	2		\$ 473,000.00
MOBILE HOME PARK	0	0	\$ -	0	0	\$ -	0	0	\$ -
DEMOLITIONS	0	0	\$ -	0	0	\$ -	0	0	\$ -
OCCUPANCY/INSPECTION ONLY	1	0	\$ 225,991.56	0	0	\$ -	0	0	\$ -
PERMANENT SIGNS	0	0	\$ -	0	0	\$ -	0	0	\$ -
	6	1	\$ 887,991.56	4	1	\$ 1,285,000.00	10	2	\$ 1,957,000.00

	Permits by District					
	2022		2021		2020	
	No. of Permits	Construction Value	No. of Permits	Construction Value	No. of Permits	Construction Value
RESIDENTIAL	4	\$ 655,000.00	1	\$ 200,000.00	4	\$ 260,000.00
INDUSTRIAL	0	\$ -	0	\$ -	1	\$ 1,200,000.00
COMMERCIAL	2	\$ 232,991.56	2	\$ 85,000.00	3	\$ 24,000.00
INSTITUTIONAL	0	\$ -	1	\$ 1,000,000.00	2	\$ 473,000.00

Town of Taber Building Permits January 2022

Building Permit #		Issue Date	Owner	Contractor	
TTB B	0001 22 22 LT	5-Jan-22		Maple Leaf Construction	
Project Site Address		Project Description		Value of Project	Tax Roll
5111 47 Avenue		Commercial Additions/Alterations		\$ 225,991.56	4751200
-					
Building Permit #		Issue Date	Owner	Contractor	
TTB B	0002 22 22 LT	12-Jan-22		Home Owner	
Project Site Address		Project Description		Value of Project	Tax Roll
38 Meadows Wat		Manufactured Homes		\$ 195,000.00	TBD
-					
Building Permit #		Issue Date	Owner	Contractor	
TTB B	0003 22 22 LT	12-Jan-22	Willowcrest Construction Ltd.	Willowcrest Construction Ltd.	
Project Site Address		Project Description		Value of Project	Tax Roll
82 Praire Gold Street		Single Family Dwelling		\$ 350,000.00	4357205
-					
Building Permit #		Issue Date	Owner	Contractor	
TTB B	0004 22 22 LT	12-Jan-22		Aaron Hofman	
Project Site Address		Project Description		Value of Project	Tax Roll
115 Signature Lane		Residential Additions & Accessory Uses		\$ 88,000.00	4849070
-					
Building Permit #		Issue Date	Owner	Contractor	
TTB B	0005 22 22 LT	26-Jan-22	R. Tymko Group	Ducharme Logistics	
Project Site Address		Project Description		Value of Project	Tax Roll
5420 66 Avenue		Commercial Additions/Alterations		\$ 7,000.00	5466180
-					
Building Permit #		Issue Date	Owner	Contractor	
TTB B	0006 22 22 LT	19-Jan-22		Reynos Contracting	
Project Site Address		Project Description		Value of Project	Tax Roll
5611 Sunrise Cresent		Residential Additions & Accessory Uses		\$ 22,000.00	4156045
-					

January 2022 Year to Date Approved Permits - Construction Values

Permit #	Issued Date	Class	Description	Status	Roll #	Owner	Contractor	Address	Construction Cost
0001 22	1/5/2022	COM	Occupancy/Inspection Only	Open	4751200		Maple Leaf Construction	5111 47 Avenue	\$ 225,991.56
0002 22	1/12/2022	RES	Manufactured Homes	Open	TBD		Home Owner	38 Medows Wat	\$ 195,000.00
0003 22	1/12/2022	RES	Single Family Dwelling	Open	4357205	Willowcrest Construction Ltd.	Willowcrest Construction Ltd	82 Prairie Gold Street	\$ 350,000.00
0004 22	1/12/2022	RES	Residential Additions & Accessory Uses	Open	4849070		Aaron Hofman	115 Signature Lane	\$ 88,000.00
0005 22	1/26/2022	COM	Commercial Additions/Alterations	Open	5466180	R. Tymko Group	Ducharme Logistics	5420 66 Avenue	\$ 7,000.00
0006 22	1/19/2022	RES	Residential Additions & Accessory Uses	Open	4156045		Reynos Contracting	5611 Sunrise Crescent	\$ 22,000.00

\$ 887,991.56



Development Authority Request for Decision

Meeting Date: February 22, 2022

Subject:
Standing Items

Recommendation:
That the Municipal Planning Commission uses the standing items opportunity to address Administration about their concerns, and ask questions.

Background:
To assist in information sharing and ensure agreement on the relative importance of activities, and to facilitate a common understanding, Council established a standing item on the Municipal Planning Commission agenda to raise individual concerns.

Legislation / Authority:
N/A

Strategic Plan Alignment:
Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.

Financial Implication:
The financial implication will vary depending on the discussion outcomes but should consider alignment of Town facility and service provision with approved budget.

Service Level / Staff Resource Implication:
Having a regular Municipal Planning Commission discussion about service levels will improve the ability of Administration to meet expectations of Council rather than dealing with requests from individuals on an ad hoc basis.

Justification:
This will bring administration efficiencies and better alignment of services and expenditures. It will also help improve communication protocols and adherence to the MGA.

Alternative(s):
Alternatives will vary based on discussions.

Attachment(s): None

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____