



AGENDA

REGULAR MEETING OF THE DEVELOPMENT AUTHORITY OF THE TOWN OF TABER, TO BE HELD IN THE COUNCIL CHAMBERS, ADMINISTRATION BUILDING, ON MONDAY, JUNE 21, 2021 AT 1:30 PM.

	<u>MOTION</u>
1. CALL TO ORDER	X
2. ADOPTION OF THE AGENDA	X
3. ADOPTION OF THE MINUTES	
ITEM No.3.1 Meeting Minutes of May 17, 2021	X
4. BUSINESS ARISING FROM THE MINUTES	
5. ACTION ITEMS	
ITEM No.5.1 DP 21-063 5326 39 Avenue - Post Construction Waiver for Deck	X
ITEM No.5.2 DP 21-070 5209 - 52 Street Post Construction Waiver for Shed	X
ITEM No.5.3 DP 21-071 - 5320 48 Avenue - Liquor Store	X
ITEM No.5.4 DP 21-073 - 5904 52 Avenue - Addition to Plant	X
ITEM No.5.5 DP 21-074 - 37 Prairie Sunset Avenue - Deck Height Waiver	X
ITEM No.5.6 DP 21-075 - 5800 46 Avenue - Addition to Shop	X
ITEM No.5.7 Building Statistics for May 2021	X
ITEM No.5.8 Standing Items	
6. DELEGATIONS	
7. MEDIA INQUIRIES	
8. CLOSED SESSION	
9. OPEN SESSION	
10. CLOSE OF MEETING	X



Development Authority Request for Decision

Meeting Date: June 21, 2021

Subject:

Adoption of the Agenda

Recommendation:

That the Municipal Planning Commission adopts the agenda for the June 21, 2021 Regular Municipal Planning Commission meeting, as presented.

Background:

The agenda for June 21, 2021 regular meeting is found on the front page of this agenda.

Legislation / Authority:

Section 203 of the Municipal Government Act allows the Municipal Planning Commission to adopt the agenda and perform other duties as delegated by Council.

Strategic Plan Alignment:

N/A

Financial Implication:

There are no financial implications for the creation of the Agenda.

Service Level / Staff Resource Implication:

Time was required by Administration to assemble the Agenda for the Municipal Planning Commission's regular meeting.

Justification:

Adoption of the Agenda will provide a record of the Agenda for the Municipal Planning Commission meeting held on June 21, 2021.

Alternative(s):

Alternative #1: That the Municipal Planning Commission adopts the Agenda of the regular Municipal Planning Commission meeting held on June 21, 2021, with amendments.

Attachment(s): None

APPROVALS:

Originated By:

Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



Development Authority Request for Decision

Meeting Date: June 21, 2021

Subject:

Minutes of May 17, 2021 Meeting of the Municipal Planning Commission

Recommendation:

That the Municipal Planning Commission adopts the minutes of the Regular Municipal Planning Commission meeting held May 17, 2021 as presented.

Background:

The minutes of the regular Municipal Planning Commission meeting held on May 17, 2021 are attached.

Legislation / Authority:

Section 203 of the Municipal Government Act allows the Municipal Planning Commission to adopt the minutes and perform other duties as delegated by Council.

Strategic Plan Alignment:

N/A

Financial Implication:

There is no financial implication for the creation of minutes.

Service Level / Staff Resource Implication:

Time was required by Administration to record the minutes of the Municipal Planning Commission's regular meeting.

Justification:

Adoption of the minutes will provide a record of the regular meeting of the Municipal Planning Commission meeting held on May 17, 2021.

Alternative(s):

Alternative #1: That the Municipal Planning Commission adopts the minutes of the regular Municipal Planning Commission meeting held on May 17, 2021 with amendments.

Attachment(s): Meeting Minutes from May 17, 2021

APPROVALS:

Originated By:

Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____

MINUTES OF THE REGULAR MEETING OF THE DEVELOPMENT
AUTHORITY OF THE TOWN OF TABER, IN THE PROVINCE OF
ALBERTA, HELD IN THE COUNCIL CHAMBERS, ADMINISTRATION
BUILDING, ON MONDAY, MAY 17, 2021, AT 1:30 PM.

Chairperson

Roger Miles

Members

Mark Garner

Ron Hadden

Joe Strojwas

Staff

Phyllis Monks

Celina Newberry

Kattie Schlamp

CALL TO ORDER

Meeting called to order by R. Miles at 1:31 pm.

ADOPTION OF THE AGENDA

RES 181/2021 Moved by M. Garner that the Municipal Planning
Commission adopts the agenda for the regular May
17th, 2021 Municipal Planning Commission meeting
as presented.

CARRIED UNANIMOUSLY

ADOPTION OF THE MINUTES

Meeting Minutes of April 19th, 2021

RES 182/2021 Moved by R. Hadden that the Municipal Planning
Commission adopts the minutes of the Regular
Municipal Planning Commission meeting held April
19th, 2021, as presented.

CARRIED UNANIMOUSLY

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BUSINESS ARISING FROM THE MINUTES

None

ACTION ITEMS

PS 21-004 Portable Sign Renewal 5114 46 Avenue (O-SHO's)

RES 183/2021 Moved by J. Strojwas that the Municipal Planning Commission approves the Portable Sign to be located 5114 46 Avenue, Lot 6, Block 18, Plan 6390L, with the following (8) conditions:

- 1) This permit is for a portable sign to be placed in the location shown on the attached map;
- 2) This permit is valid until May 17th, 2022;
- 3) Sign must not be greater than 5.5m², and must not exceed 3.5m in height;
- 4) The sign must be placed within setback requirements of the Land Use Bylaw 13-2020; at least 0.6m from a property line and at least 45m from any other portable sign and from Residential Districts;
- 5) The name and phone number of the sign owner must be permanently affixed to the sign in a visually prominent location on the sign;
- 6) The sign must be anchored or secured, and changeable copy on Portable signs must be secured to prevent vandalism;
- 7) The owner shall maintain the sign in a proper state of repair and shall ensure that all sign support, structural elements and/or guy wires are properly attached;
- 8) The sign must be removed, or the permit must be renewed on or before the expiry date.

CARRIED UNANIMOUSLY

PS 21-005 Portable Sign Renewal 5705 64 Street (Kirks Tire)

RES 184/2021 Moved by M. Garner that the Municipal Planning Commission approves the Portable Sign to be located at 5705 64th Street, Lot 15, Block 7, Plan 0612098, with the following (8) conditions:

- 1) This permit is for a portable sign to be placed in the location shown on the attached map;
- 2) This permit is valid until May 17th, 2022;
- 3) Sign must not be greater than 5.5m², and must not exceed 3.5m in height;
- 4) The sign must be placed within setback requirements of the Land Use Bylaw 13-2020; at least 0.6m from a property line and at least 45m from any other portable sign and from Residential Districts;
- 5) The name and phone number of the sign owner must be permanently affixed to the sign in a visually prominent location on the sign;
- 6) The sign must be anchored or secured, and changeable copy on Portable signs must be secured to prevent vandalism;
- 7) The owner shall maintain the sign in a proper state of repair and shall ensure that all sign support, structural elements and/or guy wires are properly attached;
- 8) The sign must be removed, or the permit must be renewed on or before the expiry date.

CARRIED UNANIMOUSLY

PS 21-006 Portable Sign Renewal 5402 46 Avenue (Taber Motel)

RES 185/2021 Moved by R. Haden that the Municipal Planning Commission approves the Portable Sign to be located at 5402 46th Avenue, Lot 1 Block 20, Plan 6390L, with the following conditions:

- 1) This permit is for a portable sign to be placed in the location shown on the attached map;
- 2) This permit is valid until May 17th, 2022;
- 3) Sign must not be greater than 5.5m², and must

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- not exceed 3.5m in height;
- 4) The sign must be placed within setback requirements of the Land Use Bylaw 13-2020; at least 0.6m from a property line and at least 45m from any other portable sign and from Residential Districts;
 - 5) The name and phone number of the sign owner must be permanently affixed to the sign in a visually prominent location on the sign;
 - 6) The sign must be anchored or secured, and changeable copy on Portable signs must be secured to prevent vandalism;
 - 7) The owner shall maintain the sign in a proper state of repair and shall ensure that all sign support, structural elements and/or guy wires are properly attached;
 - 8) The sign must be removed, or the permit must be renewed on or before the expiry date.

CARRIED UNANIMOUSLY

PS 21-007 Portable Sign Renewal - 5103 47 Ave (Purple Cow)

RES 186/2021 Moved by M. Garner that the Municipal Planning Commission approves the Portable Sign Renewal to be located at 5103 47th Avenue, Lot 26, Block 2, Plan 5638L, with the following (8) conditions:

- 1) This permit is for a portable sign to be placed in the location shown on the attached map;
- 2) This permit is valid until May 17th, 2022;
- 3) Sign must not be greater than 5.5m², and must not exceed 3.5m in height;
- 4) The sign must be placed within setback requirements of the Land Use Bylaw 13-2020; at least 0.6m from a property line and at least 45m from any other portable sign and from Residential Districts;
- 5) The name and phone number of the sign owner must be permanently affixed to the sign in a visually prominent location on the sign;

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- 6) The sign must be anchored or secured, and changeable copy on Portable signs must be secured to prevent vandalism;
- 7) The owner shall maintain the sign in a proper state of repair and shall ensure that all sign support, structural elements and/or guy wires are properly attached;
- 8) The sign must be removed, or the permit must be renewed on or before the expiry date.

CARRIED UNANIMOUSLY

DP 21-035 - 6200 46 Avenue - Wendy's

RES 187/2021 Moved by M. Garner that the Municipal Planning Commission approves Development Permit DP 20-086 for a new Wendy's Restaurant to be located at 6200 46th Avenue, Lot 2, Block 4, Plan 0512581, with the following (14) conditions:

- 1) The site is to be developed as per the site plan submitted, to the satisfaction of the Development Officer,
- 2) The development shall conform to the land use bylaw Comprehensive Commercial District (CC) Requirements,
- 3) The applicant shall ensure the amount of water flowing into the Town's storm-water management system as a result of this development must not be greater than pre-construction levels. Any increase must be remedied by the applicant at their own expense. A drainage plan must be submitted to, and approved by, the Town of Taber Public Works Department;
- 4) The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE), National Building Code 2019 (AE), Alberta Health Services and all other applicable codes,
- 5) If sprinkler permits are required under the National Building Code 2019 (AE), a separate building permit application must be made in conjunction with the permit for the building, and a copy

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provided for the Town of Taber,

- 6) An agreement for use of the private fire hydrant (if not owned by the building owner) will need to be entered into between owners granting full access and servicing of the hydrant. Either the agreement or proof of ownership shall be provided to the Development Authority before construction begins. If no agreement can be reached then an alternative hydrant will need to be provided by the owner of the building to service their site before construction begins and proof of the hydrant provided to the Development Authority;
- 7) During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbour's property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 4-2008). In addition, the addressing of the building is to remain clearly visible through all stages of construction,
- 8) In accordance with policy 68C08/21/00, a \$2500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets, sidewalks, or services as a result of construction of this dwelling shall be restored to Town standards at the applicant's expense prior to issuance of an occupancy permit,
- 9) The applicant will enter into a Servicing Agreement with the Town of Taber to ensure new sanitary sewer and water lines are in accordance with Town Standards,
- 10) All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development,

- 11) The applicant must ensure the contractor commissioned for the construction has a valid Business License for the Town of Taber,
- 12) The applicant will submit a Construction Schedule, Fire Safety Plan, Exterior Finish Plan, and a Traffic Accommodation Plan to the Director of Planning and Economic Development for their approval prior to construction starting,
- 13) This Development Permit approval constitutes approval of signage as included in drawings submitted for approval. Any additional signage will require a separate Development Permit application.
- 14) Prior to Occupancy, the applicant will provide a Real Property Report to the Town of Taber.

CARRIED UNANIMOUSLY

DP 21-037 6027 64 Street - Freestanding Sign

RES 188/2021 Moved by J. Strojwas that the Municipal Planning Commission approves a Freestanding Sign Application DP 21-037 to be located at 6027 64 Street Lot 11, Block 6, Plan 2011285, with the following (6) conditions:

- 1) The sign must meet any applicable Provincial Signage requirements;
- 2) The sign may only be located at the proposed location as indicated on the attached site plan;
- 3) The sign must not employ any flashing or intermittent lighting, either as part of the sign or on its supporting structure;
- 4) Prior to installation of the sign, the applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
- 5) The owner shall maintain the sign in a proper state of repair and shall ensure that all sign support, structural elements and/or guy wires are properly attached;

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- 6) The signs must not display third party advertising.

CARRIED UNANIMOUSLY

DP 21-040 -4716 Heritage Drive - Secondary Garage

RES 189/2021 Moved by M. Garner that the Municipal Planning Commission approves Second Garage Application DP 21-040 to be located at 4716 Heritage Drive Lot 1, Block 2, Plan 7710425, with the following (12) conditions

- 1) The approved area for the detached garage 49.052 square metres;
- 2) The approved interior garage height is 2.87 metres;
- 3) The maximum exterior height of the garage 4.88 metres;
- 4) The exterior finish of the detached garage shall be professionally manufactured and complimentary to the finishing of the neighboring properties and subject dwelling;
- 5) The applicant will ensure that the foundation will be staked by a qualified professional;
- 6) The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
- 7) The development conforms to the requirements of the Residential Single Dwelling District (R-1);
- 8) Applicant to ensure water will not accumulate at or near the buildings (positive drainage) on site, nor accumulate on the lot, and will not adversely affect adjacent properties,
- 9) During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any

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damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 4-2008);

- 10) The proposed garage is not intended to be used for uses other than residential. A home occupation license shall be required for any business use;
- 11) All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development;
- 12) In accordance with policy 68C08/21/00, a \$2,500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to any construction commencing. Any damages to public streets, sidewalks, or services as a result of this project shall be restored to Town standards at the applicant's expense

CARRIED UNANIMOUSLY

DP 21-052 6219 46A Street - Covered Deck

RES 190/2021 Moved by J. Strojwas that the Municipal Planning Commission approves development permit DP 21-052 for a post-construction waiver for the Covered Deck and Deck Addition located at 6219- 46A Street, Lot 35, Block 47, Plan 0713830, with the following (6) conditions:

- 1) The site is developed as per the attached site plan with modifications required to what currently exists on the property;
- 2) The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the

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- necessary Building, Plumbing, Electrical, and Gas permits;
- 3) A 3.48 metre rear yard setback waiver was granted by the Municipal Planning Commission on May 17th, 2021, reducing the rear yard setback on the east side of the property to 3.52 metres from 7 metres for the deck as shown in the attached site plan
 - 4) A 10% wavier to the maximum building coverage was granted by the Municipal Planning Commission on May 17th 2021, increasing the maximum building coverage to 55%;
 - 5) If the deck is ever rebuilt, a development permit application must be submitted, and the proposed deck and accessory structures must meet the requirements of the land use bylaw that is current at the time of the application, the approved waiver will no longer apply;
 - 6) All other conditions of Development Permit, DP 07-111 must be adhered to.

DEFEATED

DP 21-055 4730 50 Avenue - Clearview Lodge Addition

RES 191/2021 Moved by J. Strojwas that the Municipal Planning Commission approves Development Permit DP 21-055 for a renovation and addition to Clearview Lodge located at 4730 50th Avenue, Lots 1, Block A, Plan 8310263, with the following (17) conditions:

- 1) The site is to be developed as per the attached site plan;
- 2) The applicant proposes a change to the boulevard and parking along 48th Street. This work shall be the responsibility of the applicant, and will need to be coordinated to the satisfaction of the development authority;
- 3) To accommodate the reduced setback and modifications to the boulevard and parking along 48th Street, the applicant may be required to bury power services along the street;
- 4) The development shall conform to the land use bylaw for the Institutional and Recreational

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- District (IR) requirements and those set out by the Development Authority;
- 5) A separate demolition permit shall be required for any demolition that is to occur at this property in relation to this or any other development;
 - 6) The applicant shall obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE)., Alberta Health Services and all other applicable codes,
 - 7) If sprinkler permits are required under the National Building Code 2019 (AE), a separate building permit application must be made in conjunction with the permit for the building, and a copy provided for the Town of Taber,
 - 8) During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbouring property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 4-2008). In addition, the addressing of the building is to remain clearly visible through all stages of construction,
 - 9) In accordance with policy 68C08/21/00, a \$2500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets, sidewalks, or services as a result of construction of this dwelling shall be restored to Town standards at the applicant's expense prior to issuance of an occupancy permit,
 - 10) The applicant will enter into a Servicing Agreement with the Town of Taber to ensure new sanitary sewer and water lines are in accordance with Town Standards,

- 11) Applicant to ensure water will not accumulate at or near the buildings (positive drainage) on site, nor accumulate on the lot, and will not adversely affect adjacent properties. If any drainage concerns arise as a result of the proposed construction it must be remedied at the cost of the applicant;
- 12) All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development,
- 13) The applicant must ensure the contractor commissioned for the construction has a valid Business License for the Town of Taber,
- 14) The applicant will submit a Construction Schedule, Fire Safety Plan, Exterior Finish Plan, and a Traffic Accommodation Plan to the Director of Planning and Economic Development for their approval prior to construction starting,
- 15) This Development Permit approval constitutes approval of signage as included in drawings submitted for approval. Any additional signage will require a separate Development Permit application.
- 16) This Development Permit approval constitutes approval of signage as included in drawings submitted for approval. Any additional signage will require a separate Development Permit application.
- 17) Prior to Occupancy, the applicant will provide a Real Property Report to the Town of Taber.

CARRIED UNANIMOUSLY

DP 21-056 5805 58 Street - Change of Use - Auto Mechanic

RES 192/2021 Moved by R. Hadden that the Municipal Planning Commission approves Development Permit DP 21-056 for a Change of Use to Automobile Repair at 5805 58th Street, Lot 8, Block 4, Plan 7711362 with the following (9) conditions:

- 1) Outdoor operations creating noise and dust must be minimized so as not to cause nuisance impacts to adjacent properties;

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- 2) If the applicant expands beyond the repair of automobile and the existing uses at the time of the development application, additional permits and business license requirements will be required, and must be obtained prior to expanding operations;
- 3) The applicant shall provide a copy of their AMVIC approval to the Development Authority upon receipt;
- 4) No outdoor storage area has been designated by the applicant, and a separate development permit will be required if outdoor storage is proposed for the site in the future;
- 5) The applicant may require a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
- 6) The development conforms to the district requirements of the Medium Industrial District (M-2);
- 7) Applicant to ensure water will not accumulate at or near the buildings (positive drainage) on site, nor accumulate on the lot, and will not adversely affect adjacent properties;
- 8) The amount of water flowing into the Town's storm-water management system as a result of these uses must not be greater than pre-use levels. Any increase must be remedied by the applicant at their own expense;
- 9) All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development;

CARRIED UNANIMOUSLY

DP 21-058 5809 54 Avenue - Change of Use - Auto Sales

RES 193/2021 Moved by M. Garner that the Municipal Planning Commission approves Development Permit DP 21-58 for a Change of Use to Automobile Sales at 5809 54th Avenue, Lots 19-20, Block 1, Plan 3042JK with the following (12) conditions:

- 1) The proposed development will occur in accordance with the attached site plan.
- 2) The development conforms to the district requirements of Medium Industrial District (M-2),
- 3) The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits,
- 4) The applicant shall provide a copy of their AMVIC approval to the Development Authority upon receipt;
- 5) A Fire Inspection must be conducted by the Town of Taber Fire Department,
- 6) All storage on site shall be compliant with the Town of Taber Land Use Bylaw 13-2020;
- 7) Any expansion beyond the approved change of use will require a separate development permit;
- 8) The applicant must obtain a business license for the operation of a new business,
- 9) A maximum of 20 vehicles in good condition are permitted on the site for sale purposes. Unsightly vehicles will not be permitted,
- 10) Any further developments within Lot 19-20, Block 1, Plan 3042 JK, whether or not they are related to this proposed development, will require a new development permit application. During the review of any future development permit applications, the Town of Taber reserves the right to make changes to existing access points and other requirements,
- 11) All vehicles must be parked on the site and cannot be parked on the street,

- 12) All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development.

J. Strojwas suggested a friendly amendment to include condition 13 in the motion.

M. Garner accepted the friendly amendment.

Moved b M. Garner that the Municipal Planning Commission approves Development Permit DP 21-58 for a Change of Use to Automobile Sales at 5809 54th Avenue, Lots 19-20, Block 1, Plan 3042JK with the following (13) conditions:

- 1) The proposed development will occur in accordance with the attached site plan.
- 2) The development conforms to the district requirements of Medium Industrial District (M-2),
- 3) The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits,
- 4) The applicant shall provide a copy of their AMVIC approval to the Development Authority upon receipt;
- 5) A Fire Inspection must be conducted by the Town of Taber Fire Department,
- 6) All storage on site shall be compliant with the Town of Taber Land Use Bylaw 13-2020;
- 7) Any expansion beyond the approved change of use will require a separate development permit;
- 8) The applicant must obtain a business license for the operation of a new business,
- 9) A maximum of 20 vehicles in good condition are permitted on the site for sale purposes. Unightly vehicles will not be permitted,
- 10) Any further developments within Lot 19-20, Block 1, Plan 3042 JK, whether or not they are related to this proposed development, will require a new development permit application. During the review of any future development permit applications, the Town of Taber reserves

- the right to make changes to existing access points and other requirements,
- 11) All vehicles must be parked on the site and cannot be parked on the street,
 - 12) All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development.
 - 13) The applicant must ensure no off-site impacts as a result of the development and compacted gravel on site. This includes maintaining dust control to the satisfaction of the Development Authority.

CARRIED UNANIMOUSLY

DP 21-059 6106 55 Street - Secondary Garage

RES 194/2021 Moved by M. Garner that the Municipal Planning Commission approves DP 21-059 for a Secondary Garage, with a waiver for maximum height, to be located at 6106 55 Street, Lot 15, Block 26, Plan 8611394, with the following (11) conditions:

- 1) The site is developed as per the attached site plan;
- 2) The maximum interior height for the garage is 3.7 metres;
- 3) A waiver increasing the maximum exterior height for the garage from 5 metres to 5.64m has been granted by the Municipal Planning Commission on May 17th, 2021;
- 4) The applicant will ensure that the foundation will be staked by a qualified professional;
- 5) The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;

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- 6) The development conforms to the requirements of the Residential Single & Two Dwelling District (R-2);
- 7) The exterior finish of the detached garage shall be professionally manufactured and complimentary to the finishing of the neighboring properties and subject dwelling;
- 8) Applicant to ensure water will not accumulate at or near the buildings (positive drainage) on site, nor accumulate on the lot, and will not adversely affect adjacent properties;
- 9) The proposed garage is not intended to be used for uses other than residential. A home occupation license shall be required for any business use
- 10) During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 4-2008);
- 11) All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development.

CARRIED UNANIMOUSLY

DP 21-060 3 Prairie Lake Terrace - Covered Deck

RES 195/2021 Moved by M. Garner that the Municipal Planning Commission approves development permit DP 21-060 for a Covered Deck requiring a rear yard setback waiver at 3 Prairie Lake Terrace, Lot 15, Block 4, Plan 1512042, with the following (9) conditions:

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- 1) The site is developed as per the site plan submitted;
- 2) The development conforms to the district requirements of the Residential Single Dwelling District (R-1);
- 3) A rear setback waiver of 2.19 metres was approved for this parcel by the Municipal Planning Commission on May 17th, 2021; The rear yard setback for the Covered Deck is waived from 7 metres to 4.81metres;
- 4) With the exception of this rear yard waiver, all conditions of Development Permit, DP 21-045 must be adhered to.
- 5) The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
- 6) The architectural controls and vertical grade points must be approved by the developer;
- 7) The contractor commissioned for construction must have a valid Business License for the Town of Taber;
- 8) A lot drainage (grade) plan illustrating water will not accumulate at or near the buildings (positive drainage), nor accumulate on the lot, and will not adversely affect adjacent properties shall be produced by a qualified professional and supplied to the Town of Taber prior to the Building Permit being issued. In addition, the foundation must be staked by a qualified professional;
- 9) During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off

site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 4-2008);

CARRIED UNANIMOUSLY

DP 21-062 5006 43 Street - Secondary Garage

RES 196/2021 Moved by R. Hadden that the Municipal Planning Commission approves Application DP 21-062 for a Secondary Garage with a Waiver for the maximum lot coverage to be located at 5006 43 Street Lot 2 Block 5, Plan 0715190, with the following (13) conditions:

- 1) The site is developed as per the attached site plan;
- 2) The maximum interior height for the garage is 3.7 metres;
- 3) A maximum exterior height for the garage shall be 5 metres;
- 4) A waiver for the lot coverage of 3% increasing the maximum coverage from 45% to 48% was granted by the Municipal Planning Commission on May 17th, 2021;
- 5) The applicant will ensure that the foundation will be staked by a qualified professional;
- 6) The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
- 7) The development conforms to the requirements of the Residential Single Dwelling District (R-1);
- 8) The exterior finish of the detached garage shall include professionally installed stucco and roofing to match the existing dwelling and be complimentary to the finishing of the neighboring properties;
- 9) Applicant to ensure water will not accumulate

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Meeting Date
5/17/2021

at or near the buildings (positive drainage) on site, nor accumulate on the lot, and will not adversely affect adjacent properties;

- 10) The proposed garage is not intended to be used for uses other than residential. A home occupation license shall be required for any business use;
- 11) During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 4-2008);
- 12) All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development.
- 13) In accordance with policy 68C08/21/00, a \$2,500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to any construction commencing. Any damages to public streets, sidewalks, or services as a result of construction of this dwelling shall be restored to Town standards at the applicant's expense prior to issuance of an occupancy permit. A pre-inspection must be booked 2-5 days prior to construction beginning.

CARRIED UNANIMOUSLY

Subdivision TT 21-0-002

RES 197/2021 Moved by J. Strojwas that the Development Authority recommends that the Subdivision Authority approve Subdivision TT 21-0-002, within E ½ of Sec. 7, Twp. 10, Rge. 16, W4M, civically described as 7000 50 St., with the following (11) conditions:

- 1) That approval shall apply to a residential subdivision plan within E ½ of Sec. 7, Twp. 10, Rng. 16, W4M.
- 2) On-site stormwater retention and low impact development considerations should be utilized in the development, to the satisfaction of the Development Authority.
- 3) The developer will be required to provide Community Mailbox locations to the approval of Canada Post and installed in accordance with Canada Post's Developer Requirements.
- 4) That pursuant to Section 655(1)(b) of the Municipal Government Act, the Developer shall enter into a Development Agreement with the Town of Taber, with careful attention being paid to the applicant installing or paying for municipal services, road improvements and the installation of public utilities that are necessary to service the subdivision. This will be registered on all forthcoming titles.
- 5) The Developer shall be responsible for keeping the development area in a neat and tidy fashion, particularly, as it pertains to blowing debris and weeds and erosion and sediment control during development of all phases of the subdivision.
- 6) Easements and/or rights of way shall be registered against the land for the provision of storm, drainage, gas, power, and other utilities as required by the utility provider.
- 7) Any utility, road or driveway crossings, excavation work, or surface treatments to cross

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Meeting Date
5/17/2021

the Taber Irrigation District easement shall be approved by Taber Irrigation District through an Easement Agreement. The developer has provided copies of executed agreements with the Taber Irrigation District.

- 8) Development Permits will be required for any new development on the lots. Approval of this subdivision does not constitute approval of any future development permit applications.
- 9) That pursuant to Section 654(1)(d) of the Municipal Government Act, all outstanding property taxes shall be paid to the Town of Taber prior to endorsement.
- 10) Compliance is to be maintained with existing policy documents including but not limited to Land Use Bylaw 13-2020, to the satisfaction of the Development Authority.
- 11) The subdivision plan shall be registered in a manner satisfactory to the Land Titles Office.

CARRIED UNANIMOUSLY

Subdivision TT 21-0-003

:S 198/2021

Moved by R. Hadden that the Development Authority recommends that the Subdivision Authority approve Subdivision TT 21-0-003, Lots 20-24 inclusive, Block 30, Plan 2325 S, civically described as 5211 & 5215 43 Ave., with the following (11) conditions:

- 1) That approval shall apply to a residential subdivision plan within Lots 20-24 inclusive, Block 30, Plan 2325S.
- 2) That pursuant to Section 655(1)(b) of the Municipal Government Act, the Developer shall enter into a Servicing Agreement with the Town of Taber to provide separate services to each lot.
- 3) The Developer shall be responsible for keeping the development area in a neat and tidy fashion, particularly, as it pertains to blowing debris and weeds during development of the subdivision.
- 4) Development Permits will be required for any new development on the lots. Approval of this

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subdivision does not constitute approval of any development permit applications.

- 5) The Developer shall provide a stormwater analysis to the Director of Planning and Economic Development for approval by Taber Irrigation District. The analysis shall show post-development flows do not exceed pre-development flows by using Low Impact Development techniques, or other suitable mitigation to ensure no additional stormwater will contribute to the system as a result of this development.
- 6) The Developer is responsible to provide new gas services to each lot or enter into easement agreements with Atco Gas to the satisfaction of Atco Gas.
- 7) Easements and/or rights of way shall be registered against the land for the provision of storm, drainage, gas, power, and other utilities as required by the utility provider.
- 8) That pursuant to Section 654(1)(d) of the Municipal Government Act, all outstanding property taxes shall be paid to the Town of Taber prior to endorsement.
- 9) Compliance is to be maintained with existing policy documents including but not limited to Land Use Bylaw 13-2020, to the satisfaction of the Development Authority.
- 10) Party Wall Agreements shall be created between Lots 29 & 30 and Lots 31 & 32 and shall be registered on Title. It shall identify improvement costs and provide all parties with direction for any future disputes.
- 11) The subdivision plan shall be registered in a manner satisfactory to the Land Titles Office

CARRIED UNANIMOUSLY

Request for Direction on Portable Sign Renewals

RES 199/2021 Moved by J. Strojwas that the Municipal Planning Commission directs administration that a renewal of a portable sign permit can be approved for a one year extension by administration, on their behalf, if the renewal is received prior to the approval expiring.

CARRIED UNANIMOUSLY

Building Permit Statistics - April 2021

RES 200/2021 Moved by J. Strojwas That the Municipal Planning Commission accepts the April 2021 Building Permit Statistics as information.

CARRIED UNANIMOUSLY

Standing Items

None

DELEGATIONS

None

MEDIA INQUIRIES

None

CLOSED SESSION

N/A

OPEN SESSION

N/A

CLOSE OF MEETING

RES 201/2021
2:41 pm.

Moved by R. Hadden that the meeting be closed at

CARRIED UNANIMOUSLY

CHAIRPERSON

CHIEF ADMINISTRATIVE OFFICER

Development Authority Request for Decision

Meeting Date: June 21, 2021

Subject:

DP 21-063 - 5326 39 Avenue - Deck with Post Construction Waiver

Recommendation:

That the Municipal Planning Commission approves development permit DP 21-063 for deck with side yard setback waiver to be located at 5326 39th Avenue, Lot 8, Block 53, plan 7810080, with the following six (6) conditions:

1. The site is developed as per the attached site plan and presently exists on the property;
2. A waiver of 0.35 metres, reducing the required side yard setback from 0.6 metres to 0.25 metres, was approved for this parcel by the Municipal Planning Commission on June 21, 2021;
3. The applicant shall obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
4. The approved deck heights are 0.50 metres and 0.35 metres, and the approved areas of the deck are 16.34 square metres and 24.05 square metres;
5. The development conforms to the district requirements of the Residential Single and Two Dwelling District (R-2);
6. If the deck is ever rebuilt, a development permit application must be submitted, and the proposed deck and accessory structures must meet the requirements of the land use bylaw that is current at the time of the application;

Background:

Administration received a development permit application for a deck with a post construction side-yard setback waiver. The deck is only 0.25 meters from the property line and should be 0.6 metres from the property line. The fence is not located on the property line which is why the deck is built right up to the fence. Superior Safety Codes and Fire did not have an issue with the deck being attached to the fence. The adjacent property does not have any windows or doors that overlook the deck, and the deck is low, so privacy concerns on either property's part are minimized.

Legislation / Authority:

Subdivision Authority, Development Authority, and Municipal Planning Commission Bylaw 10-2018 Section 1(8)(c) The Municipal Planning Commission shall be the Development Authority for development permits applications for permitted uses which require a variance in excess of Ten Percent (10%) of a measurable standard established in the Land Use Bylaw or any other variance



for which the Municipal Planning Commission is specifically authorized to provide in the Land Use Bylaw.

Strategic Plan Alignment:

Develop Community and Promote Growth #2: Review Town policies and regulations that pertain to development.

Financial Implication:

The applicant has paid the appropriate fees and penalties.

Service Level / Staff Resource Implication:

Administration's time was required for the review of the application.

Justification:

The approval of this setback waiver would allow the deck to remain on the property as is. This deck has existed for some time without complaint, and should not adversely affect the use or enjoyment of neighboring properties.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves DP 21-063 for a deck with a side yard setback waiver to be located at 5326 39 Avenue, Lot 8, Block 53, Plan 7810080, with amended conditions.

Alternative #2: That the Municipal Planning Commission does not approve DP 21-063 for a deck with a side yard setback waiver to be located at 5326 39 Avenue, Lot 8, Block 53, Plan 7810080, with amended conditions.

Attachment(s): Application
Real Property Report
Photos

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



RESIDENTIAL ACCESSORY USE DEVELOPMENT PERMIT APPLICATION

TOWN OF TABER: A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME: [REDACTED]
MAILING ADDRESS: [REDACTED]
TOWN: [REDACTED] POSTAL CODE: [REDACTED]
EMAIL: [REDACTED] PHONE NUMBER: [REDACTED]

Owner Information (if different from applicant)

OWNER NAME: _____
MAILING ADDRESS: _____
TOWN: _____ POSTAL CODE: _____
EMAIL: _____ PHONE NUMBER: _____

Property Information (property to be developed)

MUNICIPAL ADDRESS: _____
LOT(S): _____ BLOCK: _____ PLAN: _____

Description of Project

DESCRIBE YOUR PROJECT

wood patio

Type of Development

TYPE OF DEVELOPMENT PROPOSED (check all that apply)

- Garage (attached) Garage (detached) Shed Deck/Patio
 Pergola Pool/Hot Tub Overheight Fence Tree House
 Other _____

DOES THE DEVELOPMENT REQUIRE ANY WAIVERS?

Note that all waiver requests must go to the Municipal Planning Commission.

- Setback Deck Height Garage Size Second Garage
 Other _____

Start Date and Cost

ESTIMATED START DATE: _____ ESTIMATED COST: _____

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: _____

DATE: _____

REGISTERED OWNER SIGNATURE: _____

DATE: _____

PLANNING OFFICER SIGNATURE: P. Monks

DATE: May 28, 2021

The personal information on this form is being collected for the purpose of reviewing your application to the municipality of the Town of Taber. The information is collected under the authority of Section 146 of the Municipal Government Act (MGA) and Section 33 of the Freedom of Information and Protection of Privacy Act (FOIPP). Under Section 33 of the FOIPP Act, the Town of Taber reserves the right to collect information that relates directly to and is necessary for an operating program or activity of the public body. Names of applicants will be provided to the public. If you have any questions about the collection of this information, please contact the FOIPP coordinator at 403-223-5500 ext. 5519.

Note: This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction.

Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).

At the completion of the development, you will be required to submit an updated *Real Property Report* to the Town of Taber to verify that the project has been constructed in the correct location.

Development Application Submission Requirements

THE FOLLOWING ITEMS MUST BE INCLUDED WITH YOUR APPLICATION (1 copy of each)

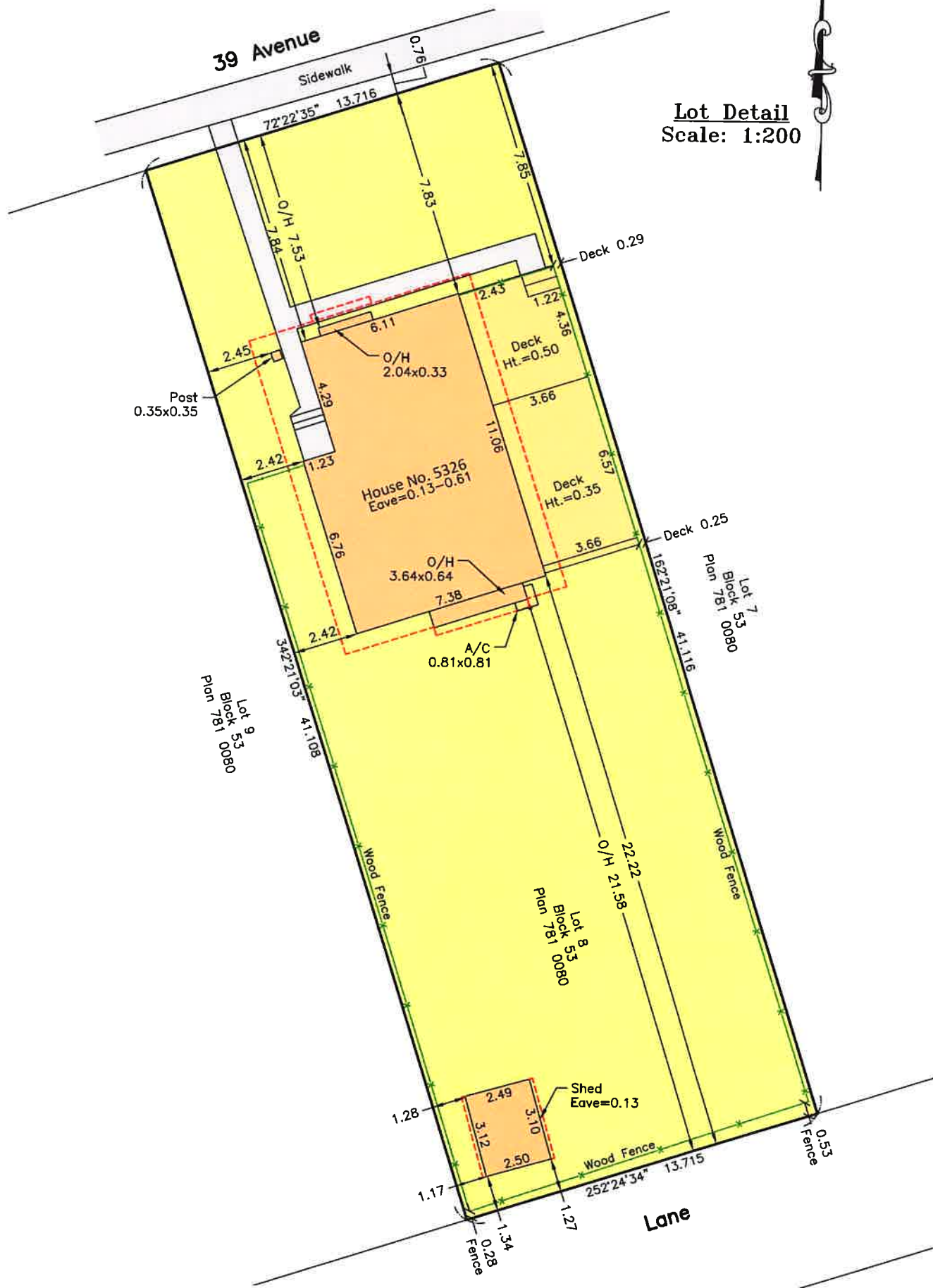
- Site Plan Building Plan
-

SITE PLAN REQUIREMENTS:

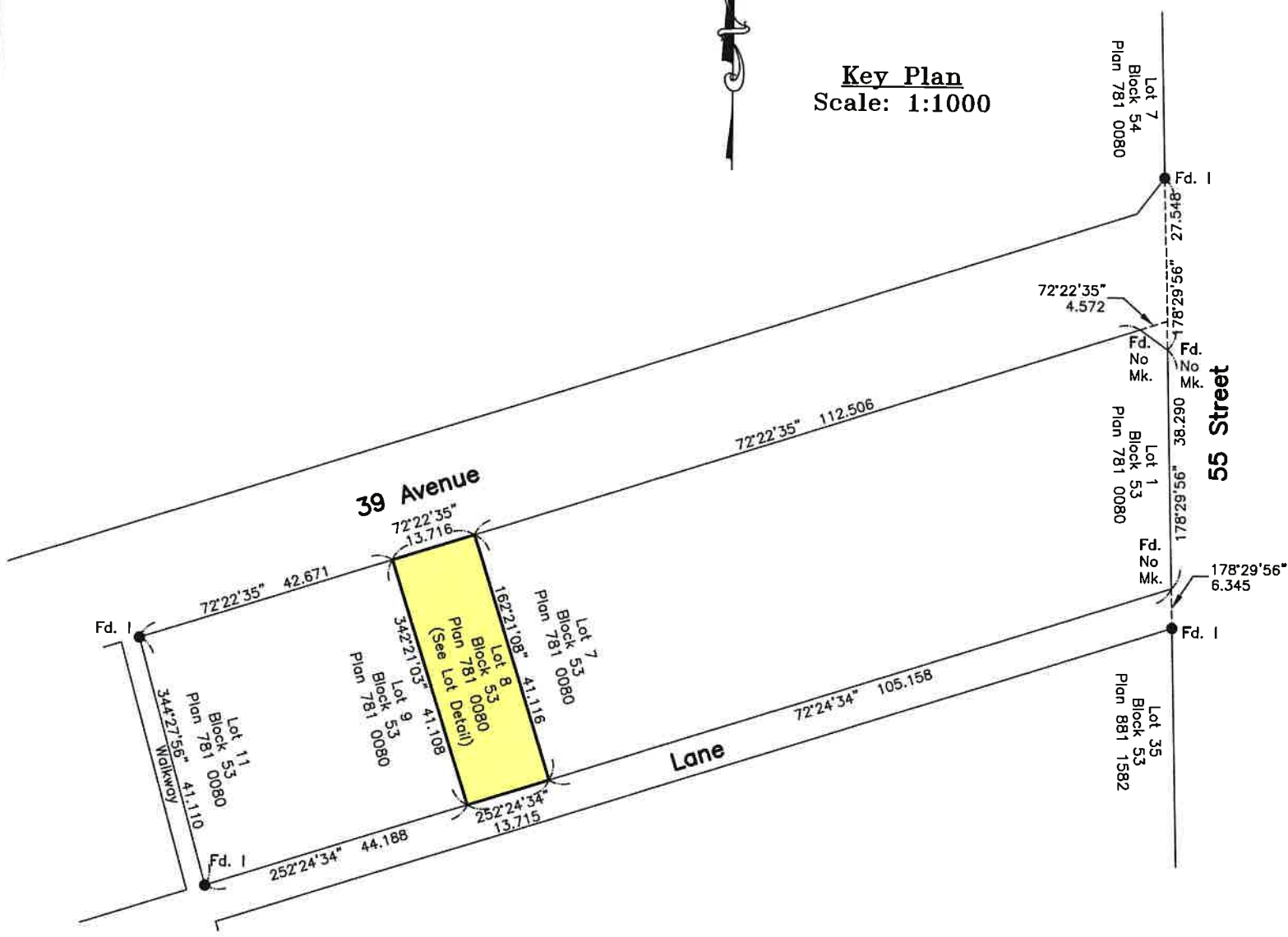
- Lot dimensions
 - Drainage Plan (directions of site drainage)
 - Dimensions and locations of all existing and proposed structures (including structures under 10m²)
 - Dimensions, locations, and heights of all existing and proposed decks/patios
 - All utility right of ways and easements located within or directly adjacent to the site
 - Distances between all structures and property lines
 - Site access with dimensions
 - Adjacent roads and lanes
 - North arrow
-

BUILDING PLAN REQUIREMENTS

- Scale and dimensions of exterior walls and interior room(s)
 - Floor plan of entire building/use
 - Building elevations and heights from finished grade
 - Exterior materials, architectural features, and colours to be used
-



Lot Detail
Scale: 1:200

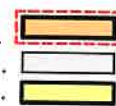


Key Plan
Scale: 1:1000

Alberta Land Surveyor's Real Property Report

LEGEND

- Bearings shown are 3TM grid derived from GNSS Observations.
- Legal survey monuments are shown thus:
found● Fd. I
- Fd. No Mk. indicates Found No Mark
- Buildings and eaves are shown thus
- Concrete is shown thus
- Property boundaries are shown thus
- Fence lines are shown thus
- Dimensions are in metres and decimals thereof.
- Distances are to the existing exterior cladding of the buildings at the time of the survey, unless otherwise shown.
- Eaves are dimensioned from building edge to outside fascia edge, excluding eavestroughing.



- Fences are dimensioned to the centreline of the fenceline.
- Fences which appear to define property lines are within 0.20 metres of property line, unless otherwise noted
- Ht= indicates Height
- A/C indicates Air Conditioning Unit
- O/H indicates Overhang

-No representations are made as to encumbrances that may exist against the title of this property.

This Plan is Page 2 of a Real Property Report and is ineffective if it is detached from Page 1 and 3. Page 2 of 3

SCALE: As Shown	MARTIN GEOMATIC CONSULTANTS LTD. ALBERTA LAND SURVEYORS 255 - 31st Street North Lethbridge, Alberta T1H 3Z4 Phone:329-0050 Fax:329-6594 E-mail:geomart@mgcl.ca ©2021
File No. 219095RPR	
Drawn by: SRP	

Alberta Land Surveyor's Real Property Report

CERTIFICATION

I hereby certify that this Report, which includes the attached plan and related survey, was prepared and performed under my personal supervision and in accordance with the Alberta Land Surveyors' Association's Manual of Standard Practice and supplements thereto. Accordingly, within those standards and as of the date of this Report, I am of the opinion that:

1. The plan illustrates the boundaries of the property, the improvements as defined in Part D Section 8.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements, and rights-of-way, affecting the extent of the title to the property.
2. The Improvements are entirely within the boundaries of the Property, **unless otherwise shown.**
3. No visible encroachments exist on the property from any improvements situated on an adjoining property, **unless otherwise shown.**
4. No visible encroachments exist on registered easements or rights of way affecting the extent of property, **unless otherwise shown.**

PURPOSE

This Report and related plan have been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose of a submittal to the municipality for a compliance certificate. Copying is permitted only for the benefit of these parties, and only if the plan remains attached. Where applicable, registered easements, and utility rights of way affecting the extent of the property have been shown on the attached plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report.

The attached plan should not be used to establish boundaries because of the risk of misinterpretation or measurement error by the user.

The information shown on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.

Dated at Lethbridge, Alberta
this **12th** day of **May**, 2021



Bruce A. Barnett

Bruce A. Barnett, A.L.S.
(copyright reserved)

This document is not valid unless it bears an original signature (in blue ink) and a Martin Geomatic Consultants Ltd. permit stamp (in red ink).

MARTIN GEOMATIC CONSULTANTS LTD.

ALBERTA LAND SURVEYORS
255 - 31st Street North
Lethbridge, Alberta
Phone: 329-0050 Fax: 329-6594
E-mail: geomart@mgcl.ca

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

DESCRIPTION OF PROPERTY

Lot 8
Block 53
Plan 781 0080
C. of T. 081 250 677

MUNICIPAL ADDRESS

5326 - 39 Avenue
Taber, Alberta

Date of Survey: April 26, 2021

Date of Title Search: April 21, 2021

MARTIN GEOMATIC CONSULTANTS LTD.

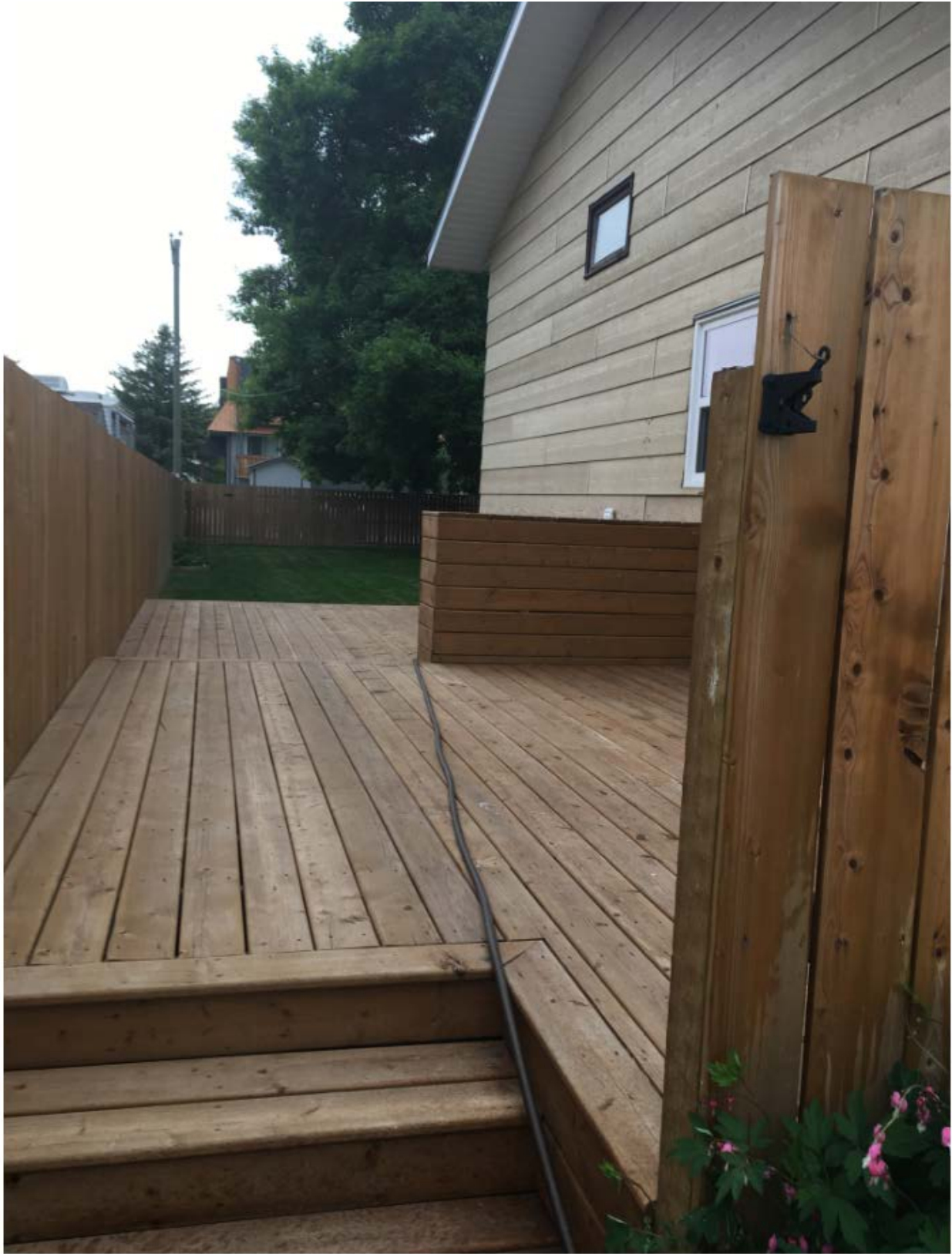
ALBERTA LAND SURVEYORS
255 - 31st Street North
Lethbridge, Alberta
Phone: 329-0050 Fax: 329-6594
E-mail: geomart@mgcl.ca











Development Authority Request for Decision

Meeting Date: June 21, 2021

Subject:

DP 21-070 - 5209 52 Street - Shed with Post Construction Side Setback Waiver

Recommendation:

That the Municipal Planning Commission approves Development Permit DP 21-070 for shed with a side yard setback waiver to be located at 5209 52nd Street, Lots 9-11, Block 1, Plan 2545FB, with the following seven (7) conditions:

1. The site is developed as per the site plan submitted and presently exists on the property;
2. A waiver of 0.6 metres decreasing the side yard setback from 0.60 metres to 0.00 metres has been granted by the Municipal Planning Commission on June 21, 2021;
3. The development conforms to the district requirements of the Residential Single and Two Dwelling district (R-2);
4. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
5. Applicant to ensure water will not accumulate at or near the buildings (positive drainage) on site, nor accumulate on the lot, and will not adversely affect adjacent properties;
6. If the shed is destroyed or replaced, it will not be rebuilt without adhering to the required side yard setback within the Land Use Bylaw in place at that time.
7. All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the.

Background:

Administration has received an application for a shed with a post construction waiver for the side yard set back. The applicant is selling the home, and is applying for a compliance certificate for the RPR. The shed has been in place for several years, and was put in place by a previous owner. The landscaping in the yard incorporates several trees, plantings and bushes, and is well matured. In order to relocate the shed to meet the required setback, several mature trees and landscaping would need to be moved, and risk damage. The shed is located in the rear corner of the yard and there are no other buildings near it. There appear to be no impacts to the adjacent property.

Legislation / Authority:

Subdivision Authority, Development Authority, and Municipal Planning Commission Bylaw 10-2018 Section 1(8)(c) The Municipal Planning Commission shall be the Development Authority for



development permits applications for permitted uses which require a variance in excess of Ten Percent (10%) of a measurable standard established in the Land Use Bylaw or any other variance for which the Municipal Planning Commission is specifically authorized to provide in the Land Use Bylaw.

Strategic Plan Alignment:

Develop Community and Promote Growth #2: Review Town policies and regulations that pertain to development.

Financial Implication:

The applicant has paid the appropriate fees and penalties.

Service Level / Staff Resource Implication:

Administration's time was required for the review of the application.

Justification:

Approving this post-construction waiver would allow the shed to remain in place as built while having negligible impacts on neighbouring properties.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves Development Permit DP 21-070 for shed with a side yard setback waiver to be located at 5209 52 Street, Lots 9-11, Block 1, Plan 2545FB, with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit DP 21-070 for shed with a side yard setback waiver to be located at 5209 52 Street, Lots 9-11, Block 1, Plan 2545FB, with reasons.

Attachment(s): Application
Site Plan
Photos

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



RESIDENTIAL ACCESSORY USE DEVELOPMENT PERMIT APPLICATION

TOWN OF TABER: A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME: _____
MAILING ADDRESS: _____
TOWN: _____ POSTAL CODE: _____
EMAIL: _____ PHONE NUMBER: _____

Owner Information (if different from applicant)

OWNER NAME: _____
MAILING ADDRESS: _____
TOWN: _____ POSTAL CODE: _____
EMAIL: _____ PHONE NUMBER: _____

Property Information (property to be developed)

MUNICIPAL ADDRESS: 5209 - 52 STR TABER
LOT(S): 9-10 + 3.05 OF LOT 11 BLOCK: 1 PLAN: 25457B

Description of Project

DESCRIBE YOUR PROJECT

- WAIVER FOR EXISTING GARDEN SHED SET BACK.
- GARDEN SHED SINCE 1986
- SEE ATTACHED PICTURES

Type of Development

TYPE OF DEVELOPMENT PROPOSED (check all that apply)

- Garage (attached) Garage (detached) Shed Deck/Patio
 Pergola Pool/Hot Tub Overheight Fence Tree House
 Other _____

DOES THE DEVELOPMENT REQUIRE ANY WAIVERS?

Note that all waiver requests must go to the Municipal Planning Commission.

- Setback Deck Height Garage Size Second Garage
 Other _____

Start Date and Cost

ESTIMATED START DATE: N/A ESTIMATED COST: N/A

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: _____

DATE: _____

REGISTERED OWNER SIGNATURE: _____

DATE: _____

PLANNING OFFICER SIGNATURE: P. Marks

DATE: May 28 - 2021

The personal information on this form is being collected for the purpose of reviewing your application to the municipality of the Town of Taber. The information is collected under the authority of Section 146 of the Municipal Government Act (MGA) and Section 33 of the Freedom of Information and Protection of Privacy Act (FOIPPA). Under Section 33 of the FOIPPA Act, the Town of Taber reserves the right to collect information that relates directly to and is necessary for an operating program or activity of the public body. Names of applicants will be provided to the public. If you have any questions about the collection of this information, please contact the FOIPPA coordinator at 403-223-5500 ext. 5519.

Note: This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction.

Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).

At the completion of the development, you will be required to submit an updated *Real Property Report* to the Town of Taber to verify that the project has been constructed in the correct location.

GARDEN SHED
SANNY & HENDRIK DEVLIEBER



OLD UP TILL 1985



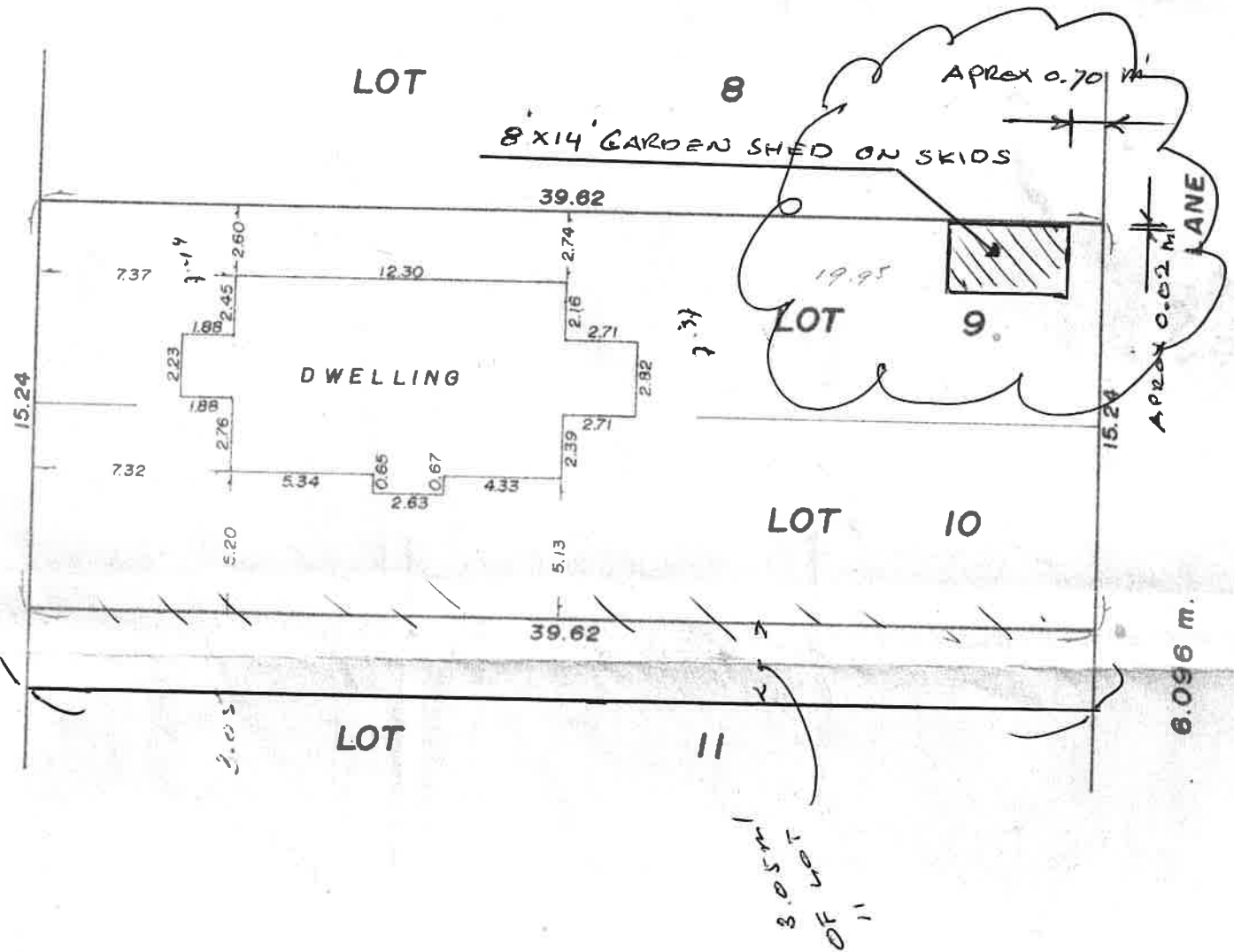
NEW FROM 1986 — 2021

HEWORIK → JANNY DEVLIEBEL
5209-52 STR
TABER T161M4

SURVEYOR'S CERTIFICATE

+ 3.05 OF LOT 11 of
LOT(S) 9 and 10, BLOCK 1, PLAN 2545 F.B.
Located in the TOWN of TABER in the Province of Alberta
Scale 1:250
(5209 - 52 nd. STREET)

52 nd. STREET







Development Authority Request for Decision

Meeting Date: June 21, 2021

Subject:

DP 21-071 - 5320 48 Avenue - Liquor Store

Recommendation:

That the Municipal Planning Commission approves Development Permit DP 21-071 for a Change of Use to “Liquor Store” at 5320 48th Avenue, Lot 10, Block 4, Plan 5638L, with the following nine (9) conditions:

1. The site is developed as per the site plan submitted;
2. The development conforms to the district requirements of the Downtown Land Use District (DT);
3. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain the necessary Building, Plumbing, Electrical, and Gas permits;
4. A Fire Inspection must be conducted by the Town of Taber Fire Department;
5. The applicant must obtain a business license for the operation of a new business;
6. The applicant must obtain and maintain a valid license from the Alberta Gaming, Liquor & Cannabis Commission (AGLC) and provide evidence of the same to the Planning Department prior to occupancy;
7. The use shall not emit nuisances including, but not limited to odour, noise, and light that may have a negative impact on adjacent areas;
8. Any intensification or change of use at this location will require a new development permit application;
9. All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development.

Background:

Administration has received an application for a change of use at 5320 48th, Avenue. The current use is a hair salon and the proposed new use would be a liquor store. Decisions made regarding the application must not be related to the use, and must be valid planning concerns in order to be enforceable and endure an appeal.



Legislation / Authority:

Bylaw 10-2018 - Subdivision and Development Authority and MPC Bylaw, Section 8(b) The Municipal Planning Commission shall be the Development Authority for Development Permit applications for Discretionary Uses.

Strategic Plan Alignment:

Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.

Financial Implication:

The applicant has paid the appropriate fee which will cover the costs of advertising and circulation.

Service Level / Staff Resource Implication:

Administration's time was required to review and process the application, these duties fall under the Planning Department.

Justification:

Approval would allow the applicant to operate a liquor store in the downtown district, which is one of the three districts they are allowed in as a discretionary use.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves Development Permit DP 21-071 for a Change of Use to "Liquor Store" at 5320 48th Avenue, Lot 10, Block 4, Plan 5638L, with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit DP 21-071 for a Change of Use to "Liquor Store" at 5320 48th Avenue, Lot 10, Block 4, Plan 5638L, with reasons.

Attachment(s): Application
Front Elevation Plan

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



INDUSTRIAL/COMMERCIAL/INSTITUTIONAL DEVELOPMENT PERMIT APPLICATION

TOWN OF TABER: A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME: 2301468 ALBERTA LTD
MAILING ADDRESS: [REDACTED]
TOWN: [REDACTED] POSTAL CODE: [REDACTED]
EMAIL: Skim56911@gmail.com PHONE NUMBER: 587 220 4245

Owner Information (if different from applicant)

OWNER NAME: [REDACTED]
MAILING ADDRESS: [REDACTED]
TOWN: [REDACTED] POSTAL CODE: [REDACTED]
EMAIL: _____ PHONE NUMBER: [REDACTED]

Property Information (property to be developed)

MUNICIPAL ADDRESS: 5320 48 AVZ TABER A.B TIG 1S2
LOT(S): 10 BLOCK: 4 PLAN: 5638L

Description of Project

DESCRIBE YOUR PROJECT

Liquor Store

Type of Development

TYPE OF DEVELOPMENT PROPOSED (check all that apply)

- Principal Building Building Addition Accessory Building Shipping Container
 Outdoor Storage New Site Access Change of Use Intensification of Use
 Other Liquid Storage

WILL ANY HAZARDOUS MATERIALS BE LOCATED ON-SITE?

- Yes No

Note: if any hazardous materials or chemicals are to be located on the site, a list of all hazardous materials and estimated quantities must be attached to this application.

WHAT ARE THE TYPES, SIZES, AND AMOUNTS OF COMMERCIAL VEHICLES WILL BE ACCESSING THE SITE?

DELIVERY TRUCK BACK ALLEY DELIVERY

Start Date and Cost

START DATE: Aug 20th / 2021 ESTIMATED COST: \$ 150k
OR SOONER

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: [Signature]

DATE: JUNE 4th / 2021

REGISTERED OWNER SIGNATURE: [Redacted]

DATE: [Redacted]

PLANNING OFFICER SIGNATURE: [Signature]

DATE: JUNE 8, 2021

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Note: This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction. Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).

At the completion of developing the principal building you will be required to submit an updated *Real Property Report* to the Town of Taber to verify that the project has been constructed in the correct location.

Development Application Submission Requirements

THE FOLLOWING ITEMS MUST BE INCLUDED WITH YOUR APPLICATION (1 copy of each)

- Site Plan Building Plan Elevation/Drainage/Plot Plan
 Security Deposit
-

SITE PLAN REQUIREMENTS:

- Lot dimensions
 Dimensions and locations of all existing and proposed structures (including structures under 10m²)
 All utility right of ways and easements located within or directly adjacent to the site
 Distances between all structures and property lines
 Site access with dimensions
 On-site parking stalls (6m x 3m per stall)
 Landscaping (A minimum of 10% of the site must be landscaped)
 Adjacent roads and lanes
 North arrow
-

BUILDING PLAN REQUIREMENTS

- Scale and dimensions of exterior walls and interior rooms
 Floor plan(s) of entire principal building
 Building elevations and heights from finished grade
 Exterior materials, architectural features, and colours to be used
-

ELEVATION/DRAINAGE/PLOT PLAN REQUIREMENTS

- Property boundary elevations
 Building Foundation elevations
 Proposed lot drainage patterns (must not impact neighbouring properties)
-

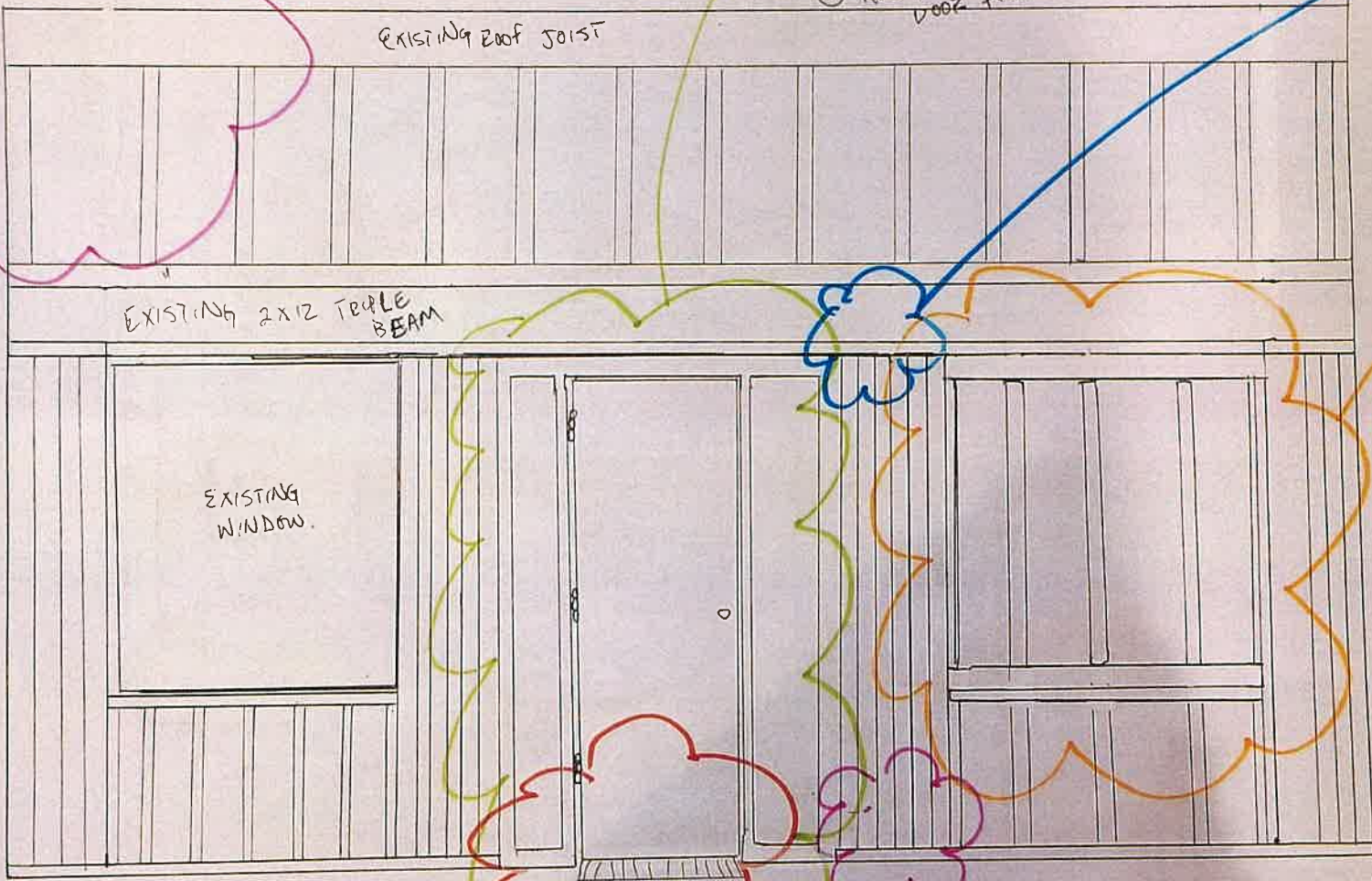
ASSUMED EXISTING FRAMING

NEW FRONT DOOR:
① ADD 6 - 2x6 STUDS LAMINATED TOGETHER ON REMOVED WINDOW SIDE
② ADD NEW CUSTOM BUILT ANODIZED ALUMINUM DOOR FRAME C/W SIDE BAR WINDOWS.

EXISTING 3 PLY 2x12 BEAM - ADDITIONAL 6 PLY POST ON EXISTING PLATE.

INFILL EX ~ WINDOW EXTERIOR 2x6 V R20 E 6 MIL POLY 1/2" DW

EXISTING BOTTOM PLATE (PWF)
NEW 6 ply post 2x6 LAM.



EXISTING ROOF JOIST

EXISTING 2x12 TRIPLE BEAM

EXISTING WINDOW.

EXISTING CURB

EXISTING COBBLESTONE SIDEWALK

STREET

NEW FRONT DOOR.

4" FORM BURY 2" DEEP

16
M

Development Authority Request for Decision

Meeting Date: June 21st, 2021

Subject:

DP 21-073 - 5904 52 Avenue - Addition to Plant

Recommendation:

That the Municipal Planning Commission approves Development Permit DP 21-0743 for additions with side yard setback waivers at 5904 52nd Avenue, Lots 2-3, Block 1, Plan 4343JK, with the following fourteen (14) conditions:

1. The site is to be developed as per the site plan submitted, to the satisfaction of the Director of Planning & Economic Development,
2. The applicant shall ensure that stormwater does not enter adjacent properties, and that post development flows into roads or ditches does not exceed pre-development flows. Taber Irrigation District will require the implementation of low impact development initiatives such as on-site storage, permeable gravel or grass on-site landscaping, rain barrels or rain gardens, for example. Provision of these details should form part of the grading and drainage plan, or be provided on a landscaping plan.
3. A grading and drainage plan must be submitted to, and approved by, the Director of Planning & Economic Development prior to construction commencing;
4. A landscaping plan demonstrating the requirement for 10% landscaping of the site has been met shall be provided and approved, prior to construction commencing;
5. A waiver of 6.477 metres decreasing the side yard setback from 7.00 metres to 0.523 metres has been granted by the Municipal Planning Commission on June 21, 2021;
6. The development shall conform to the land use bylaw Medium Industrial District (M-2) Requirements,
7. The applicant shall obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE), Alberta Health Services and all other applicable codes;
8. If sprinkler permits are required under the Alberta Building Code, a separate building permit application must be made in conjunction with the permit for the building, and a copy provided for the Town of Taber,
9. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbour's property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed

off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 4-2008). In addition, the addressing of the building is to remain clearly visible through all stages of construction,

10. In accordance with policy 68C08/21/00, a \$2500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets, sidewalks, or services as a result of construction of this dwelling shall be restored to Town standards at the applicant's expense prior to issuance of an occupancy permit,
11. All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development,
12. The applicant must ensure the contractor commissioned for the construction has a valid Business License for the Town of Taber,
13. The applicant is responsible to obtain approvals from CP Rail for work in the Railway ROW and provide a copy for the DP file, or alternatively provide confirmation of cancellation of ROW.
14. The applicant will submit a Construction Schedule, Fire Safety Plan, Exterior Finish Plan, and a Traffic Accommodation Plan to the Director of Planning and Economic Development for their approval prior to construction starting.

Background:

Administration has received a development permit application for additions to a local plant. The additions would be a combined 378 metres² and will add more packaging area to the southwest corner of the plant and extra room in the dust room at the northwest corner of the plant. There is a setback waiver required for the additions as they will be located 0.523 metres from the property line on the west. This request for a waiver would see the new additions lined up with the existing building, which, is only 0.523 metres from the property line in question. The neighbouring lot has no development on it at this time. The use of the property is not changing in any way and no extra employees would be added, so there is no need to increase any of the parking requirements for the staff parking.

Legislation / Authority:

Bylaw 10-2018 - Subdivision and Development Authority and MPC Bylaw, Section 8(b) The Municipal Planning Commission shall be the Development Authority for Development Permit applications for Discretionary Uses.

Strategic Plan Alignment:

Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.

Financial Implication:

The applicant has paid the appropriate development permit fees will cover costs of advertising and notifications.

Service Level / Staff Resource Implication:

Administration's time is required to review and process the application, these duties fall under the Planning Department.



Justification:

This will allow an existing business to continue to expand their business to meet growth needs and be successful.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves Development Permit DP 21-073 for additions with side yard setback waivers at 5904 52nd Avenue, Lots 2-3, Block 1, Plan 4343JK, with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit DP 21-073 for additions with side yard setback waivers at 5904 52nd Avenue, Lots 3, Block 1, Plan 4343JK, with reasons.

Attachment(s): Application
Drawings
Comments
Checklist

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



INDUSTRIAL/COMMERCIAL/INSTITUTIONAL DEVELOPMENT PERMIT APPLICATION

TOWN OF TABER, A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME:

MAILING ADDRESS:

TOWN: POSTAL CODE:

EMAIL: PHONE NUMBER:

Owner Information (if different from applicant)

OWNER NAME:

MAILING ADDRESS:

TOWN: POSTAL CODE:

EMAIL: PHONE NUMBER:

Property Information (property to be developed)

MUNICIPAL ADDRESS:

LOT(S): BLOCK: PLAN:

Description of Project

DESCRIBE YOUR PROJECT

Two new building additions totalling approximately 378 m² will be added to the existing 6723m² building.
The new additional will be used for the same processes already in the building.
The addition will be used for the packaging of products.
There will be no increase in personnell working in the facility due to this addition.
The existing parking to the north is under utilized for the work force at the plant.

Type of Development

TYPE OF DEVELOPMENT PROPOSED (check all that apply)

- Principal Building
- Building Addition
- Accessory Building
- Shipping Container
- Outdoor Storage
- New Site Access
- Change of Use
- Intensification of Use
- Other _____

WILL ANY HAZARDOUS MATERIALS BE LOCATED ON-SITE?

- Yes
- No

Note: if any hazardous materials or chemicals are to be located on the site, a list of all hazardous materials and estimated quantities must be attached to this application.

WHAT ARE THE TYPES, SIZES, AND AMOUNTS OF COMMERCIAL VEHICLES WILL BE ACCESSING THE SITE?

There are no change in commercial vehicles on site, Semis for shipping product will not be impacted by this addition.

Start Date and Cost

START DATE: July 2021 ESTIMATED COST: \$2,300,000

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: *Jude Bodie* DATE: June 15, 2021

REGISTERED OWNER SIGNATURE: *[Signature]* DATE: June 15/21

PLANNING OFFICER SIGNATURE: *P. Monks* DATE: June 15, 2021

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Development Application Submission Requirements

THE FOLLOWING ITEMS MUST BE INCLUDED WITH YOUR APPLICATION (1 copy of each)

- Site Plan
 - Building Plan
 - Elevation/Drainage/Plot Plan
 - Security Deposit
-

SITE PLAN REQUIREMENTS:

- Lot dimensions
 - Dimensions and locations of all existing and proposed structures (including structures under 10m²)
 - All utility right of ways and easements located within or directly adjacent to the site
 - Distances between all structures and property lines
 - Site access with dimensions
 - On-site parking stalls (6m x 3m per stall)
 - Landscaping (A minimum of 10% of the site must be landscaped)
 - Adjacent roads and lanes
 - North arrow
-

BUILDING PLAN REQUIREMENTS

- Scale and dimensions of exterior walls and interior rooms
 - Floor plan(s) of entire principal building
 - Building elevations and heights from finished grade
 - Exterior materials, architectural features, and colours to be used
-

ELEVATION/DRAINAGE/PLOT PLAN REQUIREMENTS

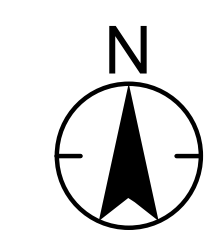
- Property boundary elevations
 - Building Foundation elevations
 - Proposed lot drainage patterns (must not impact neighbouring properties)
-

SITE NOTES

Lot / Block / Plan: Lot 3 / Block 1 / Plan 4343JK
 Civic Address: 5904 54th Avenue Taber
 Building Classification: Group F, Div 2
 Land Use: Medium Industrial District
 Building Code Reference: 3.2.2.75 Up to 4 Storeys, Increased Area, Sprinklered

Building & Lot Areas:

T/O Warehouse Floor Geodetic Elevation: 812.040m
 T/O Packaging Floor Geodetic Elevation: 810.749m
 Existing Building Area: 6,723m² (72,363 ft²)
 Packaging Addition Area: 331m² (3,563 ft²)
 Dust Collector Room Area: 47.5m² (511 ft²)
 New Building Area: 7,101.5m² (76,440 ft²)
 Total Lot Area: 2.4289ha (6ac)
 Acceptable Uses: Packaging
 Proposed Uses: Packaging
 Construction Parking Will Be Off The Site, On Street Parking



NO.	ISSUES/REVISIONS	DATE	BY
6	RE-ISSUED FOR DP	JUNE 14/21	CP
5	RE-ISSUED FOR TENDER	MAY 31/21	CP
4	ISSUED FOR DP	APR 15/21	CP
1	ISSUED FOR TENDER/PERMITS	MAR 9/21	CP
0	ISSUED FOR PRICING	JAN 06/21	DP

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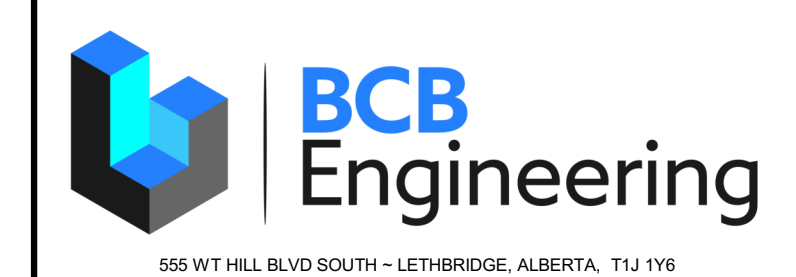
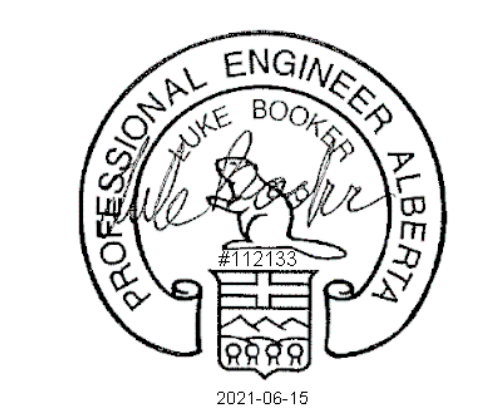
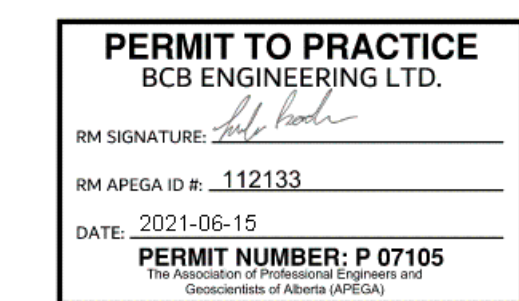


PROJECT NAME

PROJECT SKY

PROJECT ADDRESS

5904 54 AVE. TABER, AB

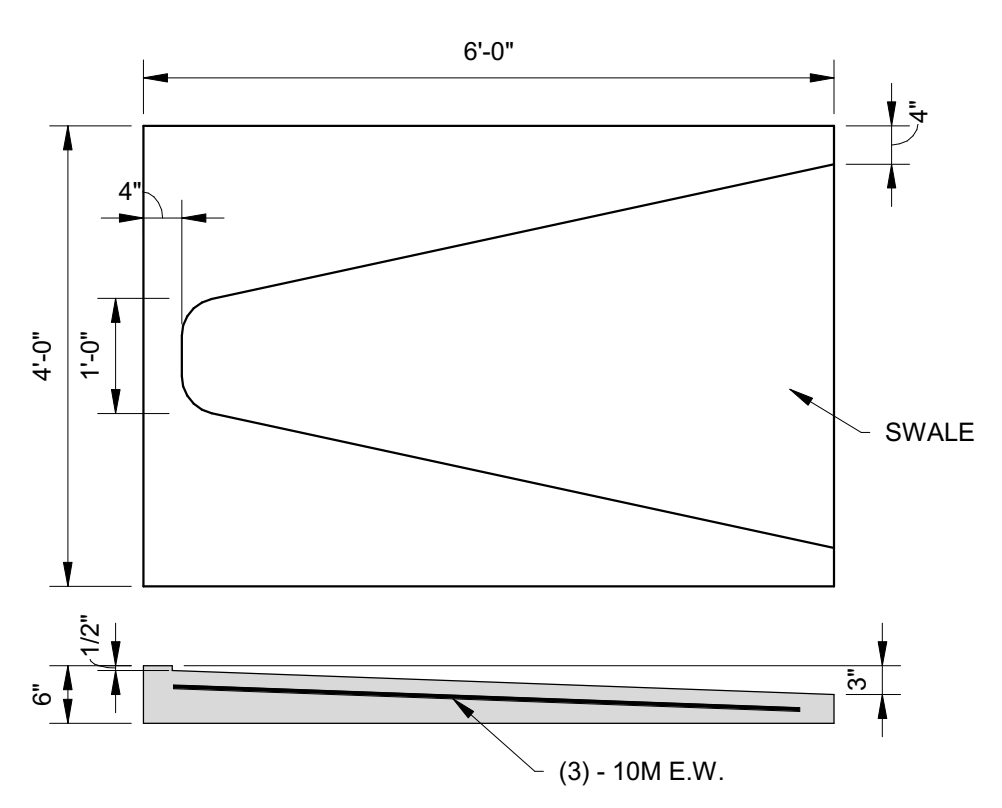


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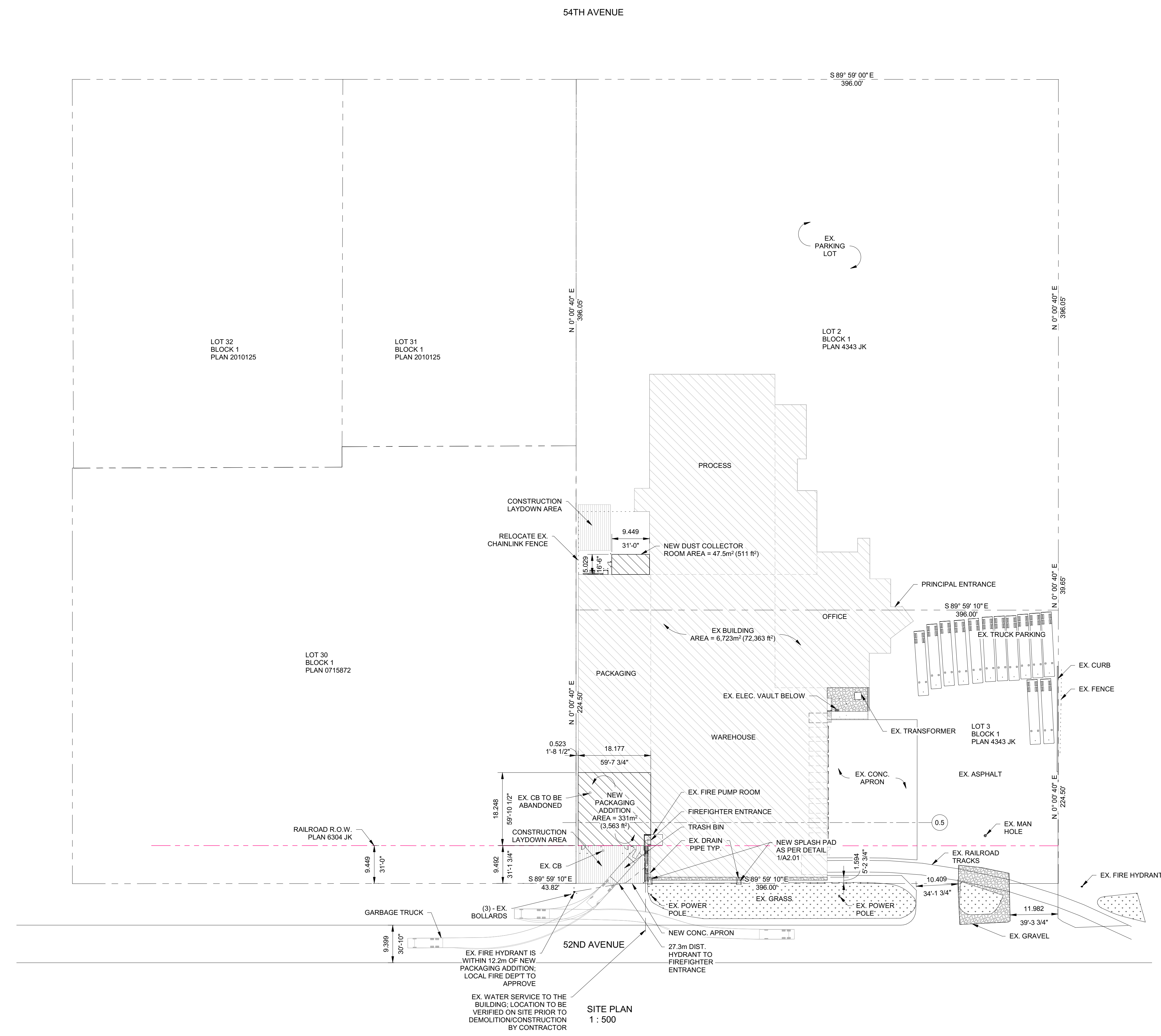
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PROJECT NO. **L208689** CHECKED **LB** DRAWN **SW**

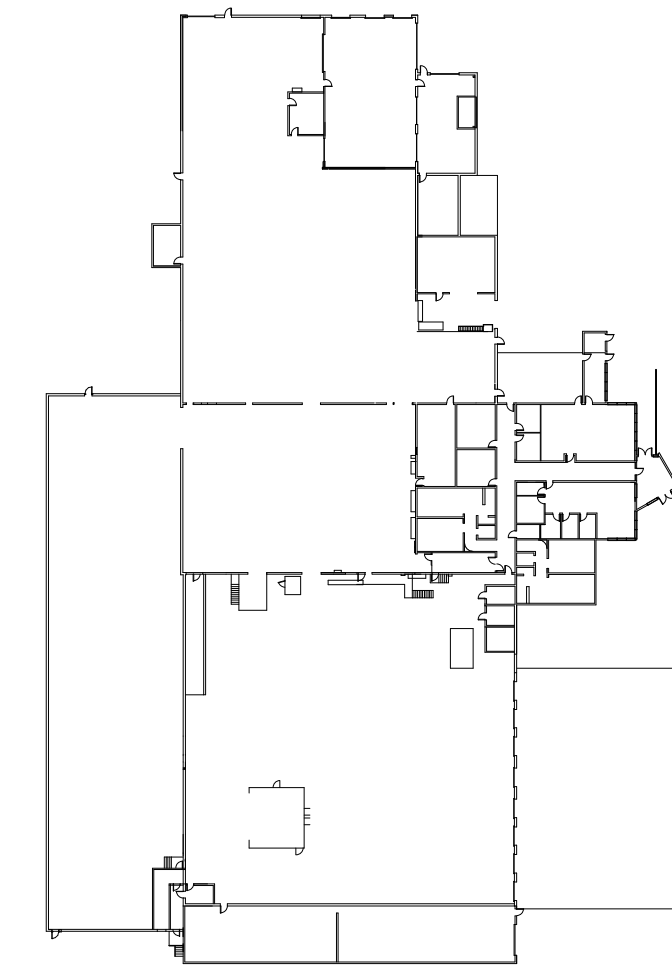
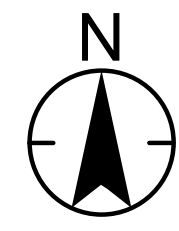
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1 DETAIL - SPLASH PAD
1 : 20



SITE PLAN
1 : 500



KEY PLAN

NO.	DESCRIPTION	DATE	BY
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5	RE-ISSUED FOR TENDER	MAY 31/21	CP
4	ISSUED FOR DP	APR 16/19	CP
1	ISSUED FOR TENDER/PERMITS	MAR 9/21	CP
0	ISSUED FOR PRICING	JAN 06/21	DP

ISSUES/REVISIONS

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CLIENT

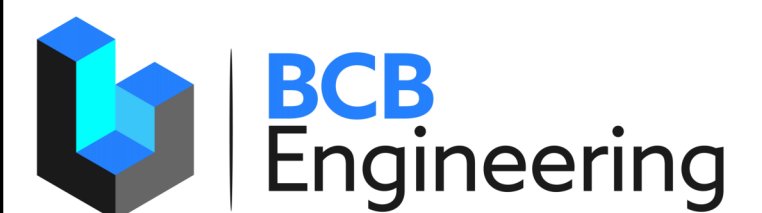
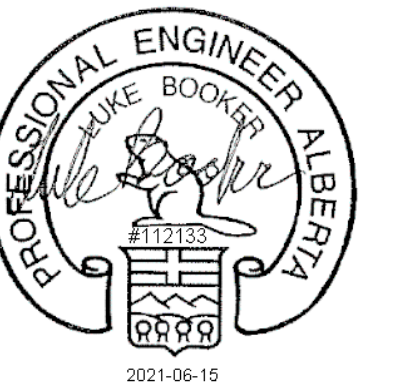
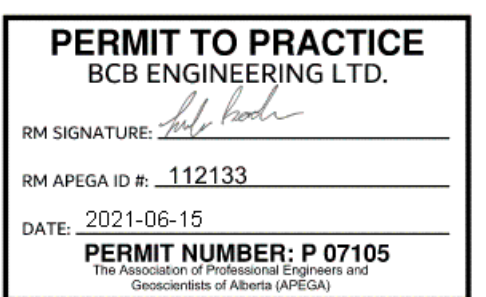


PROJECT NAME

PROJECT SKY

PROJECT ADDRESS

5904 54 AVE. TABER, AB



555 WT HILL BLVD SOUTH - LETHBRIDGE, ALBERTA, T1J 1Y6
INFO@BCBENGINEERING.COM - 403.320.4888

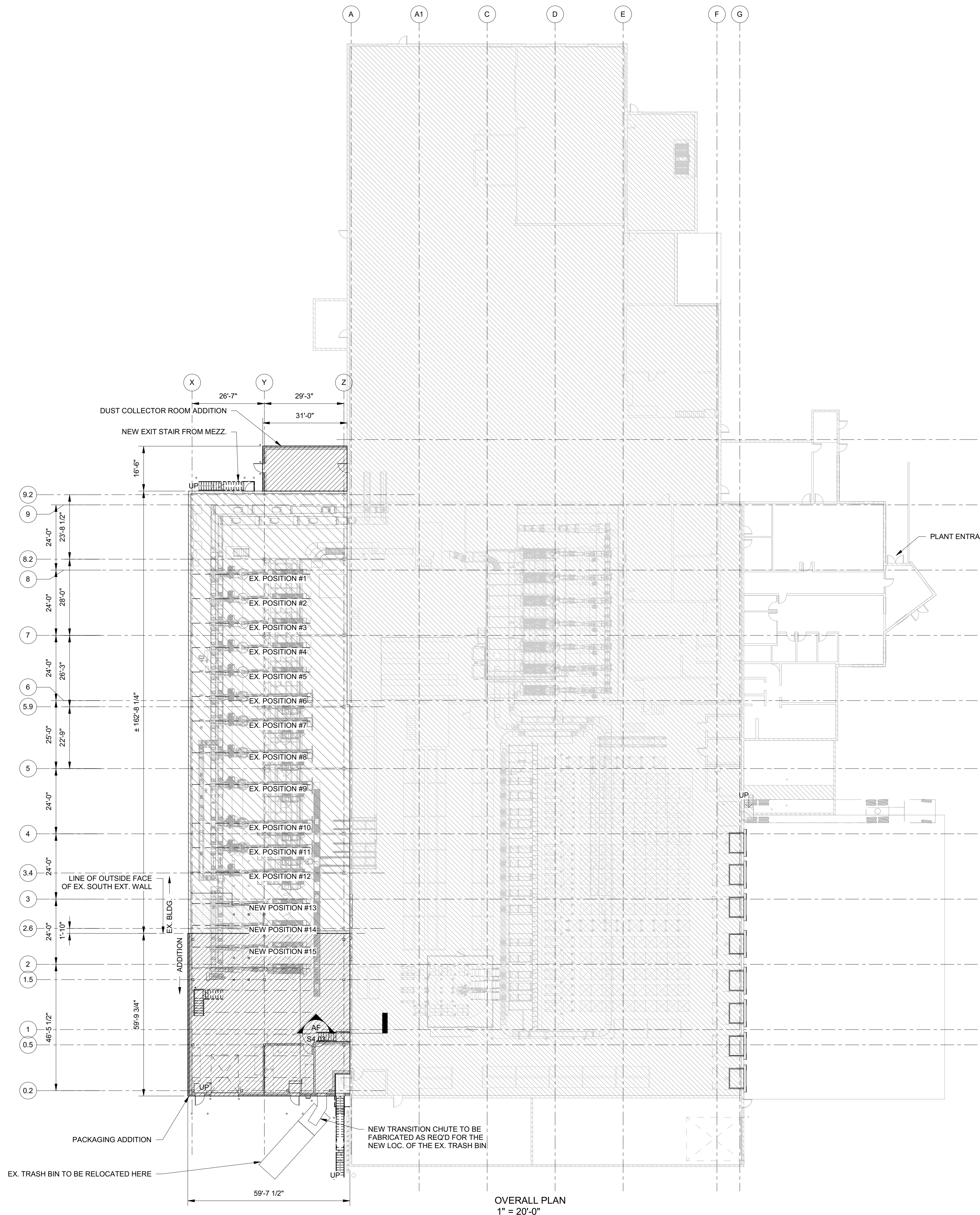
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OVERALL PLAN

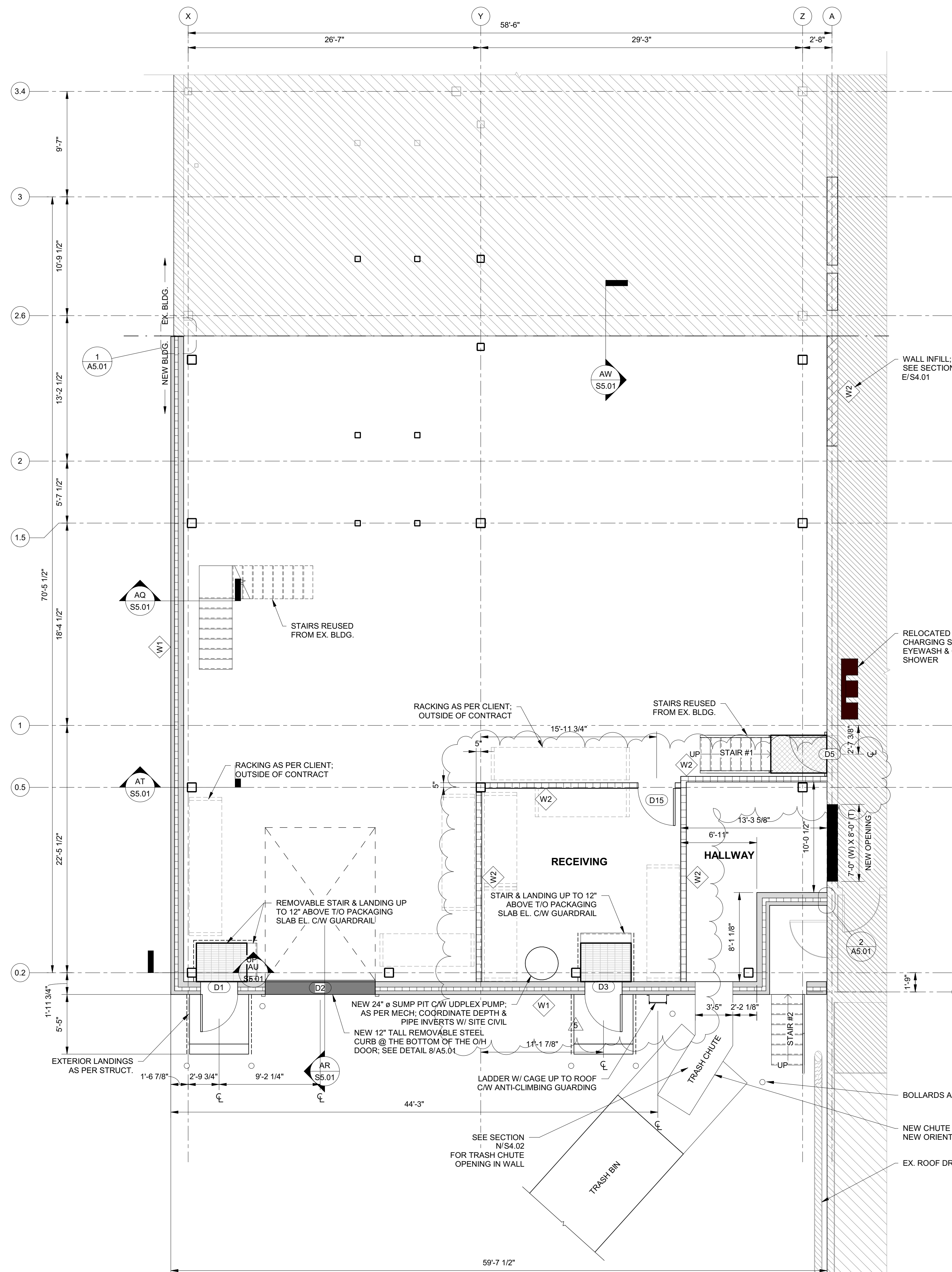
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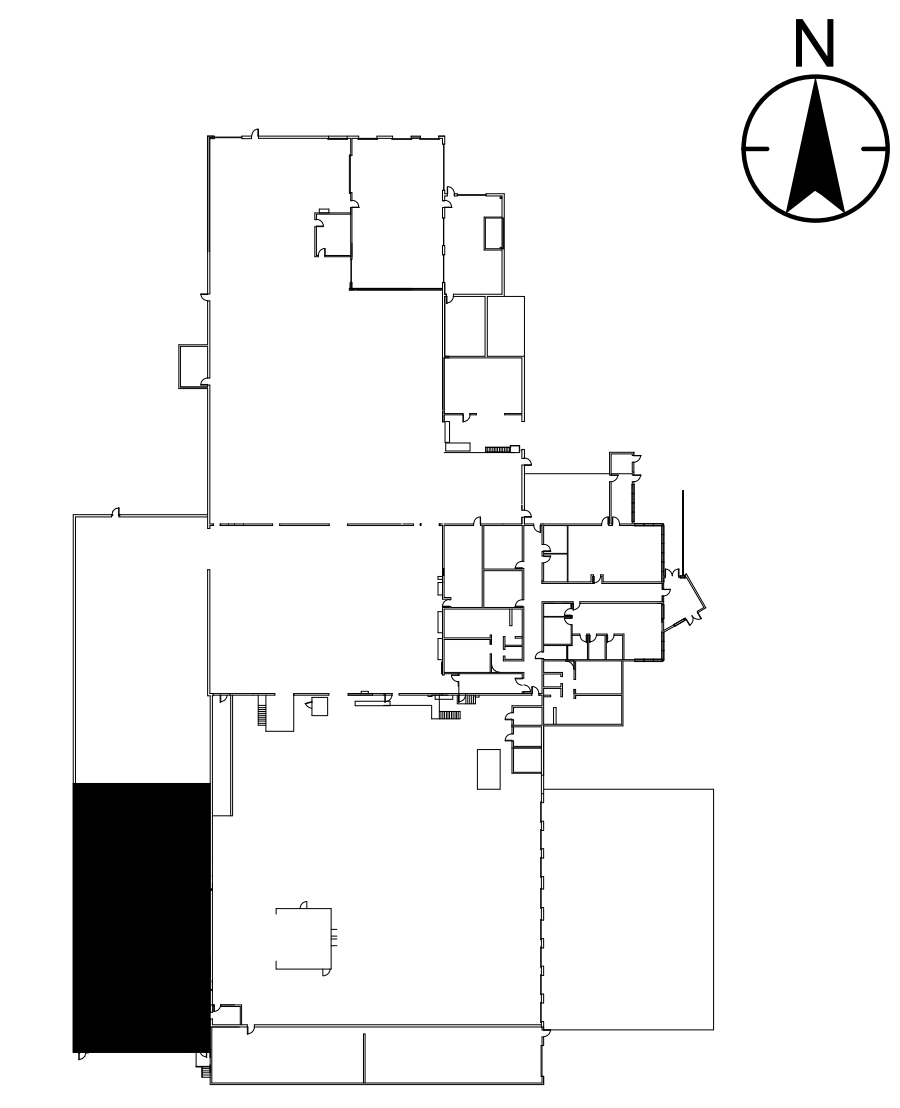
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Rev:6



OVERALL PLAN
1" = 20'-0"



PACKAGING EXPANSION MAIN FLOOR PLAN
3/16" = 1'-0"



KEY PLAN

TAG/SYMBOL LEGEND

	WALL TAG
	DOOR TAG
	WINDOW TAG



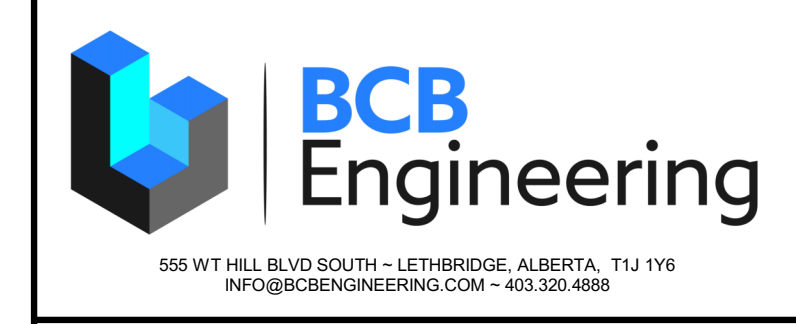
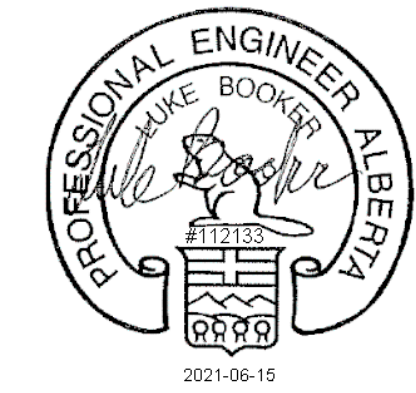
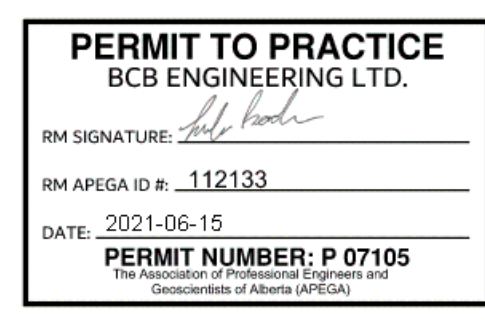
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PROJECT NAME
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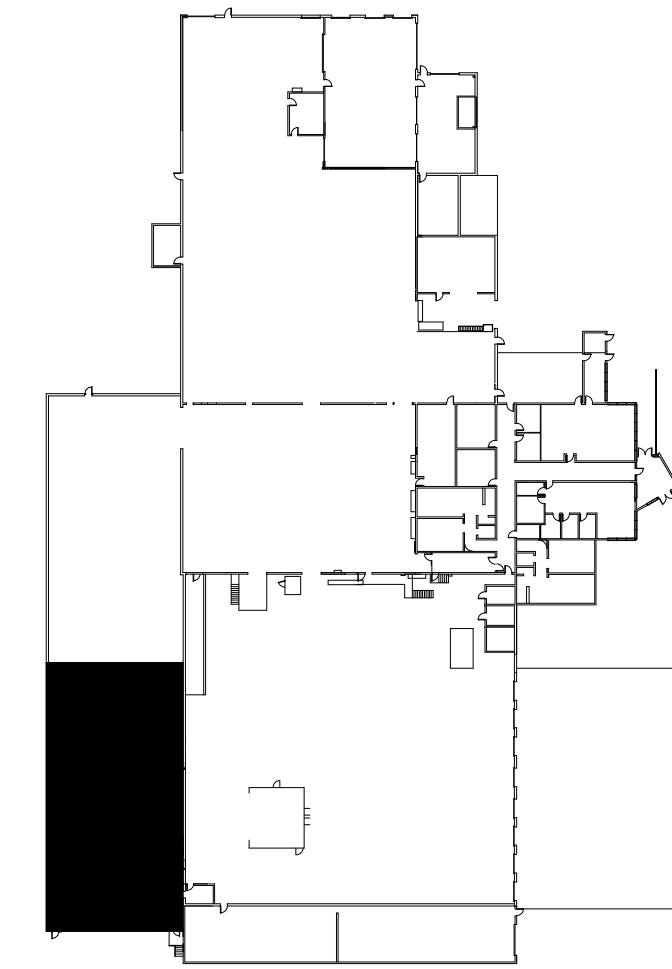
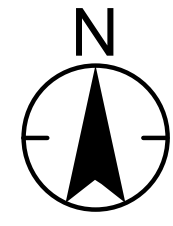
PROJECT ADDRESS
5904 54 AVE. TABER, AB



TITLE
PACKAGING EXPANSION MAIN FLOOR PLAN

PROJECT NO. **L208689** CHECKED **LB** DRAWN **DP**

SHEET NO. **A2.03**



KEY PLAN

ISSUES/REVISIONS			
NO.	DESCRIPTION	DATE	BY
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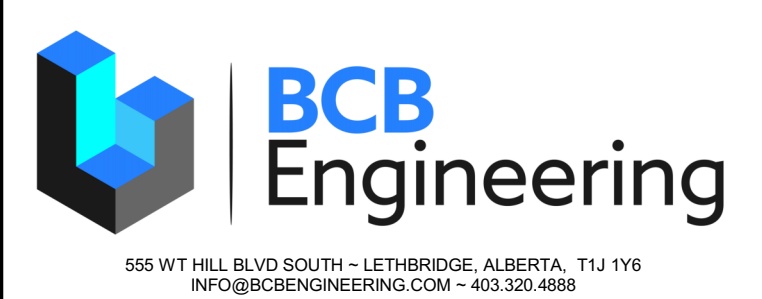
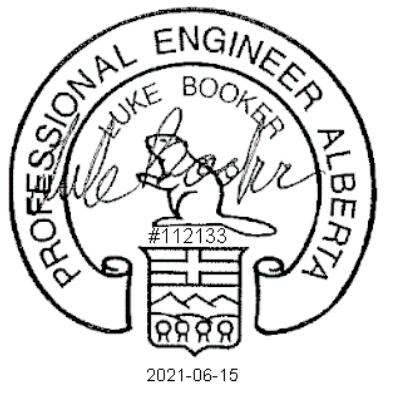
PROJECT NAME

PROJECT SKY

PROJECT ADDRESS

5904 54 AVE. TABER, AB

PERMIT TO PRACTICE
BCB ENGINEERING LTD.
RM SIGNATURE: *[Signature]*
RM APEGA ID #: 112133
DATE: 2021-06-15
PERMIT NUMBER: P 07105
The Professional Engineers and Geoscientists of Alberta (APEGA)

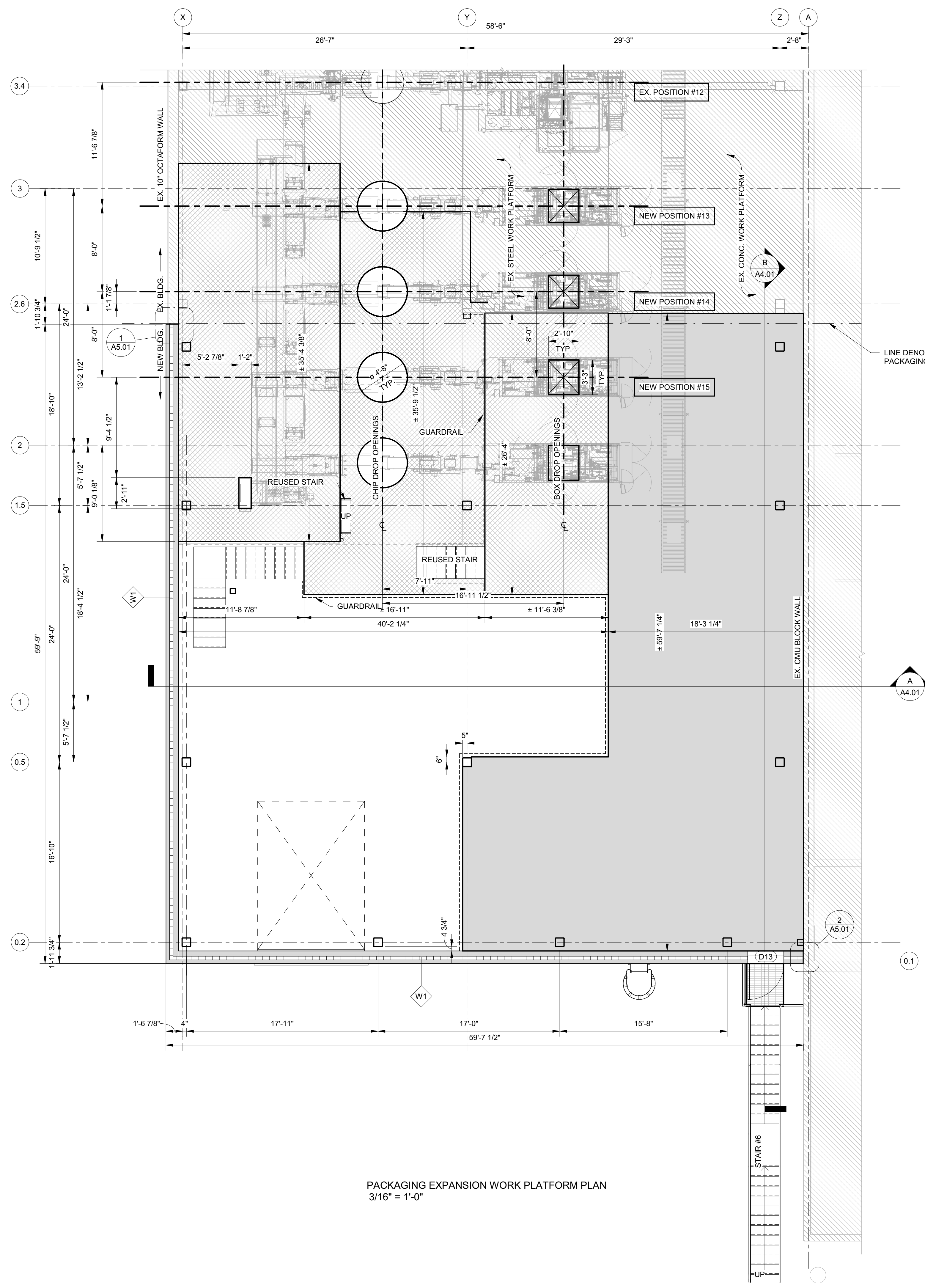


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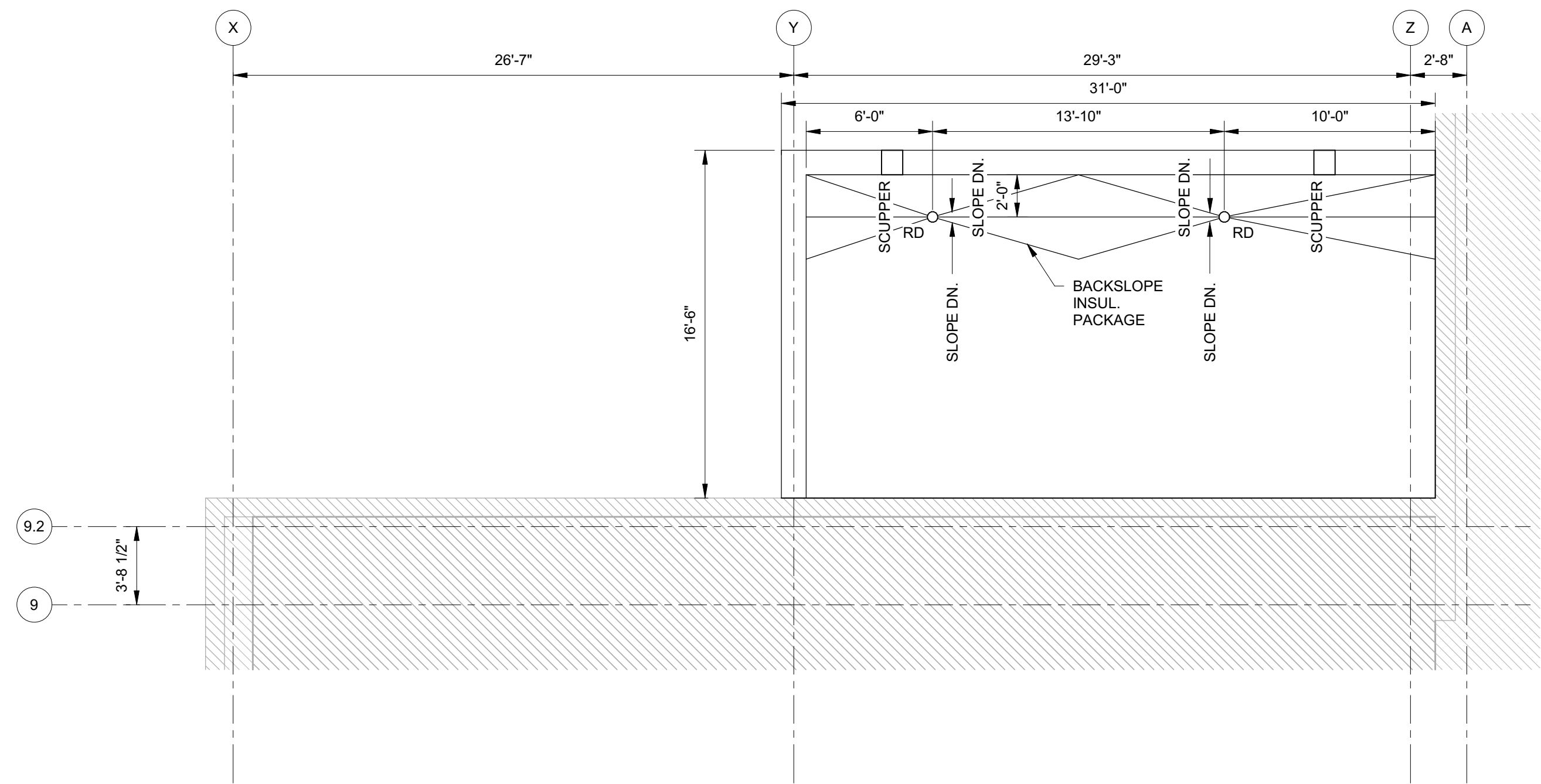
PACKAGING EXPANSION WORK PLATFORM PLAN

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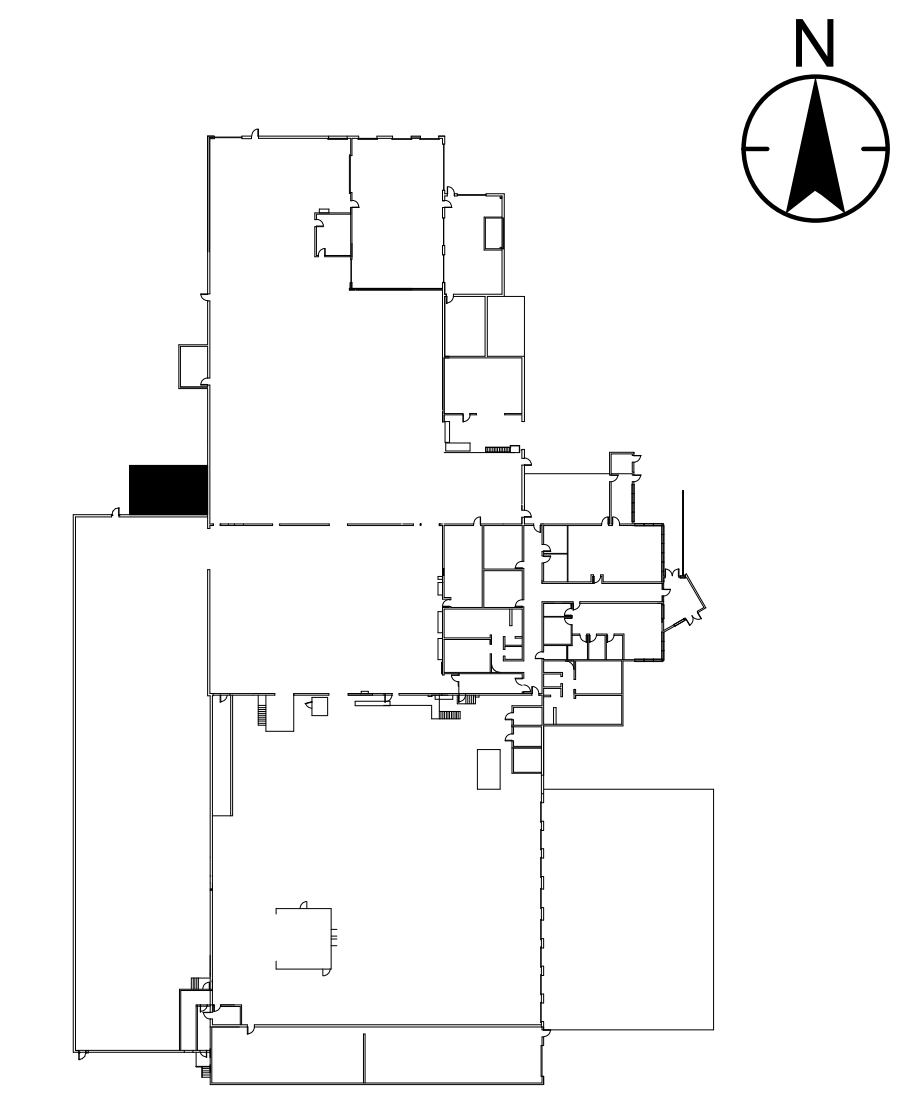
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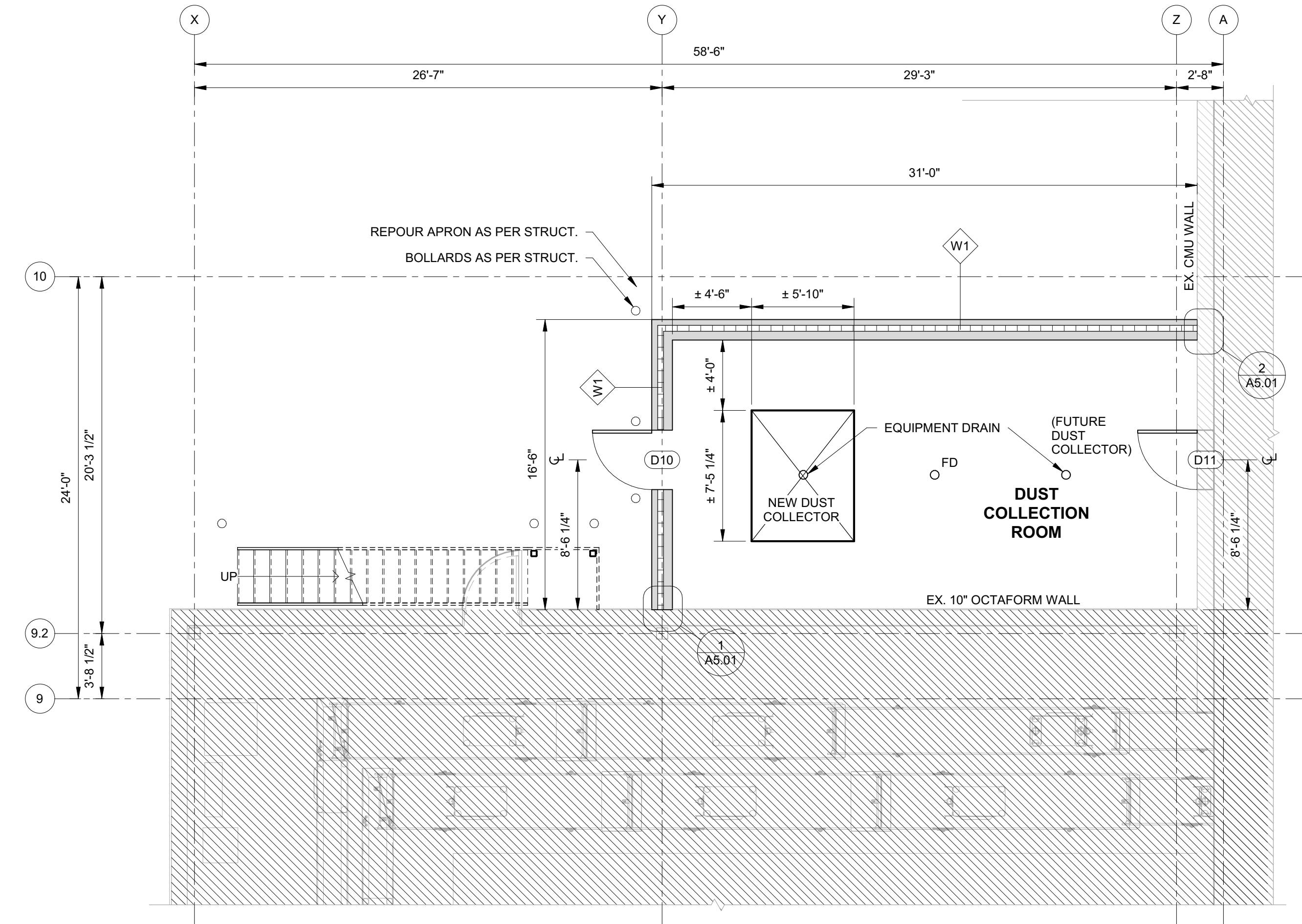


DUST COLLECTION ROOM ROOF PLAN
3/16" = 1'-0"



KEY PLAN

- NOTES:**
1. NEW DUST COLLECTOR SIZE & LOCATION TO BE CONFIRMED.



DUST COLLECTION ROOM FLOOR PLAN
3/16" = 1'-0"



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1	ISSUED FOR TENDER/PERMITS		MAR 9/21	CP
0	ISSUED FOR PRICING		JAN 06/21	DP

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CLIENT

PROJECT NAME

PROJECT SKY

PROJECT ADDRESS

5904 54 AVE. TABER, AB

PERMIT TO PRACTICE
BCB ENGINEERING LTD.

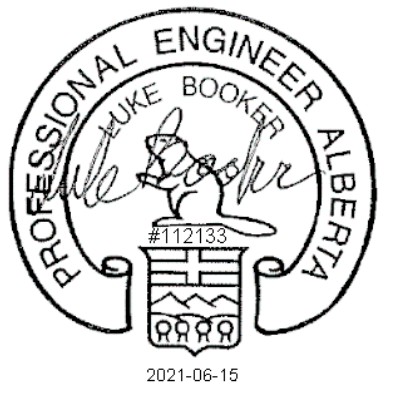
RM SIGNATURE: *[Signature]*

RM APEGA ID #: 112133

DATE: 2021-06-15

PERMIT NUMBER: P 07105

The Association of Professional Engineers and Geoscientists of Alberta (APEGA)



555 WT HILL BLVD SOUTH - LETHBRIDGE, ALBERTA, T1J 1Y6
INFO@BCBENGINEERING.COM - 403.320.4888

TITLE

DUST COLLECTION ROOM PLANS

PROJECT NO. L208689	CHECKED LB	DRAWN DP
-------------------------------	----------------------	--------------------

SHEET NO.

A2.07



ISSUES/REVISIONS			
NO.	DESCRIPTION	DATE	BY
6	RE-ISSUED FOR DP	JUN 14/21	CP
5	RE-ISSUED FOR TENDER	MAY 31/21	CP
4	ISSUED FOR DP	APR 16/19	CP
1	ISSUED FOR TENDER/PERMITS	MAR 9/21	CP
0	ISSUED FOR PRICING	JAN 06/21	DP

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CLIENT

PROJECT NAME

PROJECT SKY

PROJECT ADDRESS

5904 54 AVE. TABER, AB

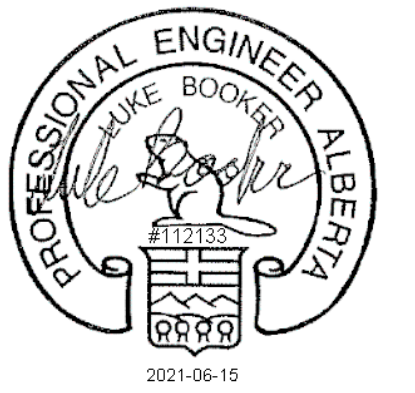
PERMIT TO PRACTICE
BCB ENGINEERING LTD.

RM SIGNATURE: *[Signature]*

RM APEGA ID #: 112133

DATE: 2021-06-15

PERMIT NUMBER: P 07105
The Association of Alberta (APEGA)

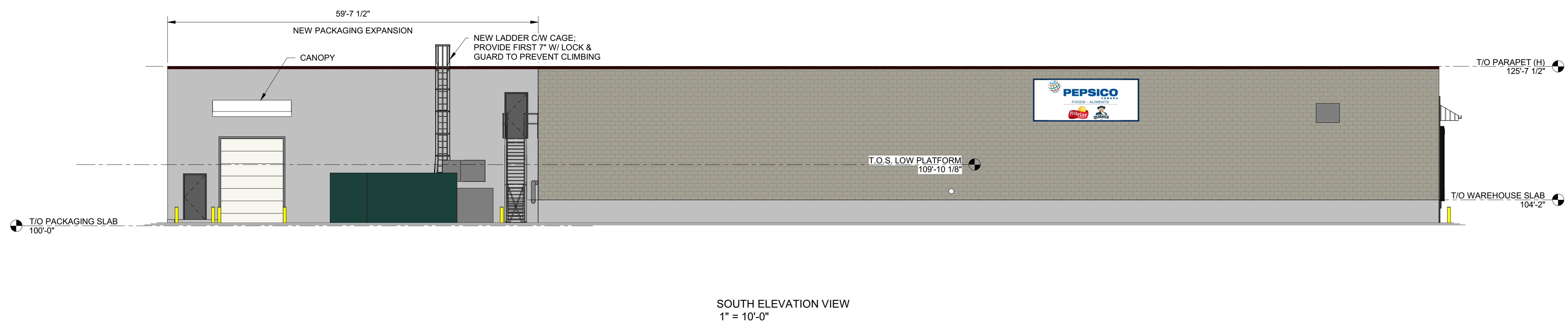
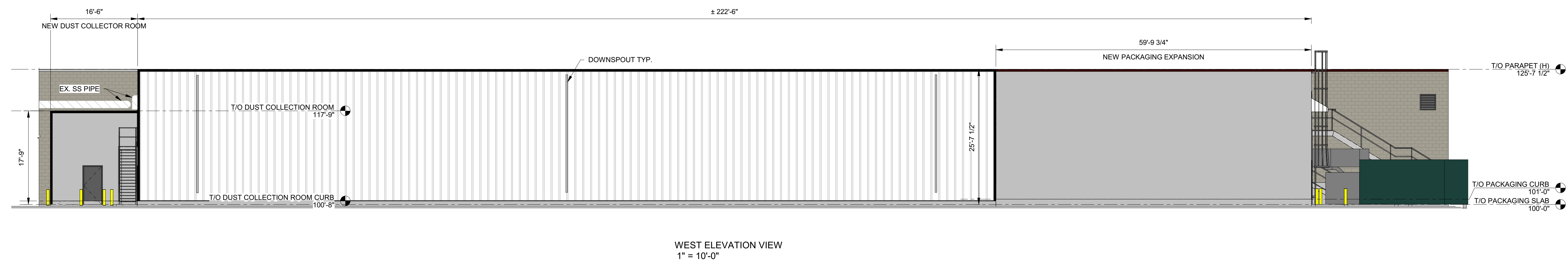


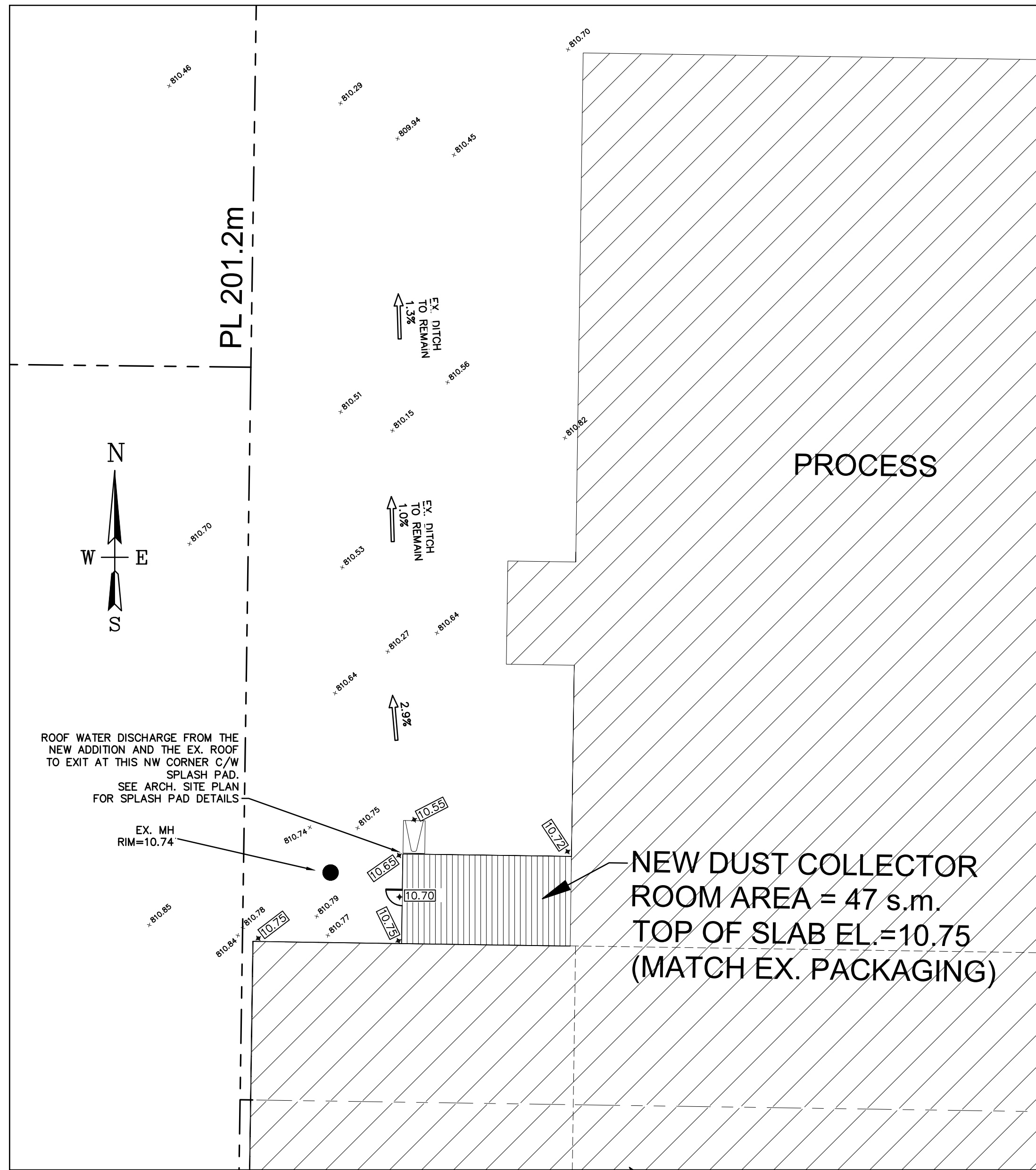
555 WT HILL BLVD SOUTH - LETHBRIDGE, ALBERTA, T1J 1Y6
INFO@BCBENGINEERING.COM - 403.320.4888

TITLE

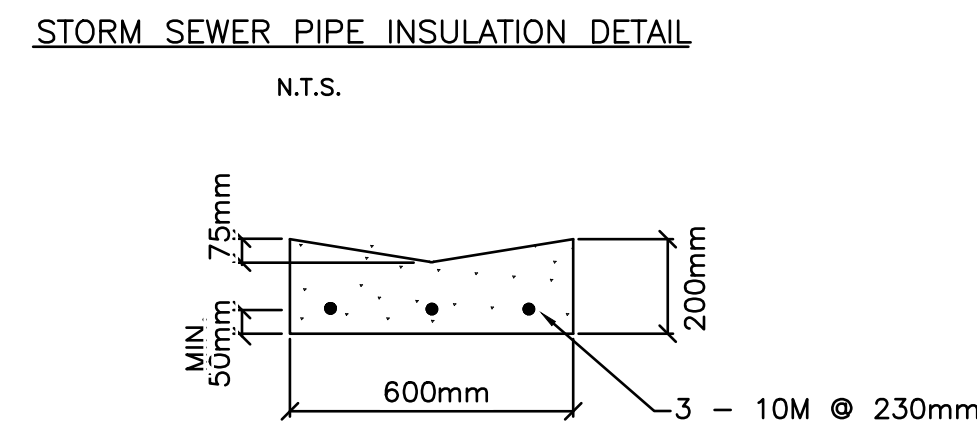
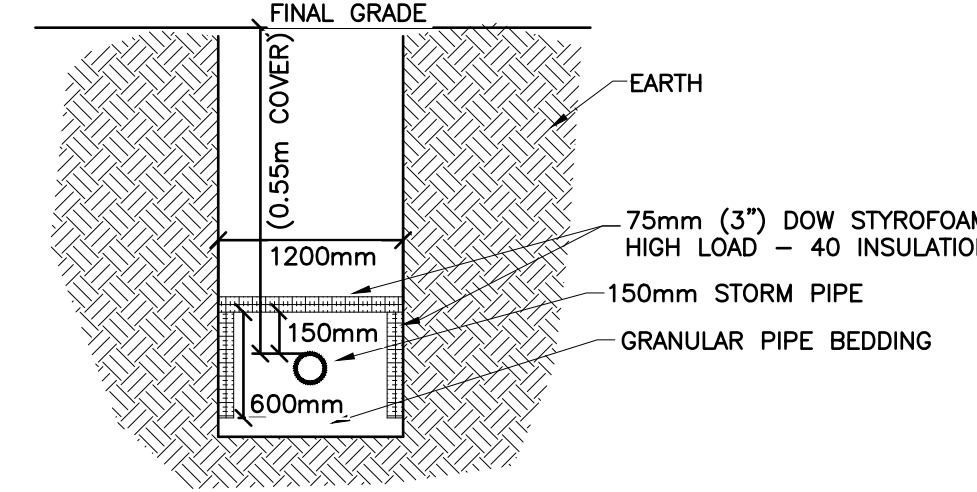
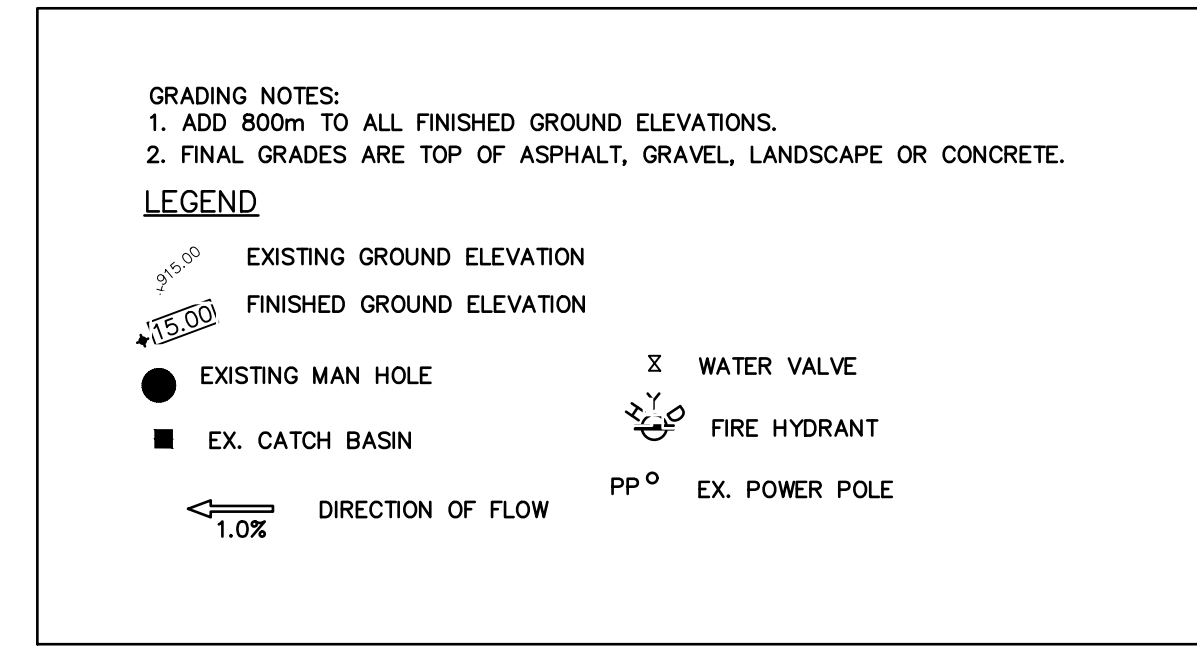
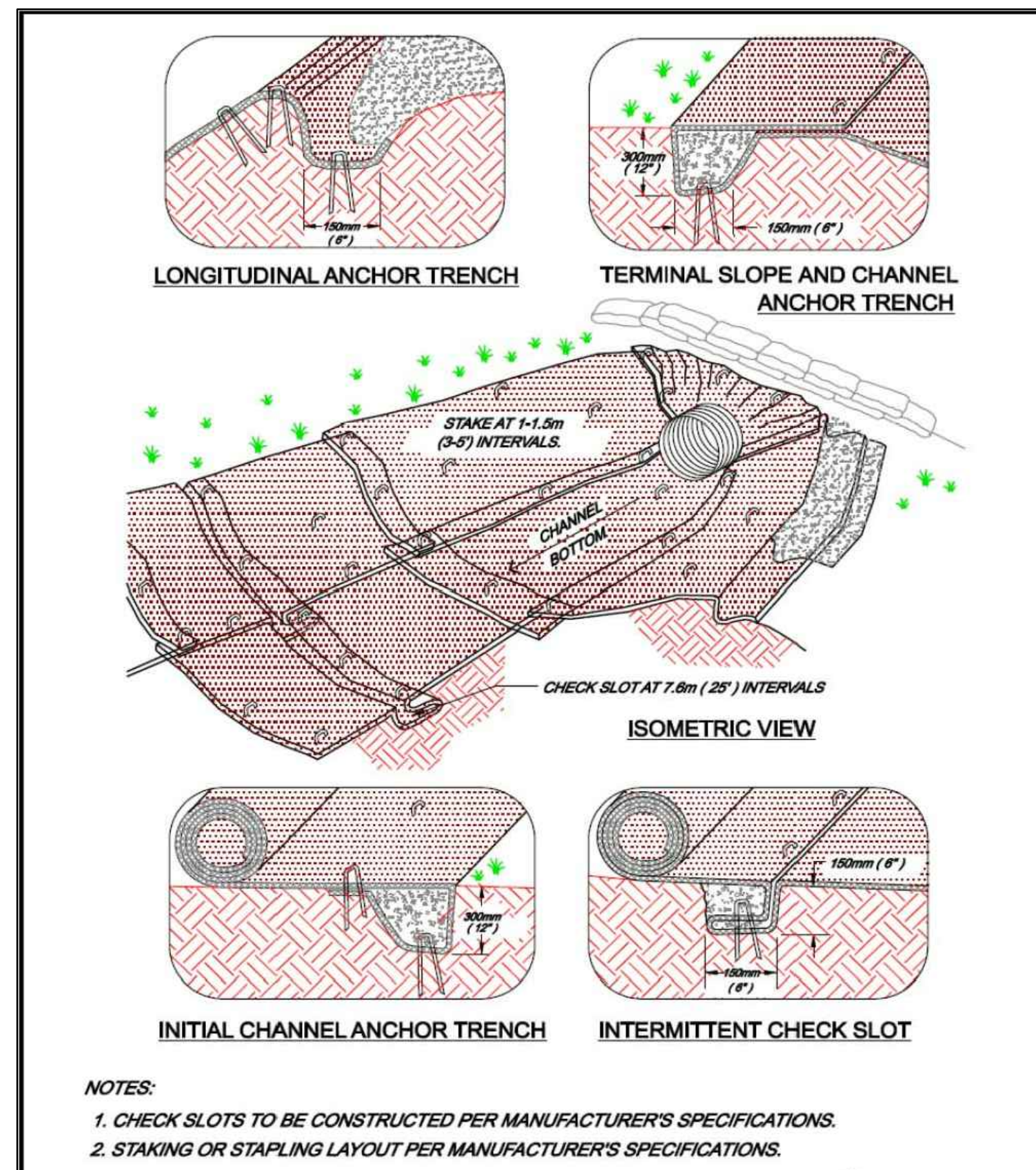
BUILDING ELEVATIONS

PROJECT NO. L208689	CHECKED LB	DRAWN DP
SHEET NO. A3.01		

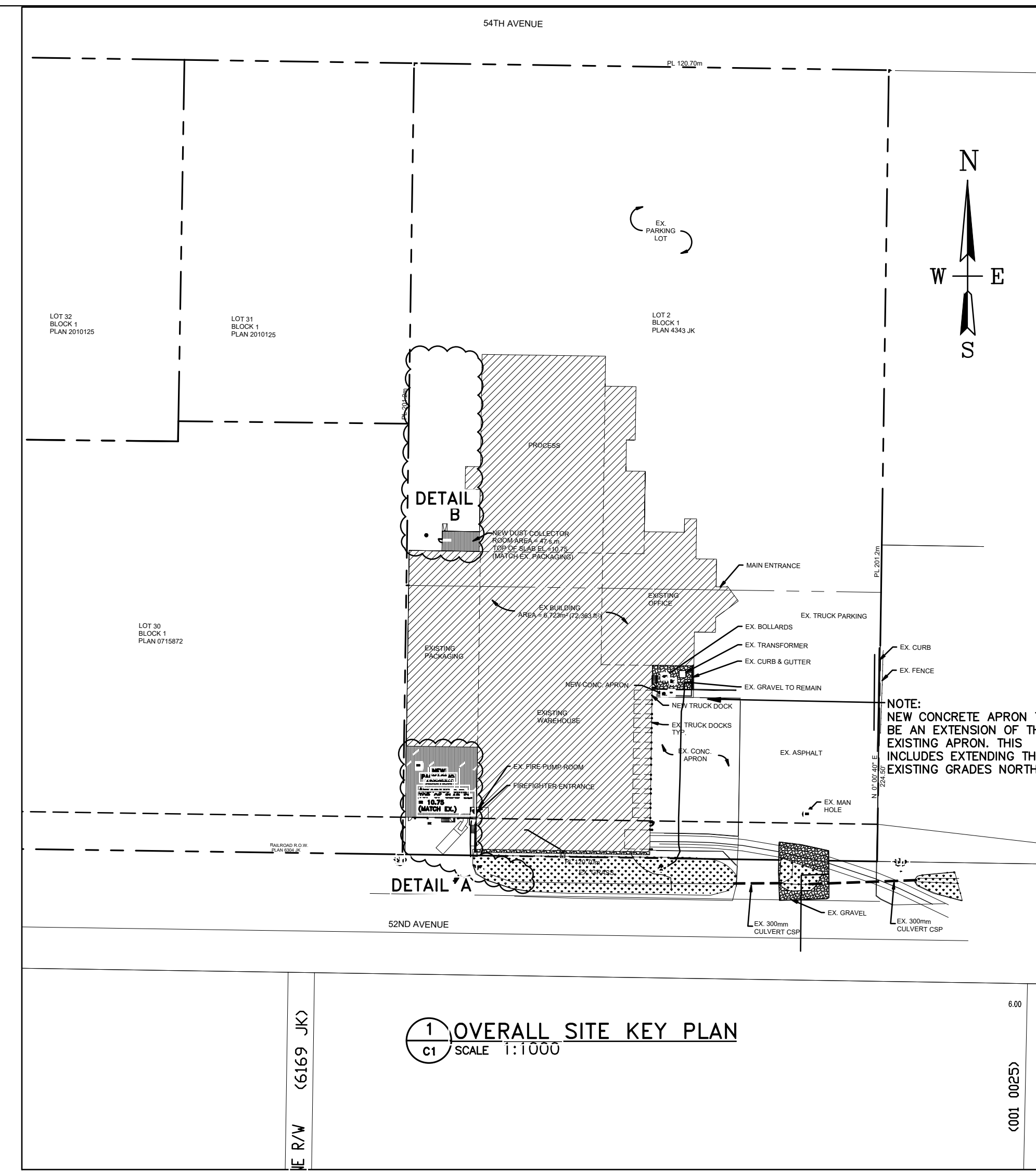




B PARTIAL SITE GRADING PLAN
SCALE 1:200



CONCRETE 'V' GUTTER DRAINAGE SWALE DETAIL
NOT TO SCALE



ALL WORK TO BE DONE TO THE TOWN OF TABER CURRENT SPECIFICATIONS

1.	ISSUED FOR TENDER / B.P.	Jan. 4-21	KTM
0.	ISSUED FOR REVIEW	Nov. 17-20	KTM
NO.	DESCRIPTION	DATE	BY

ISSUES/REVISIONS

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CLIENT

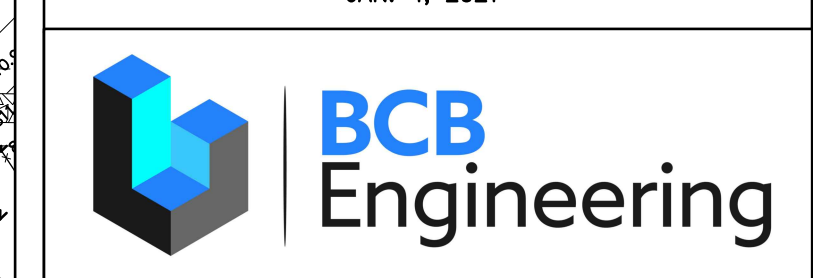
PROJECT NAME

PROJECT SKY

PROJECT ADDRESS

5904 - 54th AVE. TABER, AB

BCB ENGINEERING LTD.
APEGA PERMIT NUMBER P07105



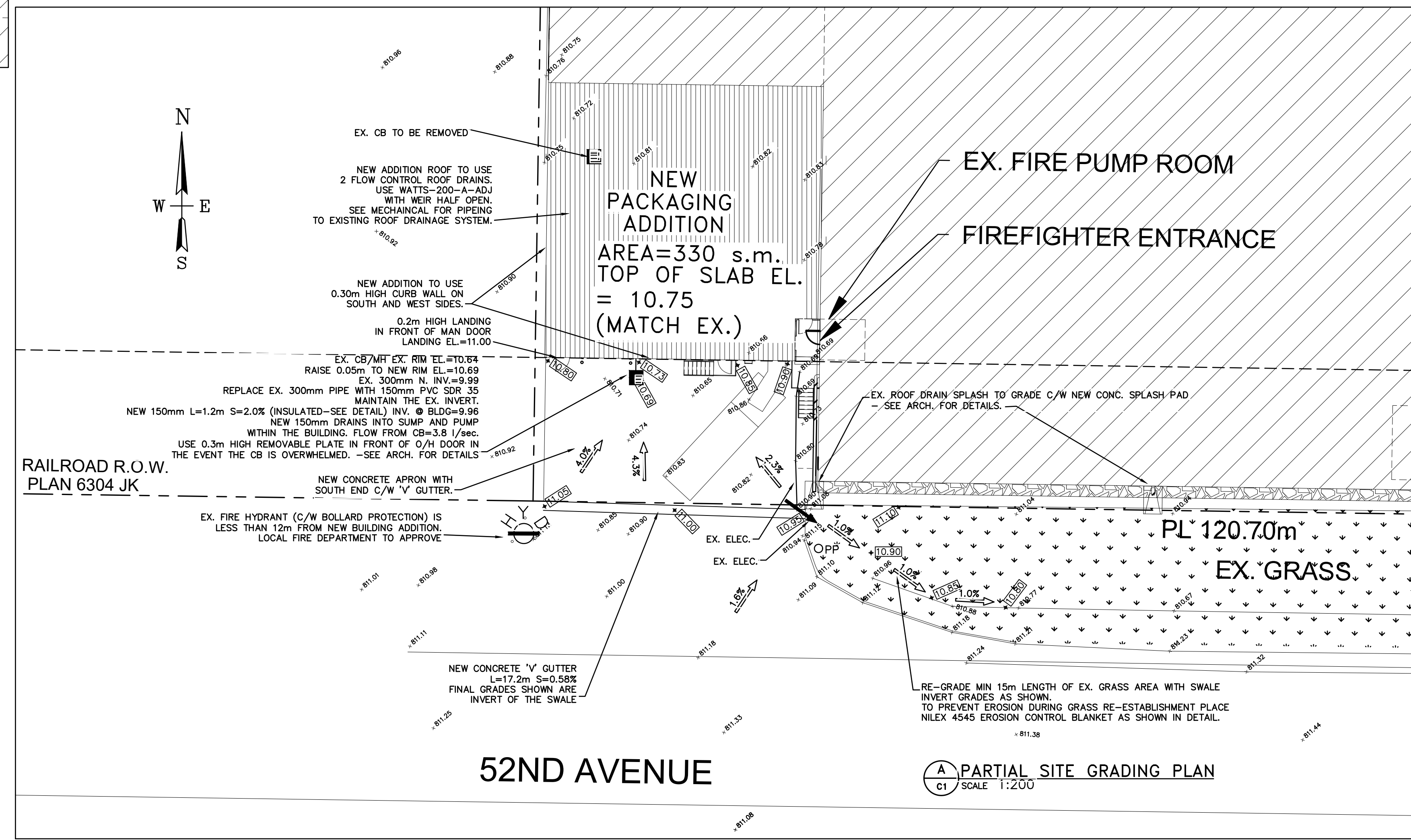
555 WT HILL BLVD SOUTH - LETHBRIDGE, ALBERTA, T1J 1Y6
INFO@BCBENGINEERING.COM - 403.320.4886

TITLE

PARTIAL SITE DRAINAGE PLAN

PROJECT NO. L208689
CHECKED KTM
DRAWN KTM

SHEET NO. **C1**



This Application was circulated on Friday June 11, 2021 for comment. The following comments were received.

Alberta Health had no concerns.

Atco Gas had no concerns.

The TID had concerns regarding the stormwater drainage and asked that the pre and post construction levels remain the same. This has been addressed in the permit with condition #2.

Taber Fire Department commented that they were happy with the change made to the design of the addition and did not have any further concerns.

Project Name:	5904 52 Avenue		Addition to Plant	
Date Submitted: 11-Jun-21	District: M-2	Proposed Use		
Permit Number: 21-073	Address: 5904 52 Avenue	Permitted? Discretionary		
Roll Number: 5258020	Lot, Block, Plan: Plan 4343JK			
Meeting and Notification Requirements				
Required?	Date	Required?	Dates	
Council		Newspaper		
MPC	Yes 6/21/2021	Yes	Yes	
Payments				
	Amount	Paid?	Date	
DP Application Fee	300	Yes		
Damage Deposit in	2500	Yes		
Const. Water Fee		No		
Total	2800	No		
Deposit Returned?		No		

DP Submission	Required?	Completed	Notes	
Application Filled?	Yes	Yes		
Site Plan	Yes	Yes		
Drainage Plan	Yes	Yes		
Payment	Yes	Yes		
All materials submitted?	Yes	Yes		
DP Review	Required?	Completed	Notes	
LUB Review	Yes	No		
Waiver or Variance	Yes	No		
Internal Circulation	Yes	No		
Council or MPC	MPC	No		
Mail Outs	Yes	No		
Approval/Refusal	Yes	No		
Following Approval	Required?	Sent/Taken	Returned	Notes/Reasons for Decision:
Damage Deposit	Yes	Yes	No	
Send to Superior (if BP)	Yes	No	No	
Pre-Inspection Reports	Yes	No	No	
Post-Inspection Reports	Yes	No	No	

Lot Coverage Calculation	
Lot Size	24289
Principle Building	
Attached Garage	
Poarch	0
Decks	0
Detached Garage	
Accessory Structures	
Accessory Structures	
Accessory Structures	0
Total Structures	7101.5
	0.292375149

Driveway Calculations	
Frontage for Lot	
Driveway Width	
Percentage of Lot	#DIV/0!
Allowable Waiver	0

Land Use Bylaw Checklist (units in metres)			
Principal Building Setbacks	Required	Proposed	Acceptable
Front Setback	7.5	9.492	Yes
Rear Setback	10		Yes
Side Setback 1	1.2	0.523	No
Side Setback 2	3.0		Yes
Accessory Setbacks	Required	Proposed	Acceptable
Front Setback	7.5		Yes
Rear Setback	0.6		Yes
Side Setback	0.6		Yes
Side Setback Adjacent Street	1.2		Yes
Principal Building	1.0		Yes
Coverages			
Max Building Coverage	60%	29.2%	Yes
Principal Building		0.0%	Yes
Accessory Buildings		0.0%	Yes
Decks		0.0%	Yes
Driveway Coverage	40%	#DIV/0!	
Landscaping			
Amount required	10%		No
Parcel Size			
Min. Parcel Area	1000		No
Min. Parcel Width	30		No
Heights			
Max Building Height	15		Yes
Max Deck Height			Yes
Max Accessory Height			Yes
Parking			
	Required	Proposed	Acceptable
Stalls			Yes
Handicap			Yes
Other			
	Required	Proposed	Acceptable
Corner Site Triangle			Yes

Setback Requirements Referral	
R-1 & R-2 Side Setbacks	
Side (Laned)	1.2
Laneless w/ attached Garage	1.2
Laneless w/o attached garage	3.0 and 1.2
Corner Lot Side	3.0
R-3 Side Setbacks	
Apartment or Rowhouse	3.0
Laneless, Semi-detached	3.0
Laneless w/o attached garage	3.0 and 1.2
Corner Lot Side	3.0
R-4 Side Setbacks	
Apartment or Rowhouse	3.0
All other Dwellings	1.2
Corner Lot Side	3.0
Downtown Side Setback	
Shared w/ CC or IND	0.0
Shared w/ RES or Special	3
M-1 Side Setback	
Interior	3.0
Exterior	3.5
M-2 Side Setback	
Interior	7.0
Exterior	7.5

Parking Calculation		
	1 Stall per	Stalls
Use(s)	Xm2	Area
Automobile Supply		#DIV/0!
Automotive Sales		#DIV/0!
Note: Total always rounds up		Total
		#DIV/0!

21-073 IND Industrial Addition 5258020 Pepsico Foods 0 5904 52 Avenue Lot 3, Block Additic Discretionz Medium Industrial District (M-2)

2.4289 10000 24289

Development Authority Request for Decision

Meeting Date: June 21, 2021

Subject:

DP 21-074 - 37 Prairie Sunset Avenue - Deck Height Waiver

Recommendation:

That the Municipal Planning Commission approves Development Permit Application DP 21-074 for a deck height waiver at 37 Prairie Sunset Avenue, Lot 39, Block 3, Plan 1611498 with the following eight (7) conditions:

1. The site is developed as per the site plan submitted;
2. The development conforms to the district requirements of the Residential Single Dwelling District (R-1);
3. The deck was approved under DP 20-081 with a 1.0 metres deck height waiver on October 19, 2020.
4. An additional deck height waiver of 0.10 metres was approved for this parcel by the Municipal Planning Commission on June 21, 2021; The deck height is waived from 2.5 metres to 2.6 metres in total;
5. All conditions of Development Permit, DP 20-079 and DP 20-081 must still be adhered to;
6. The applicant has obtained a Building Permit to ensure the development complies with the National Fire Code 2019 (AE) and the National Building Code 2019 (AE). It shall be the responsibility of the applicant to obtain or revise the necessary Building, Plumbing, Electrical, and Gas permits;
7. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbours' property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 4-2008);

Background:

Administration has received a request for a deck height waiver for a completed deck. The deck and previous waiver were approved under permit 20-081. The finished deck came in at 0.10 metres over the approved height and requires a waiver for this difference. There could be a variety of different reasons for the deck coming in over the height that was approved initially.



Legislation / Authority:

Subdivision Authority, Development Authority, and Municipal Planning Commission Bylaw 10-2018 Section 1(8)(c) The Municipal Planning Commission shall be the Development Authority for development permits applications for permitted uses which require a variance in excess of Ten Percent (10%) of a measurable standard established in the Land Use Bylaw or any other variance for which the Municipal Planning Commission is specifically authorized to provide in the Land Use Bylaw.

Strategic Plan Alignment:

Develop Community and Promote Growth #2: Review Town policies and regulations that pertain to development.

Financial Implication:

The applicant has paid the applicable fee which will cover costs for advertising and notifications.

Service Level / Staff Resource Implication:

Administration's time was required for the review of the application, this falls under the Planning Department.

Justification:

Approving this waiver will allow the deck to remain in place. The deck height is in line with many other decks in this neighbourhood.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves Development Permit Application DP 21-074 for a deck height waiver at 37 Prairie Sunset Avenue, Lot 39, Block 3, Plan 1611498 with amendments to the conditions.

Alternative #2: That the Municipal Planning Commission does not approve Development Permit Application DP 21-074 for a deck height waiver at 37 Prairie Sunset Avenue, Lot 39, Block 3, Plan 1611498 with reasons.

Attachment(s): Application
 Real Property Report
 Photo's

APPROVALS:

Originated By:

Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



RESIDENTIAL ACCESSORY USE DEVELOPMENT PERMIT APPLICATION

TOWN OF TABER: A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME:

MAILING ADDRESS:

TOWN: POSTAL CODE:

EMAIL: PHONE NUMBER:

Owner Information (if different from applicant)

OWNER NAME:

MAILING ADDRESS:

TOWN: POSTAL CODE:

EMAIL: PHONE NUMBER:

Property Information (property to be developed)

MUNICIPAL ADDRESS:

LOT(S): BLOCK: PLAN:

Description of Project

DESCRIBE YOUR PROJECT

applying for a waiver on deck for 10 cm above the already approved waiver of 2.5m and we will be 2.6m according to the RPR FROM B.O.A

THANK YOU

Type of Development

TYPE OF DEVELOPMENT PROPOSED (check all that apply)

- | | | | |
|--|--|---|-------------------------------------|
| <input type="checkbox"/> Garage (attached) | <input type="checkbox"/> Garage (detached) | <input type="checkbox"/> Shed | <input type="checkbox"/> Deck/Patio |
| <input type="checkbox"/> Pergola | <input type="checkbox"/> Pool/Hot Tub | <input type="checkbox"/> Overheight Fence | <input type="checkbox"/> Tree House |
| <input type="checkbox"/> Other | _____ | | |

DOES THE DEVELOPMENT REQUIRE ANY WAIVERS?

Note that all waiver requests must go to the Municipal Planning Commission.

- | | | | |
|----------------------------------|---|--------------------------------------|--|
| <input type="checkbox"/> Setback | <input checked="" type="checkbox"/> Deck Height | <input type="checkbox"/> Garage Size | <input type="checkbox"/> Second Garage |
| <input type="checkbox"/> Other | _____ | | |

Start Date and Cost

ESTIMATED START DATE: _____ ESTIMATED COST: _____

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: _____

DATE: June 14 / 2021

REGISTERED OWNER SIGNATURE: _____

DATE: _____

PLANNING OFFICER SIGNATURE: _____

DATE: June 15, 2021

The personal information on this form is being collected for the purpose of reviewing your application to the municipality of the Town of Taber. The information is collected under the authority of Section 146 of the Municipal Government Act (MGA) and Section 33 of the Freedom of Information and Protection of Privacy Act (FOIPP). Under Section 33 of the FOIPP Act, the Town of Taber reserves the right to collect information that relates directly to and is necessary for an operating program or activity of the public body. Names of applicants will be provided to the public. If you have any questions about the collection of this information, please contact the FOIPP coordinator at 403-223-5500 ext. 5519.

Note: This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction.

Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734)

At the completion of the development, you will be required to submit an updated *Real Property Report* to the Town of Taber to verify that the project has been constructed in the correct location.

*Alberta Land Surveyor's
Real Property Report*

To: Maple Leaf Construction
Box 4738
Taber, AB
T1G 2E1

PROPERTY DESCRIPTION ("THE PROPERTY")

PLAN 161 1498, BLOCK 3, LOT 39

CERTIFICATION

I hereby certify that this report, which includes the attached plan and related survey, was prepared and performed under my personal supervision and in accordance with the Alberta Land Surveyors' Association Manual of Standard Practice and supplements thereto. Accordingly, within those standards as of the date of this report, I am of the opinion that:

1. the Plan illustrates the boundaries of the Property, the improvements as defined in Part D, Section 8.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice and registered easements and rights-of-way affecting the extent of the title to the Property.
2. the improvements are entirely within the boundaries of the Property.
3. no visible encroachments exist on the Property from any improvements situated on an adjoining property.
4. no visible encroachments exist on registered easements or rights-of-way affecting the extent of Property.

PURPOSE

This Report and the related plan have been prepared for the benefit of the Property owner, subsequent owners, and any of their agents for the purpose of a land conveyance, support of a subdivision application, a mortgage application, a submittal to the Municipality for a compliance certificate, etc. Copying is permitted only for the benefit of these parties, and only if the plan remains attached. Where applicable, registered easements and utility rights-of-way affecting the extent of the Property have been shown on the attached plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report. The attached plan should not be used to establish property boundaries due to the risk of misinterpretation or measurement error by the user. The information shown on this Real Property Report reflects the status of this Property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.

Dated at Lethbridge, Alberta
This 20th Day of April, 2021

ZJP
Z.J. Prosper
Alberta Land Surveyor, 2021



boa brown okamura & associates ltd.
2830 - 12 Avenue North, Lethbridge, Alberta T1H 5J9
© copyright brown, okamura & associates ltd. 2021

Scale:	1:200 (metric)	Drawn:	MJ
Job	10665	Ref. file:	
Date of Title Search:	APRIL 19, 2021		
Date of Survey:	APRIL 15, 2021		



PRAIRIE LAKE SUNSET

LEGEND

- Statutory Iron Posts found
- Drill hole found
- Property line
- Distances from property boundaries are shown to siding
- Eaves dimensioned to the line of the fascia. NOTE: Fd. No Mk's except where survey evidence is shown
- Distances are shown in metres and decimal parts thereof.

The Property is subject to the following Right of Ways and easements:
Utility Right-of-Way; Instrument No. 151 312 944
Utility Right-of-Way; Instrument No. 161 147 182
For all other registrations, see certificate of title.





Development Authority Request for Decision

Meeting Date: June 21, 2021

Subject:

DP 21-075 - 5800 46 Avenue - Addition to Shop

Recommendation:

That the Municipal Planning Commission approves development permit DP 21-075 for an addition to be located at 5800 46th Avenue, Lot 6, Block 1, Plan 1612860, with the following twelve (12) conditions:

1. The site is to be developed as per the site plan submitted, to the satisfaction of the Director of Planning & Economic Development,
2. The development shall conform to the land use bylaw Comprehensive Commercial District (CC) Requirements,
3. A grading and drainage plan must be submitted to, and approved by, the Director of Planning & Economic Development prior to construction commencing;
4. A landscaping plan demonstrating the requirement for 10% landscaping of the site has been met shall be provided prior to construction commencing;
5. The applicant shall ensure that stormwater does not enter adjacent properties, and that post development flows into roads or ditches does not exceed pre-development flows. Taber Irrigation District will require the implementation of low impact development initiatives such as on-site storage, permeable gravel or grass on-site landscaping, rain barrels or rain gardens, for example. Provision of these details should form part of the grading and drainage plan, or be provided on a landscaping plan.
6. The applicant must obtain a Building Permit to ensure the development complies with the National Fire Code 2019 (AE), National Building Code 2019 (AE), Alberta Health Services and all other applicable codes,
7. If sprinkler permits are required under the National Building Code 2019 (AE), a separate building permit application must be made in conjunction with the permit for the building, and a copy provided for the Town of Taber,
8. During construction, the site shall be maintained in a neat and orderly manner so as to ensure that neighbours are not directly impacted by construction activity. This includes parking of construction vehicles and storage of construction materials, debris, and topsoil. Any damage to neighbour's property, including fences, driveways, or landscaping that occurs due to this construction shall be repaired. Erosion shall be controlled so that soil and dust is not conveyed off site. Standing water on the site shall also be controlled by the applicant. (Non-compliance of these items are subject to fines as indicated under Bylaw 4-2008). In addition, the addressing of the building is to remain clearly visible through all stages of construction,
9. In accordance with policy 68C08/21/00, a \$2500.00 damage deposit shall be forwarded to the Town office (Planning Department) prior to construction. Any damages to public streets,

- sidewalks, or services as a result of construction of this dwelling shall be restored to Town standards at the applicant's expense prior to issuance of an occupancy permit,
10. The applicant must ensure the contractor commissioned for the construction has a valid Business License for the Town of Taber,
 11. Upon completion of construction, the applicant will provide an updated Real Property Report to the Town of Taber.
 12. All outstanding taxes, if any, are paid to the Town of Taber prior to proceeding with development.

Background:

Administration has received an application for an addition to an existing building located at 5800 46 Avenue. This would allow the existing building to expand its business on its current property. This permit does not cover any additional uses on the property and it states on the application that there are to be no changes to the existing use on the property. The applicant has also indicated that there would be no changes to the site drainage or elevations (grading). However, given that there is a building addition, and changes are being made to the site, it will be a requirement to ensure that there is stormwater retention on the site, and that any existing drainage concerns impacting adjacent parcels are dealt with through this permitting process. Conditions have been added to provide for this, as well as ensuring landscaping requirements of the Land Use Bylaw are met.

Legislation / Authority:

Bylaw 10-2018 – Subdivision and Development Authority and MPC Bylaw, Section 8(b) – The Municipal Planning Commission shall be the Development Authority for Development Permit applications for Discretionary Uses.

Strategic Plan Alignment:

Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.

Financial Implication:

The applicant has paid the appropriate application fees which will cover costs of advertising and notifications.

Service Level / Staff Resource Implication:

Administration's time is required to review and process the application, these duties fall under the responsibility of the Planning department.

Justification:

This addition will allow a local business to continue its growth and be successful in its current location.

Alternative(s):

Alternative #1: That the Municipal Planning Commission approves development permit DP 21-075 for an addition to be located at 5800 46th Avenue, Lot 6, Block 1, Plan 1612860, with amendments to the conditions.



Alternative #2: That the Municipal Planning Commission does not approve development permit DP 21-075 for an addition to be located at 5800 46th Avenue, Lot 6, Block 1, Plan 1612860, with reasons.

Attachment(s): Application
Plans
Check List

APPROVALS:

Originated By:
Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____



INDUSTRIAL/COMMERCIAL/INSTITUTIONAL DEVELOPMENT PERMIT APPLICATION

TOWN OF TABER: A-4900 50 STREET, TABER, AB T1G 1T1 - 403-223-6009 - PLANNING@TABER.CA

Applicant Information

APPLICANT NAME: Structural Precast Ltd.
MAILING ADDRESS: 300, 160 Quarry Park Blvd SE
TOWN: Calgary POSTAL CODE: T2C 3G3
EMAIL: frank@structuralprecast.com PHONE NUMBER: 403-891-9095

Owner Information (if different from applicant)

OWNER NAME: Palliser Sales Ltd
MAILING ADDRESS: 5800 46 Ave
TOWN: Taber POSTAL CODE: T1G 2B1
EMAIL: rob@summitmotorsltd.com PHONE NUMBER: 403-382-7275

Property Information (property to be developed)

MUNICIPAL ADDRESS: 5800 46 Ave
LOT(S): 6 BLOCK: 1 PLAN: 161 2860

Description of Project

DESCRIBE YOUR PROJECT

Addition to existing building. 60'x120' complete concrete structure. No change of use to existing business. NO changes to existing site drainage or elevations.

Type of Development

TYPE OF DEVELOPMENT PROPOSED (check all that apply)

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Principal Building | <input checked="" type="checkbox"/> Building Addition | <input type="checkbox"/> Accessory Building | <input type="checkbox"/> Shipping Container |
| <input type="checkbox"/> Outdoor Storage | <input type="checkbox"/> New Site Access | <input type="checkbox"/> Change of Use | <input type="checkbox"/> Intensification of Use |
| <input type="checkbox"/> Other _____ | | | |

WILL ANY HAZARDOUS MATERIALS BE LOCATED ON-SITE?

- Yes No

Note: if any hazardous materials or chemicals are to be located on the site, a list of all hazardous materials and estimated quantities must be attached to this application.

WHAT ARE THE TYPES, SIZES, AND AMOUNTS OF COMMERCIAL VEHICLES WILL BE ACCESSING THE SITE?

Start Date and Cost

START DATE: June 15, 2021 ESTIMATED COST: \$350,000.00

I/We hereby make application under the provisions of Land Use Bylaw 13-2020 for a Development Permit in accordance with the plans and supporting information submitted herewith and which forms part of the application.

APPLICANT SIGNATURE: _____

DATE: June 10/21

REGISTERED OWNER SIGNATURE: _____

DATE: June 10/21

PLANNING OFFICER SIGNATURE: P. Monte

DATE: June 15/21

The personal information on this form is being collected for the purpose of reviewing your application to the municipality of the Town of Taber. The information is collected under the authority of Section 146 of the Municipal Government Act (MGA) and Section 33 of the Freedom of Information and Protection of Privacy Act (FOIPP). Under Section 33 of the FOIPP Act, the Town of Taber reserves the right to collect information that relates directly to and is necessary for an operating program or activity of the public body. Names of applicants will be provided to the public. If you have any questions about the collection of this information, please contact the FOIPP coordinator at 403-223-5500 ext. 5519.

Note: This application does not permit you to commence construction until such a time that the permit has been issued by the Development Authority. Unless otherwise noted on the development permit, a building permit will also be required prior to commencing construction. Building, electrical, gas, and plumbing permits can be obtained through Superior Safety Codes (403-320-0734).

At the completion of developing the principal building you will be required to submit an updated *Real Property Report* to the Town of Taber to verify that the project has been constructed in the correct location.

Development Application Submission Requirements

THE FOLLOWING ITEMS MUST BE INCLUDED WITH YOUR APPLICATION (1 copy of each)

- Site Plan
 - Building Plan
 - Elevation/Drainage/Plot Plan
N/A see note on page 1
 - Security Deposit
-

SITE PLAN REQUIREMENTS:

- Lot dimensions
 - Dimensions and locations of all existing and proposed structures (including structures under 10m2)
 - All utility right of ways and easements located within or directly adjacent to the site
 - Distances between all structures and property lines
 - Site access with dimensions
 - On-site parking stalls (6m x 3m per stall)
 - Landscaping (A minimum of 10% of the site must be landscaped)
 - Adjacent roads and lanes
 - North arrow
-

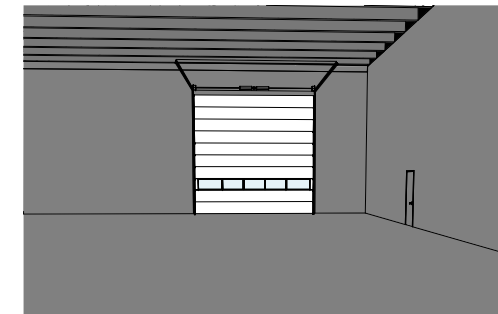
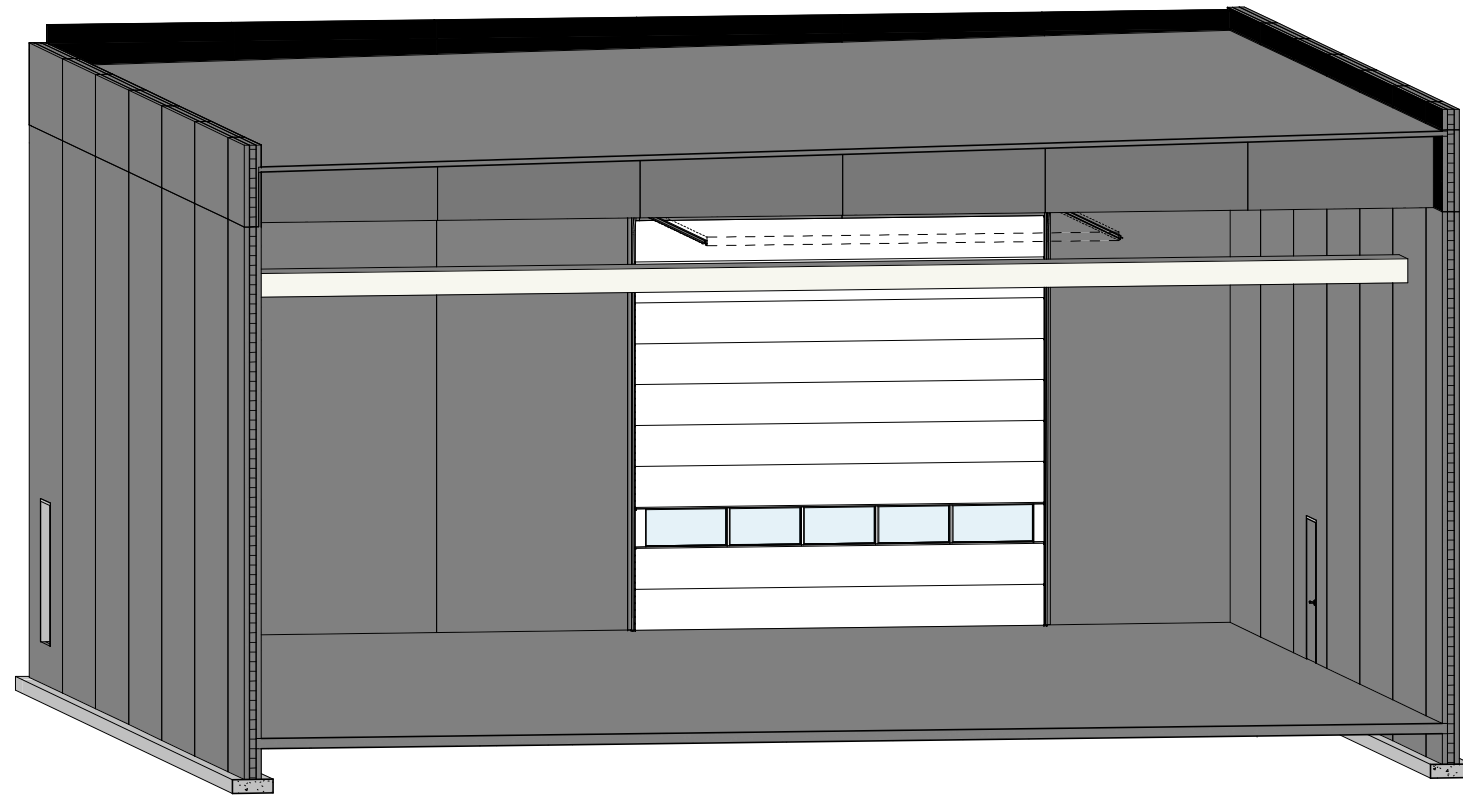
BUILDING PLAN REQUIREMENTS

- Scale and dimensions of exterior walls and interior rooms
 - Floor plan(s) of entire principal building
 - Building elevations and heights from finished grade
 - Exterior materials, architectural features, and colours to be used
-

ELEVATION/DRAINAGE/PLOT PLAN REQUIREMENTS

- Property boundary elevations
 - Building Foundation elevations
 - Proposed lot drainage patterns (must not impact neighbouring properties) *N/A see note on page 1*
-

HORIZON SHOP 60 'X 120'

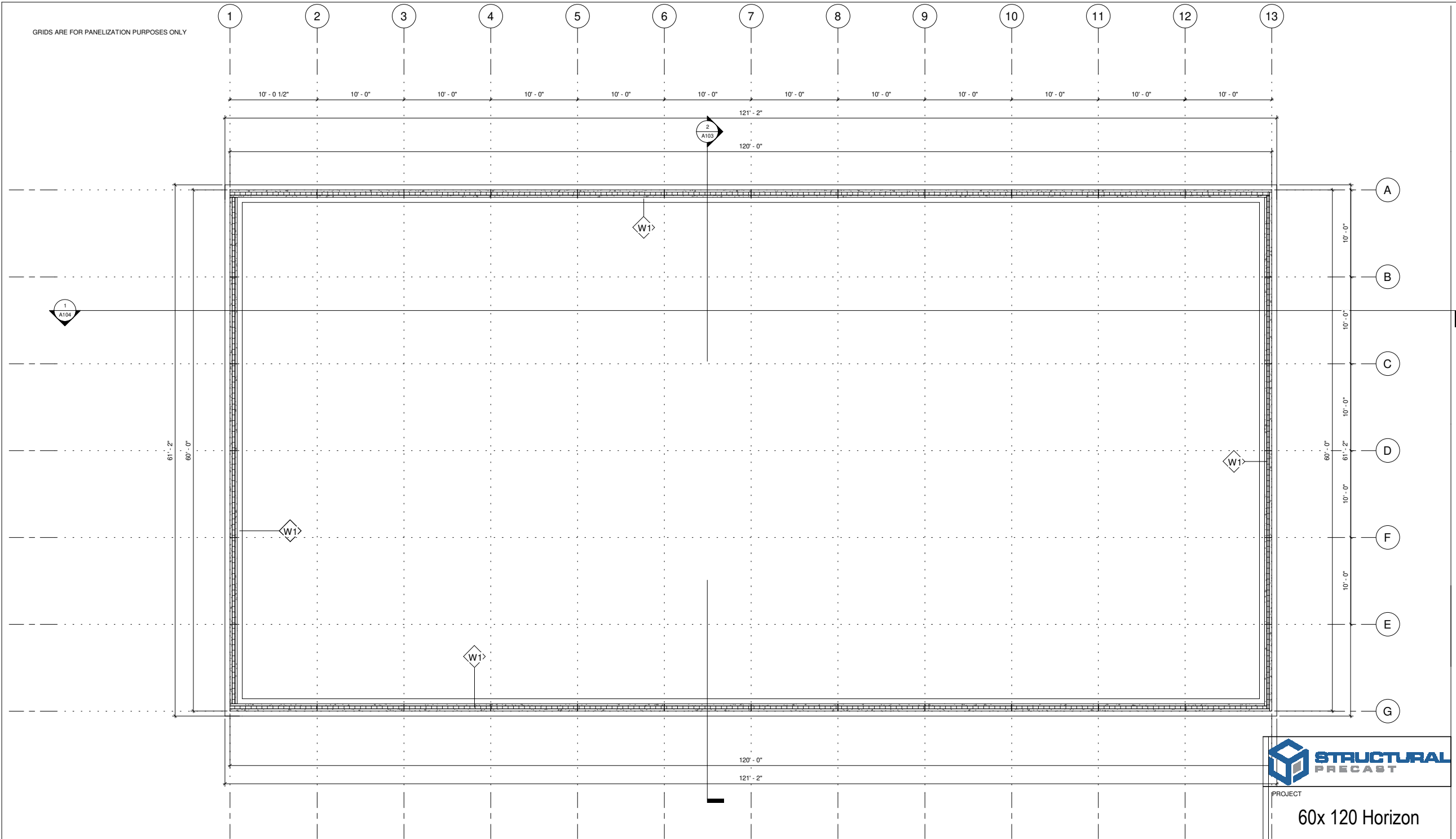


Sheet List		
Sheet Name	Sheet Number	Sheet Issue Date
Cover Page	A100	05/20/21
Foundation	A101	05/20/21
Grade Layout	A102	05/20/21
Section 1	A103	05/20/21
Section 2	A104	05/12/21
North Elev.	A105	05/20/21
East Elev.	A106	05/20/21
South Elev.	A107	05/20/21
Assemblies	A1011	05/20/21
Parapet Detail	A109	05/20/21
Wall-Floor Detail	A1010	05/20/21
West Elev.	A108	05/20/21
Site	A1012	05/20/21



PROJECT		
60x 120 Horizon		
TITLE		
Cover Page		
CLIENT		
Horizon		
DRAWN BY	CHECKED BY	DATE
SPC	Checker	05/20/21
SCALE (@ A1)	PROJECT NUMBER	
	Project Number	
DRAWING NUMBER		
A100		

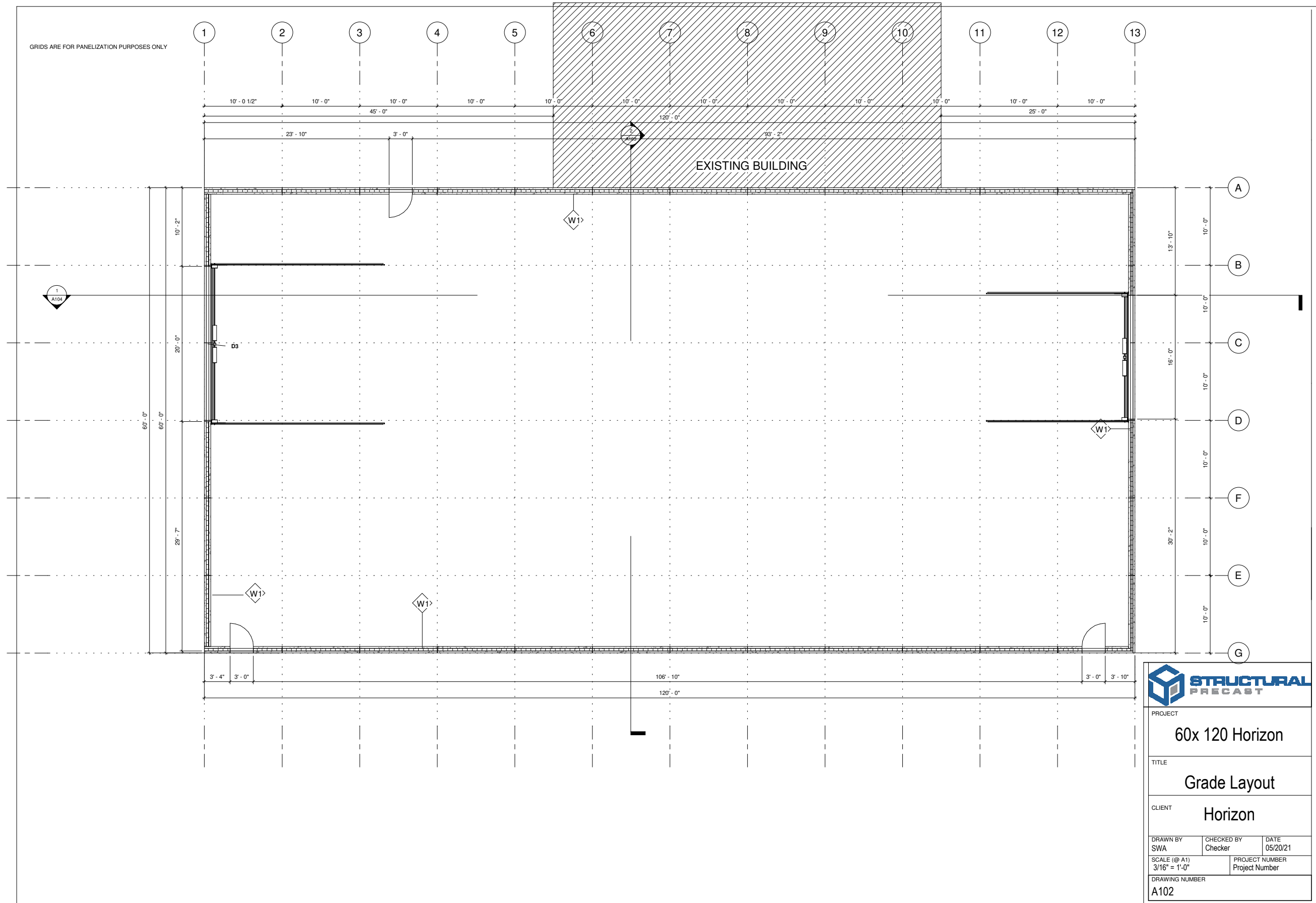
GRIDS ARE FOR PANELIZATION PURPOSES ONLY



PROJECT		
60x 120 Horizon		
TITLE		
Foundation		
CLIENT		
Horizon		
DRAWN BY	CHECKED BY	DATE
Author	Checker	05/20/21
SCALE (@ A1)	PROJECT NUMBER	
3/16" = 1'-0"	Project Number	
DRAWING NUMBER		
A101		

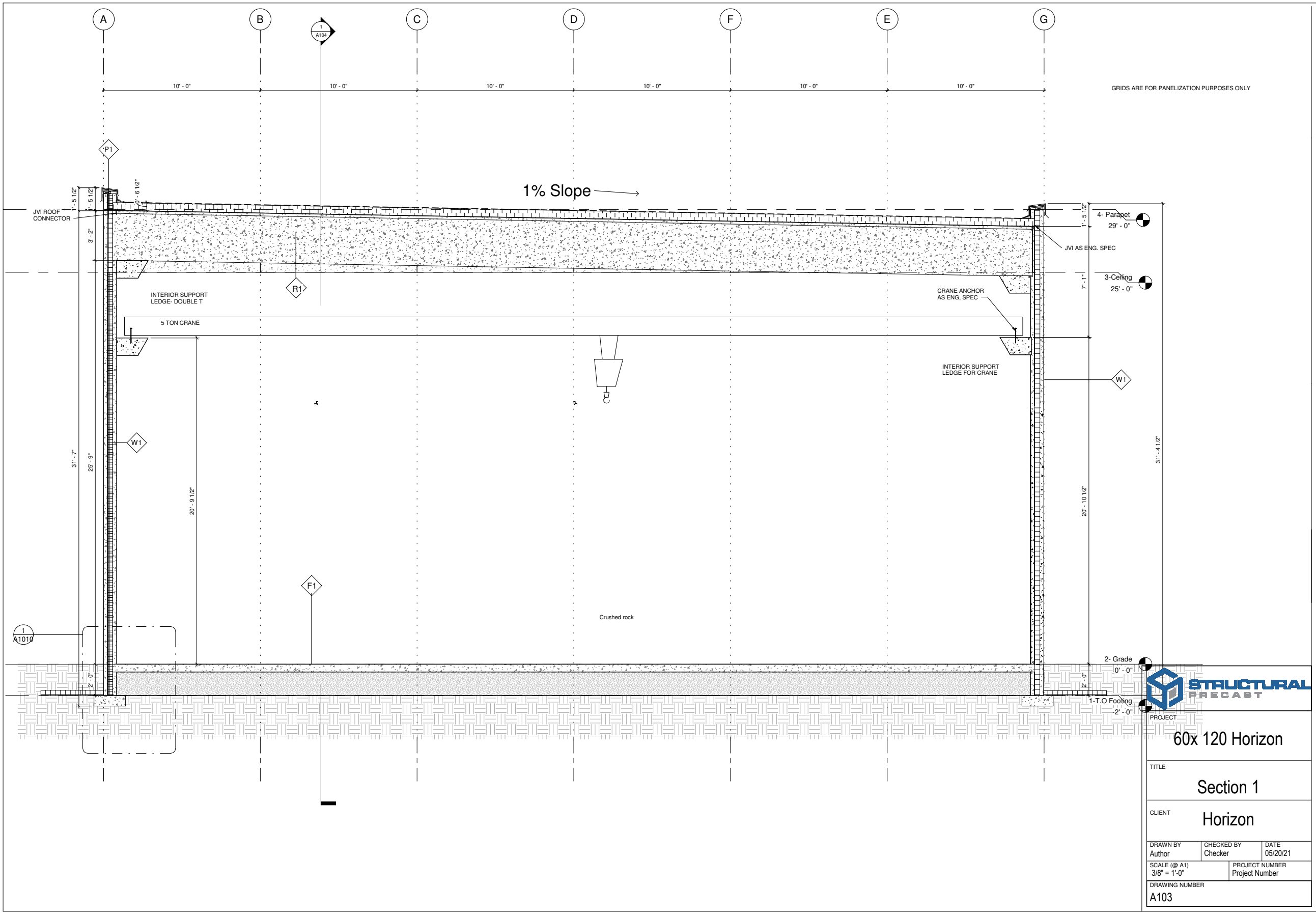
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GRIDS ARE FOR PANELIZATION PURPOSES ONLY



PROJECT		
60x 120 Horizon		
TITLE		
Grade Layout		
CLIENT		
Horizon		
DRAWN BY	CHECKED BY	DATE
SWA	Checker	05/20/21
SCALE (@ A1)	PROJECT NUMBER	
3/16" = 1'-0"	Project Number	
DRAWING NUMBER		
A102		

2021-06-15 12:43:50 PM



GRIDS ARE FOR PANELIZATION PURPOSES ONLY

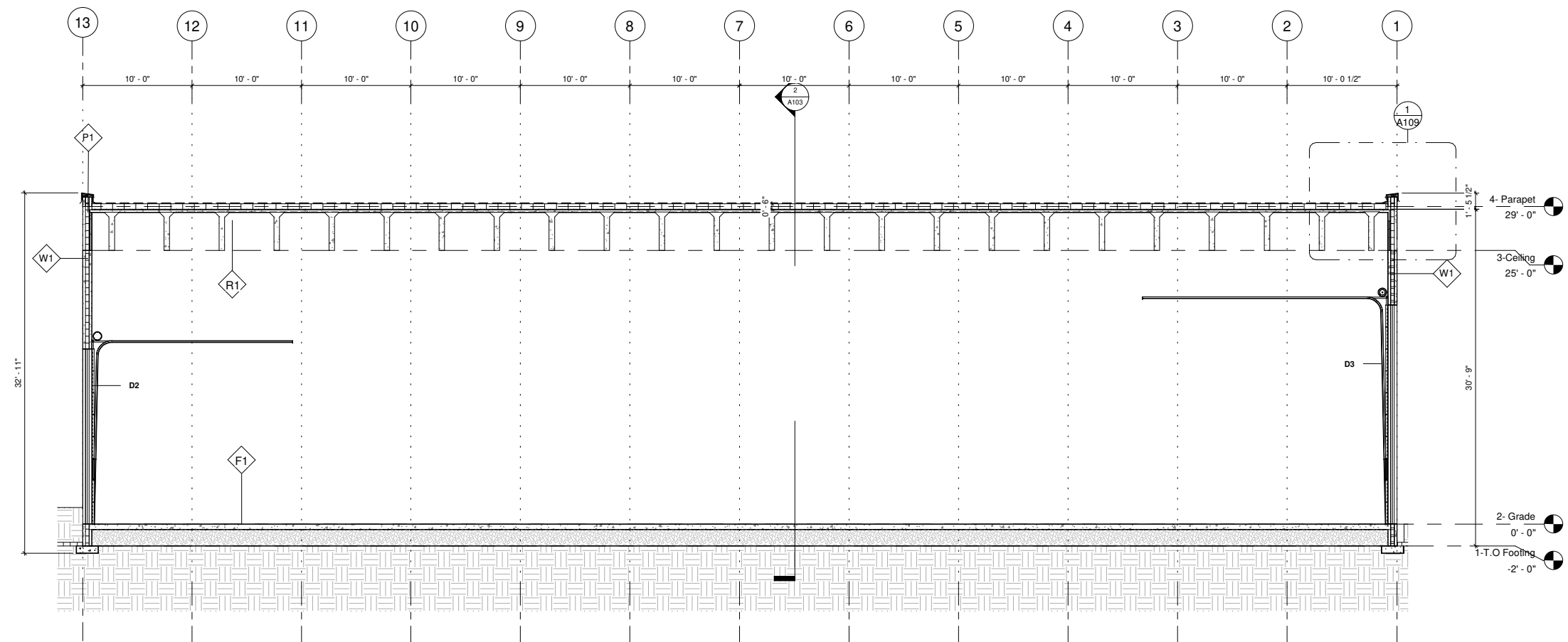
1% Slope



PROJECT		
60x 120 Horizon		
TITLE		
Section 1		
CLIENT		
Horizon		
DRAWN BY	CHECKED BY	DATE
Author	Checker	05/20/21
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3/8" = 1'-0"		Project Number
DRAWING NUMBER		
A103		

2021-06-15 12:43:50 PM

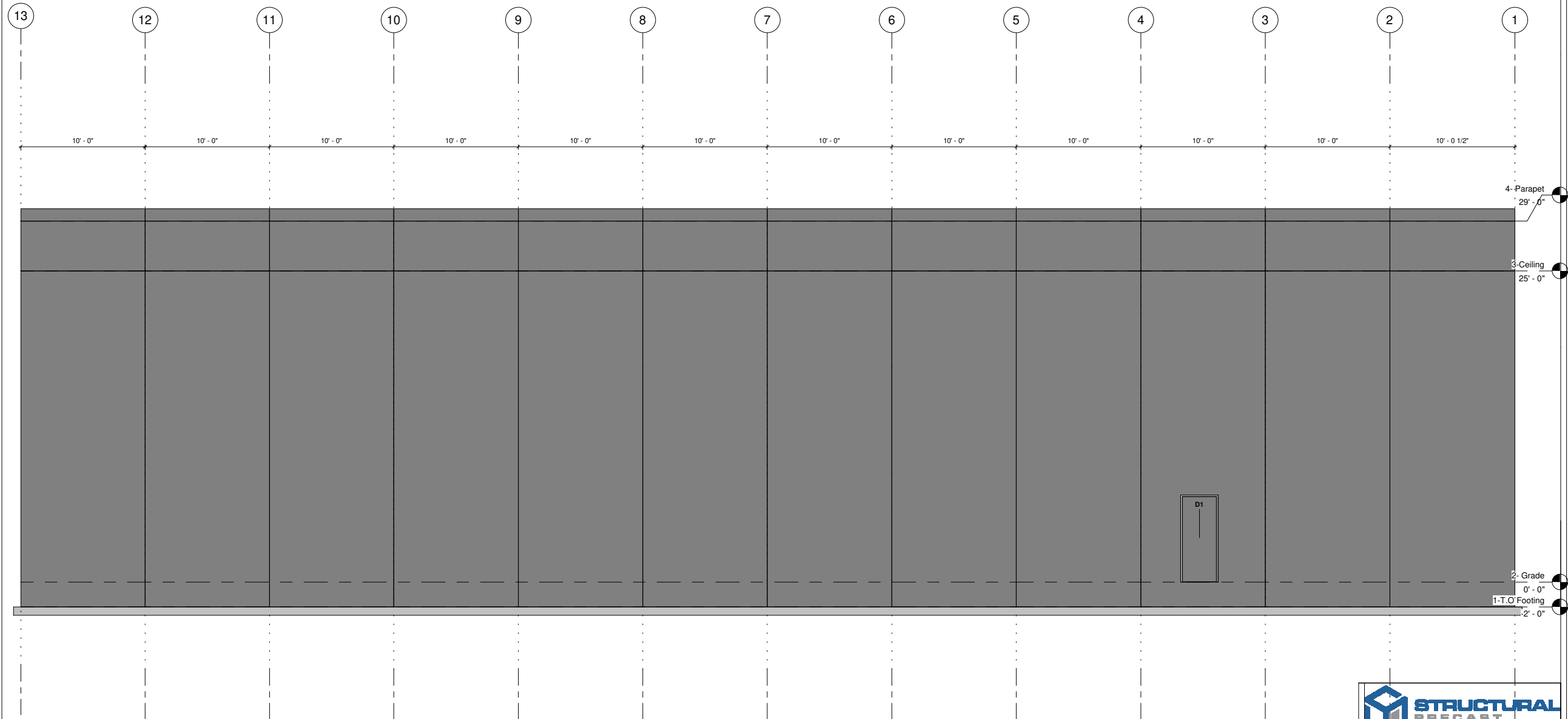
GRIDS ARE FOR PANELIZATION PURPOSES ONLY



PROJECT		
60x 120 Horizon		
TITLE		
Section 2		
CLIENT		
Horizon		
DRAWN BY	CHECKED BY	DATE
Author	Checker	05/12/21
SCALE (@ A1)	PROJECT NUMBER	
3/16" = 1'-0"	Project Number	
DRAWING NUMBER		
A104		

2021-06-15 12:43:51 PM

GRIDS ARE FOR PANELIZATION PURPOSES ONLY

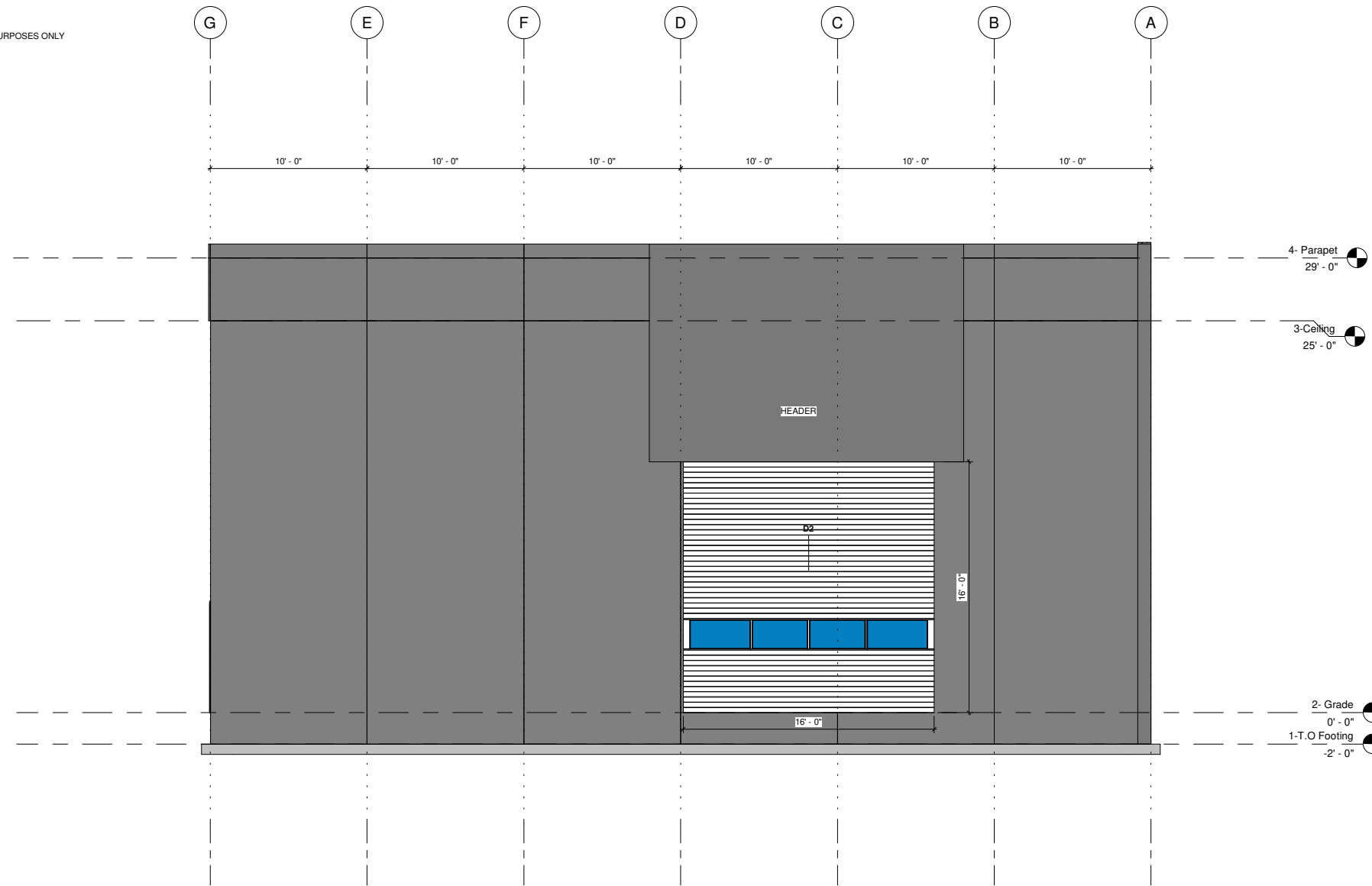


North
1/4" = 1'-0"

PROJECT		
60x 120 Horizon		
TITLE		
North Elv.		
CLIENT		
Horizon		
DRAWN BY	CHECKED BY	DATE
Author	Checker	05/20/21
SCALE (@ A1)	PROJECT NUMBER	
1/4" = 1'-0"	Project Number	
DRAWING NUMBER		
A105		

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GRIDS ARE FOR PANELIZATION PURPOSES ONLY

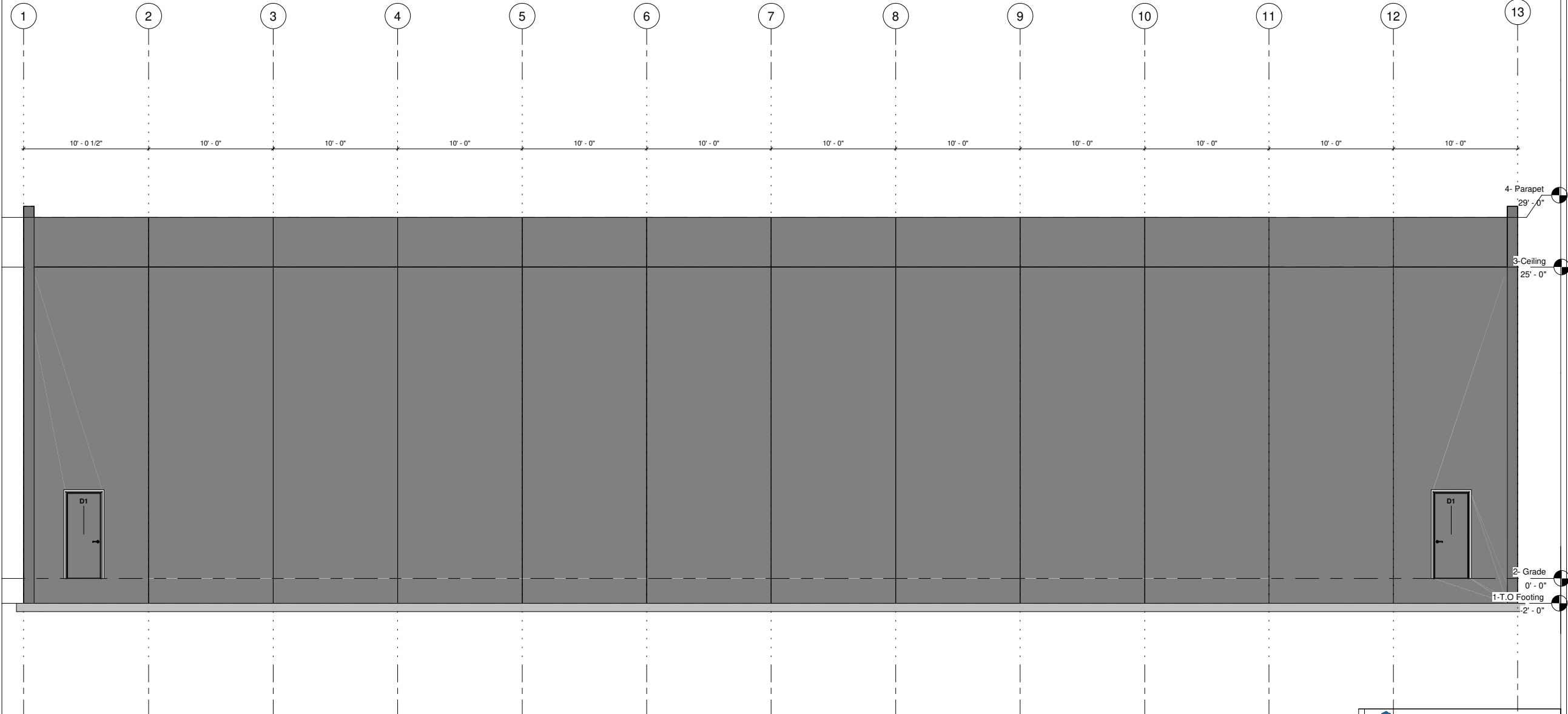


East
1/4" = 1'-0"

PROJECT		
60x 120 Horizon		
TITLE		
East Elv.		
CLIENT		
Horizon		
DRAWN BY	CHECKED BY	DATE
Author	Checker	05/20/21
SCALE (@ A1)	PROJECT NUMBER	
1/4" = 1'-0"	Project Number	
DRAWING NUMBER		
A106		

2021-06-15 12:43:52 PM

GRIDS ARE FOR PANELIZATION PURPOSES ONLY



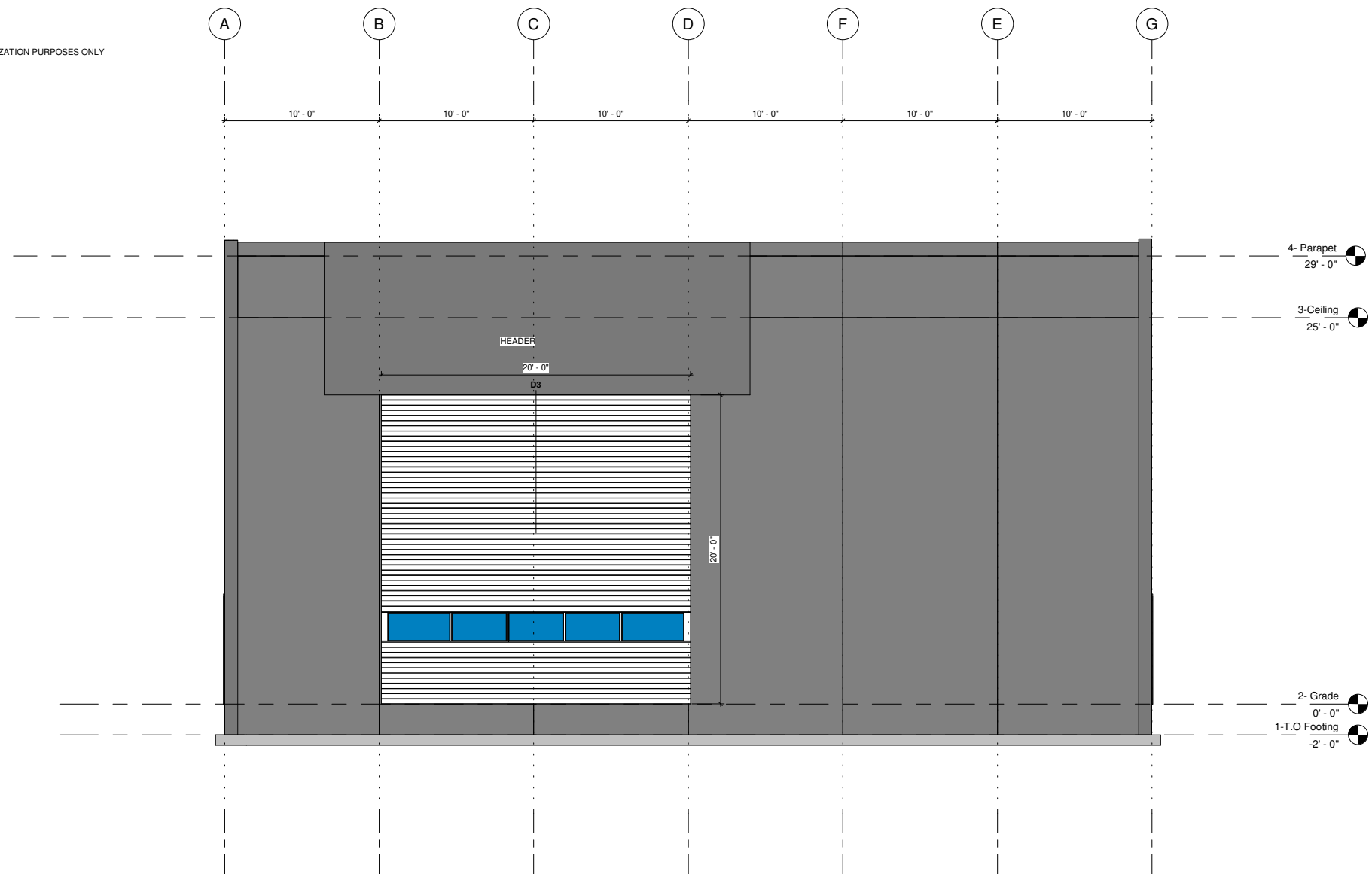
South
1/4" = 1'-0"



PROJECT		
60x 120 Horizon		
TITLE		
South Elv.		
CLIENT		
Horizon		
DRAWN BY	CHECKED BY	DATE
Author	Checker	05/20/21
SCALE (@ A1)	PROJECT NUMBER	
1/4" = 1'-0"	Project Number	
DRAWING NUMBER		
A107		

2021-06-15 12:43:53 PM

GRIDS ARE FOR PANELIZATION PURPOSES ONLY

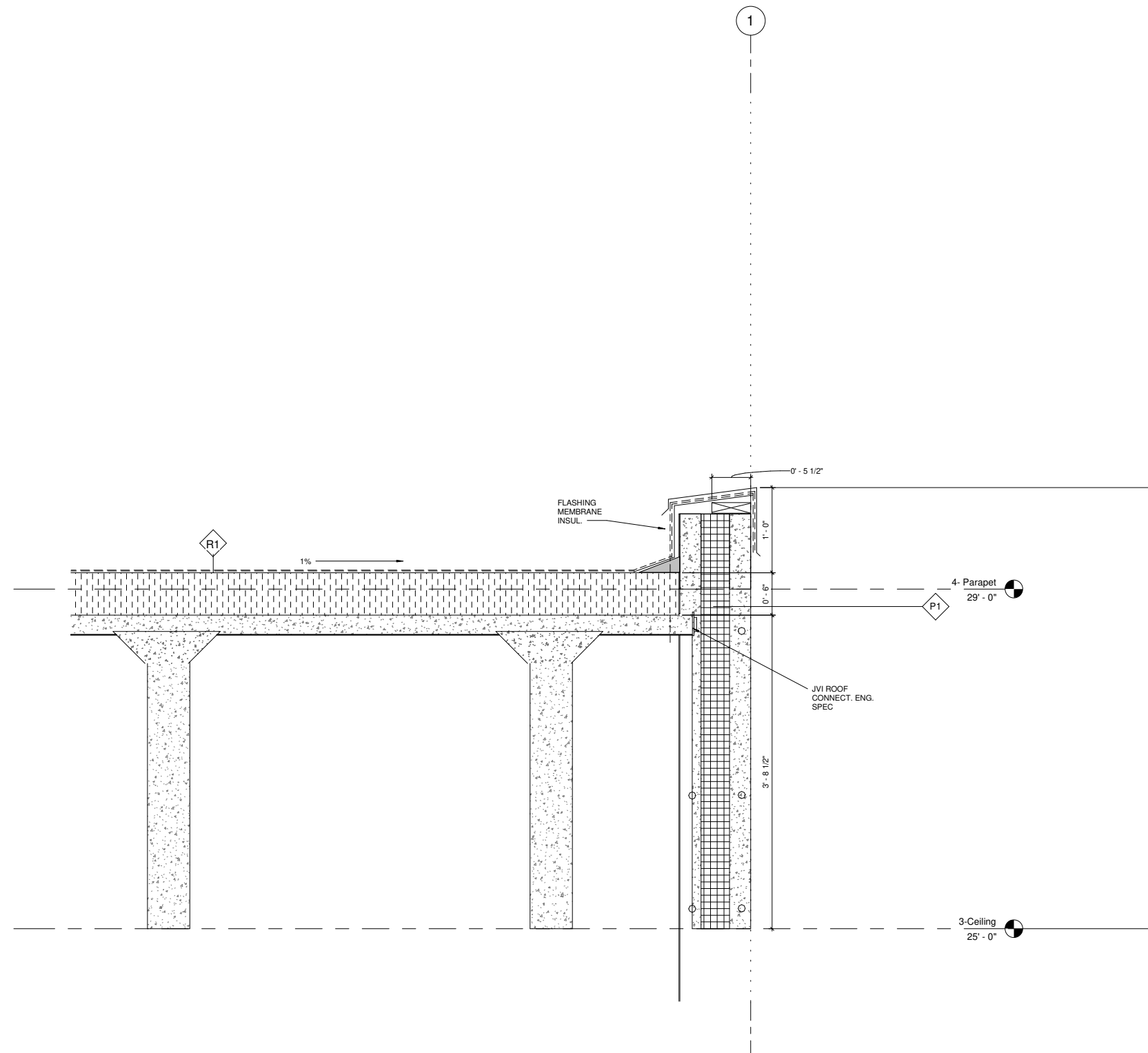


West
1/4" = 1'-0"



PROJECT		
60x 120 Horizon		
TITLE		
West Elv.		
CLIENT		
Horizon		
DRAWN BY	CHECKED BY	DATE
Author	Checker	05/20/21
SCALE (@ A1)		PROJECT NUMBER
1/4" = 1'-0"		Project Number
DRAWING NUMBER		
A108		

2021-06-15 12:43:54 PM

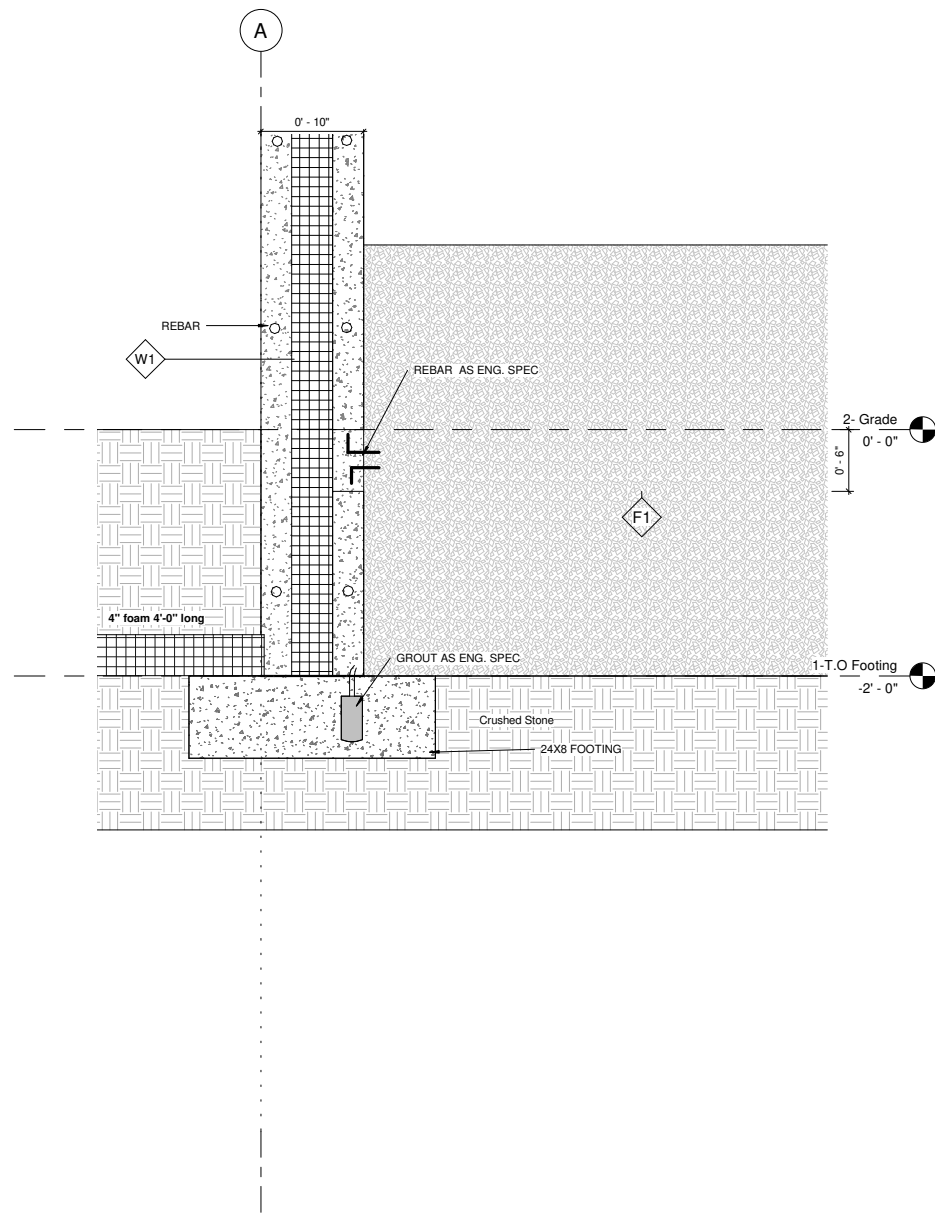


Parapet Detail
 1 1/2" = 1'-0"



PROJECT		
60x 120 Horizon		
TITLE		
Parapet Detail		
CLIENT		
Horizon		
DRAWN BY	CHECKED BY	DATE
Author	Checker	05/20/21
SCALE (@ A1)		PROJECT NUMBER
1 1/2" = 1'-0"		Project Number
DRAWING NUMBER		
A109		

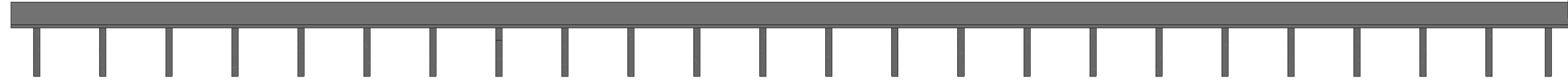
2021-06-15 12:43:54 PM



Wall -Floor Detail
 1 1/2" = 1'-0"

PROJECT		
60x 120 Horizon		
TITLE		
Wall-Floor Detail		
CLIENT		
Horizon		
DRAWN BY	CHECKED BY	DATE
Author	Checker	05/20/21
SCALE (@ A1)	PROJECT NUMBER	
1 1/2" = 1'-0"	Project Number	
DRAWING NUMBER		
A1010		

2021-06-15 12:43:55 PM



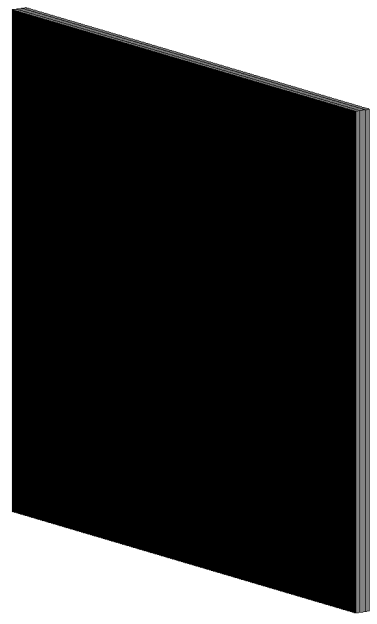
R1 -Roof Assembly

2" TOP FLANGE
 3" TOP FLANGE TO BOTTOM OF WEBS
 REFER TOPARAPET DETAIL OR SECTION
 2:
 2" 2 1/2" to 0'2 1/2" INSULATON
 VAPOUR BARRIER
 ROOFING MEMBRANE



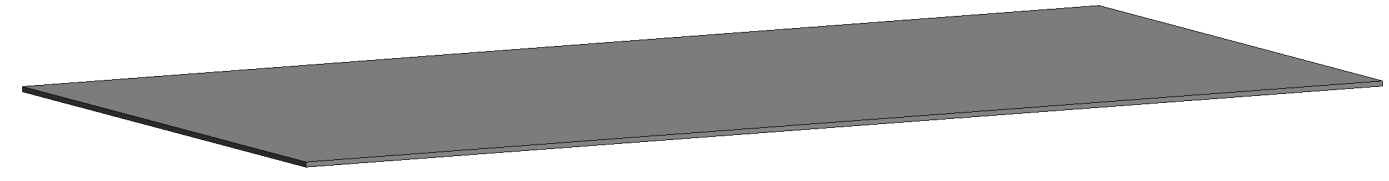
W1- Sandwich panel assembly

3" PRECAST CONCRETE
 4" INSULATION
 3" PRECAST CONCRETE



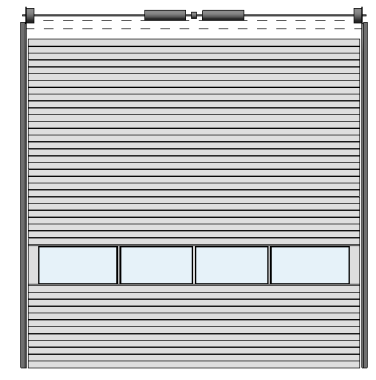
P1-Parapet

MEMBRANE
 VAPOUR RETARDER
 3" PRECAST CONCRETE
 4" INSULATION
 3" PRECAST CONCRETE



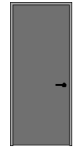
F1- 6" Slab

6" CONCRETE SLAB



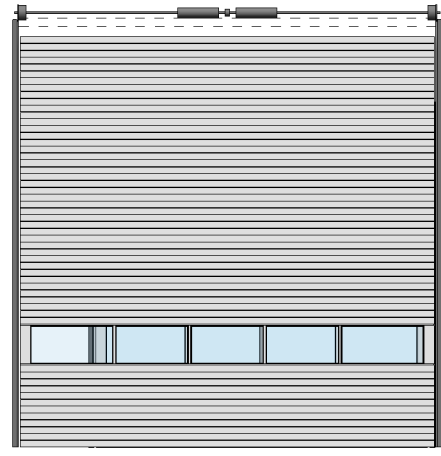
D2- 16' Garage Door

16' X 16'
 STEEL DOOR



D1- Steel Exterior Door

7' X 3' STEEL
 DOOR



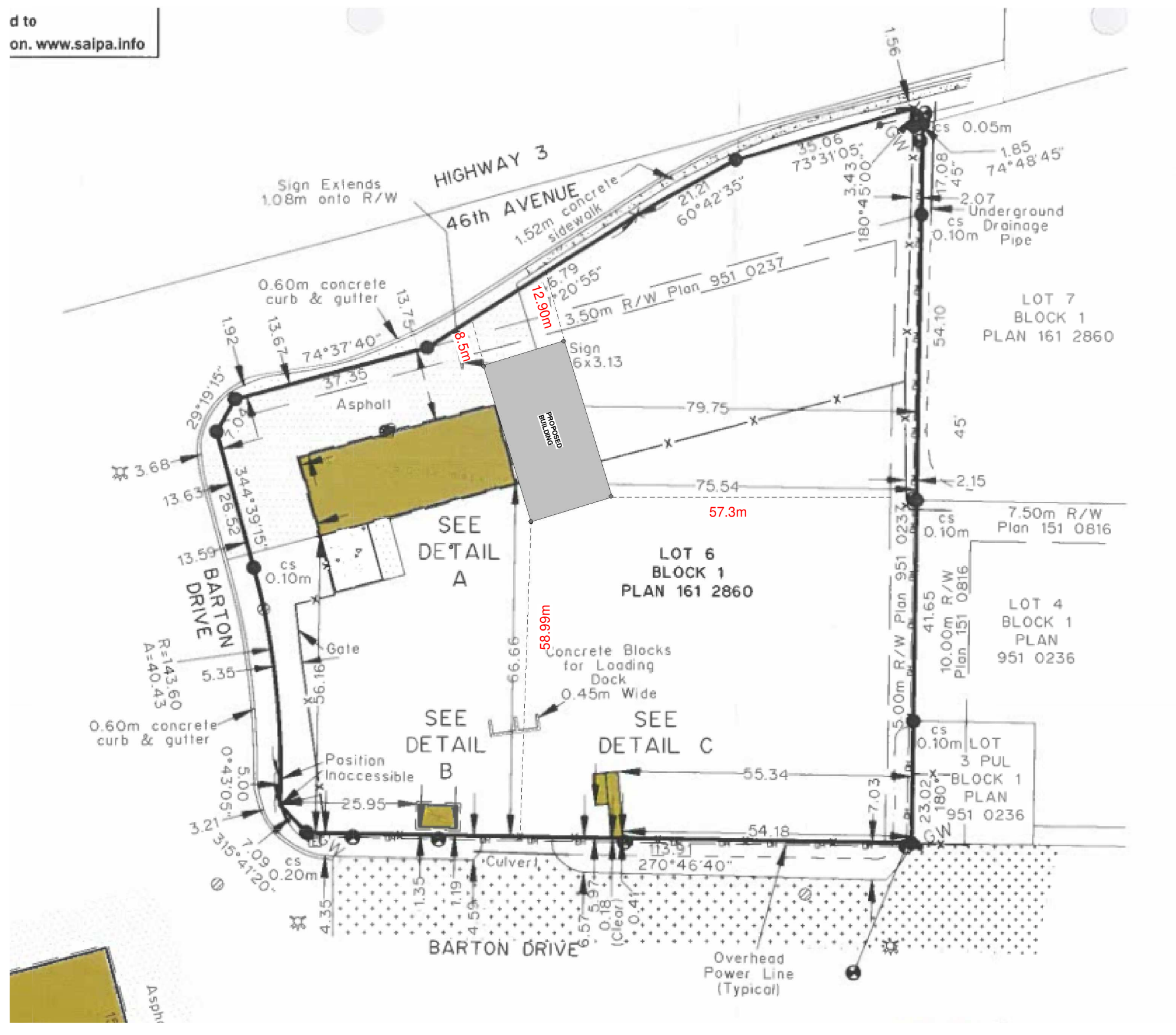
D3- 20' Garage Door

20' X 20'
 STEEL DOOR



PROJECT		
60x 120 Horizon		
TITLE		
Assemblies		
CLIENT		
Horizon		
DRAWN BY	CHECKED BY	DATE
Author	Checker	05/20/21
SCALE (@ A1)	PROJECT NUMBER	
	Project Number	
DRAWING NUMBER		
A1011		

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PROJECT		
60x 120 Horizon		
TITLE		
Site		
CLIENT		
Horizon		
DRAWN BY	CHECKED BY	DATE
Author	Checker	05/20/21
SCALE (@ A1)		PROJECT NUMBER
1/4" = 1'-0"		Project Number
DRAWING NUMBER		
A1012		

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Project Name:		5904 52 Avenue		Addition to Plant	
Date Submitted: 11-Jun-21		District M-2		Proposed Use	
Permit Number: 21-073		Address 5904 52 Avenue		Permitted? Discretionary	
Roll Number: 5258020		Lot, Block, Plan 4343JK			
Meeting and Notification Requirements					
	Required?	Date	Required?	Dates	
Council	No		Newspaper	Yes	
MPC	Yes	6/21/2021	Mailout	Yes	
Payments					
	Amount	Paid?	Date		
DP Application Fee	300	Yes			
Damage Deposit in	2500	Yes			
Const. Water Fee		No			
Total	2800	No			
Deposit Returned?		No			

DP Submission	Required?	Completed	Notes	
Application Filled?	Yes	Yes		
Site Plan	Yes	Yes		
Drainage Plan	Yes	Yes		
Payment	Yes	Yes		
All materials submitted?	Yes	Yes		
DP Review	Required?	Completed	Notes	
LUB Review	Yes	No		
Waiver or Variance	Yes	No		
Internal Circulation	Yes	No		
Council or MPC	MPC	No		
Mail Outs	Yes	No		
Approval/Refusal	Yes	No		
Following Approval	Required?	Sent/Taken	Returned	Notes/Reasons for Decision:
Damage Deposit	Yes	Yes	No	
Send to Superior (if BP)	Yes	No	No	
Pre-Inspection Reports	Yes	No	No	
Post-Inspection Reports	Yes	No	No	

Lot Coverage Calculation	
Lot Size	24289
Principle Building	
Attached Garage	
Poarch	0
Decks	0
Detached Garage	
Accessory Structures	
Accessory Structures	
Accessory Structures	0
Total Structures	7101.5
	0.292375149

Driveway Calculations	
Frontage for Lot	
Driveway Width	
Percentage of Lot	#DIV/0!
Allowable Waiver	0

Land Use Bylaw Checklist (units in metres)			
Principal Building Setbacks	Required	Proposed	Acceptable
Front Setback	7.5	9.492	Yes
Rear Setback	10		Yes
Side Setback 1	1.2	0.523	No
Side Setback 2	3.0		Yes
Accessory Setbacks	Required	Proposed	Acceptable
Front Setback	7.5		Yes
Rear Setback	0.6		Yes
Side Setback	0.6		Yes
Side Setback Adjacent Street	1.2		Yes
Principal Building	1.0		Yes
Coverages			
Max Building Coverage	60%	29.2%	Yes
Principal Building		0.0%	Yes
Accessory Buildings		0.0%	Yes
Decks		0.0%	Yes
Driveway Coverage	40%	#DIV/0!	
Landscaping			
Amount required	10%		No
Parcel Size			
Min. Parcel Area	1000		No
Min. Parcel Width	30		No
Heights			
Max Building Height	15		Yes
Max Deck Height			Yes
Max Accessory Height			Yes
Parking			
Stalls			Yes
Handicap			Yes
Other			
Corner Site Triangle			Yes

Setback Requirements Referral	
R-1 & R-2 Side Setbacks	
Side (Laned)	1.2
Laneless w/ attached Garage	1.2
Laneless w/o attached garage	3.0 and 1.2
Corner Lot Side	3.0
R-3 Side Setbacks	
Apartment or Rowhouse	3.0
Laneless, Semi-detached	3.0
Laneless w/o attached garage	3.0 and 1.2
Corner Lot Side	3.0
R-4 Side Setbacks	
Apartment or Rowhouse	3.0
All other Dwellings	1.2
Corner Lot Side	3.0
Downtown Side Setback	
Shared w/ CC or IND	0.0
Shared w/ RES or Special	3
M-1 Side Setback	
Interior	3.0
Exterior	3.5
M-2 Side Setback	
Interior	7.0
Exterior	7.5

21-073 IND Industrial Addition 5258020 Pepsico Foods 0 5904 52 Avenue Lot 3, Block Additic Discretionz Medium Industrial District (M-2)

2.4289 10000 24289



Development Authority Request for Decision

Meeting Date: June 21, 2021

Subject:

Building Statistics for May 2021

Recommendation:

That the Municipal Planning Commission accepts the May 2021 Building Permit Statistics as information.

Background:

Building Permit Statistics for the month of May 2021 have been compiled and are attached

Legislation / Authority:

Bylaw 1-356(14)(j)

Strategic Plan Alignment:

N/A

Financial Implication:

N/A

Service Level / Staff Resource Implication:

The compiling of building permit statistics is a requirement of the Planning and Economic Development Department.

Justification:

Statistical records are an important tool for monitoring building activity within the Town of Taber.

Alternative(s):

Alternative #1: That the Municipal Planning Commission does not accept the Building Permit Statistics for the month of May 2021 as information.

Attachment(s): Building Permit Statistics for May 2021

APPROVALS:

Originated By:

Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____

BUILDING PERMIT STATISTICS

May 2021



	Month of May by Year								
	2021			2020			2019		
	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value
SINGLE FAMILY DWELLINGS	4	0	\$ 1,503,000.00	2	2	\$ 600,000.00	0	0	\$ -
2 FAMILY DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
SEMI DETACHED DWELLING	0	0	\$ -	2	0	\$ 380,000.00	0	0	\$ -
MULTI FAMILY DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
RESIDENTIAL ADDITIONS & ACCESS.	4	0	\$ 42,000.00	2	4	\$ 7,000.00	2	0	\$ 42,000.00
GARAGES & CARPORTS	0	0	\$ -	0	0	\$ -	0	0	\$ -
MANUFACTURED HOMES	0	0	\$ -	0	0	\$ -	0	0	\$ -
SWIMMING POOLS	1	0	\$ 2,499.00	0	0	\$ -	0	0	\$ -
FARM & AGRICULTURE BUILDINGS	0	0	\$ -	0	0	\$ -	0	0	\$ -
NEW COMMERCIAL	1	0	\$ 2,000,000.00	0	0	\$ -	0	0	\$ -
COMMERCIAL ADDITIONS/ALTER	0	0	\$ -	0	0	\$ -	1	0	\$ 5,000.00
NEW INDUSTRIAL	0	0	\$ -	0	0	\$ -	0	0	\$ -
INDUSTRIAL ADDITIONS/ALTER	0	0	\$ -	0	0	\$ -	0	0	\$ -
NEW INSTITUTIONAL	0	0	\$ -	0	0	\$ -	0	0	\$ -
INSTITUTIONAL ADDITIONS/ALTER	1	0	\$ 5,000.00	0	0	\$ -	2	0	\$ 44,000.00
MOBILE HOME PARK	0	0	\$ -	0	0	\$ -	0	0	\$ -
DEMOLITIONS	0	0	\$ -	0	0	\$ -	0	0	\$ -
OCCUPANCY/INSPECTION ONLY	0	0	\$ -	0	0	\$ -	0	0	\$ -
PERMANENT SIGNS	0	0	\$ -	0	0	\$ -	0	0	\$ -
	11	0	\$ 3,552,499.00	6	6	\$ 987,000.00	5	0	\$ 91,000.00

	Year to Date (January 1 to May 31)								
	2021			2020			2019		
	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value	No. of Permits	No. of Units	Construction Value
SINGLE FAMILY DWELLINGS	6	1	\$ 2,003,000.00	5	5	\$ 1,180,000.00	3	3	\$ 791,000.00
2 FAMILY DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
SEMI DETACHED DWELLING	2	0	\$ 330,000.00	2	4	\$ 380,000.00	0	0	\$ -
MULTI FAMILY DWELLING	0	0	\$ -	0	0	\$ -	0	0	\$ -
RESIDENTIAL ADDITIONS & ACCESS.	11	0	\$ 214,500.00	10	0	\$ 99,500.00	9	0	\$ 121,500.00
GARAGES & CARPORTS	1	0	\$ 35,000.00	2	0	\$ 50,000.00	4	0	\$ 110,000.00
MANUFACTURED HOMES	0	0	\$ -	0	0	\$ -	0	0	\$ -
SWIMMING POOLS	1	0	\$ 2,499.00	0	0	\$ -	0	0	\$ -
FARM & AGRICULTURE BUILDINGS	0	0	\$ -	0	0	\$ -	0	0	\$ -
NEW COMMERCIAL	1	0	\$ 2,000,000.00	0	0	\$ -	0	0	\$ -
COMMERCIAL ADDITIONS/ALTER	4	0	\$ 2,417,300.00	7	0	\$ 517,500.00	3	0	\$ 60,200.00
NEW INDUSTRIAL	0	0	\$ -	1	0	\$ 1,200,000.00	0	0	\$ -
INDUSTRIAL ADDITIONS/ALTER	2	0	\$ 124,000.00	1	0	\$ 8,000.00	1	0	\$ 300,000.00
NEW INSTITUTIONAL	1	0	\$ 1,000,000.00	0	0	\$ -	0	0	\$ -
INSTITUTIONAL ADDITIONS/ALTER	1	0	\$ 5,000.00	3	0	\$ 502,000.00	3	0	\$ 343,975.00
MOBILE HOME PARK	0	0	\$ -	0	0	\$ -	0	0	\$ -
DEMOLITIONS	2	0	\$ 72,229.00	1	0	\$ 1,500.00	0	0	\$ -
OCCUPANCY/INSPECTION ONLY	0	0	\$ -	1	0	\$ 3,500.00	0	0	\$ -
PERMANENT SIGNS	0	0	\$ -	1	0	\$ 11,500.00	0	0	\$ -
	32	1	\$ 8,203,528.00	34	9	\$ 3,953,500.00	23	3	\$ 1,726,675.00

	Permits by District					
	2021		2020		2019	
	No. of Permits	Construction Value	No. of Permits	Construction Value	No. of Permits	Construction Value
RESIDENTIAL	21	\$ 2,584,999.00	19	\$ 1,709,500.00	16	\$ 1,022,500.00
INDUSTRIAL	4	\$ 196,229.00	3	\$ 1,209,500.00	1	\$ 300,000.00
COMMERCIAL	5	\$ 4,417,300.00	9	\$ 532,500.00	3	\$ 60,200.00
INSTITUTIONAL	2	\$ 1,005,000.00	3	\$ 502,000.00	3	\$ 343,975.00

Town of Taber Building Permits May 2021

Building Permit #	Issue Date	Owner	Contractor	
TTB B 0020 21 LT	6-May-21	South Alta Trading Co. Ltd.	Wade's House Moving Ltd.	
Project Site Address		Project Description	Value of Project	Tax Roll
4001 51 St.		Single Family Dwelling	\$ 100,000.00	3951215

Building Permit #	Issue Date	Owner	Contractor	
TTB B 0027 21 LT	5-May-21	J.W. Cooper Professional Corp.	Southwest Desgin and Construction	
Project Site Address		Project Description	Value of Project	Tax Roll
4102 Westview Close		New Commercial	\$ 2,000,000.00	5041016

Building Permit #	Issue Date	Owner	Contractor	
TTB B 0028 21 LT	17-May-21		Brad Zaiser	
Project Site Address		Project Description	Value of Project	Tax Roll
5218 54 St.		Residential Additions & Accessory Uses	\$ 3,000.00	5353210

Building Permit #	Issue Date	Owner	Contractor	
TTB B 0032 21 LT	6-May-21	Willowcrest Construction Ltd.	Willowcrest Construction Ltd.	
Project Site Address		Project Description	Value of Project	Tax Roll
158 Praire Gold		Single Family Dwelling	\$ 275,000.00	5146130

Building Permit #	Issue Date	Owner	Contractor	
TTB B 0033 21 LT	12-May-21			
Project Site Address		Project Description	Value of Project	Tax Roll
5213 55 St.		Residential Additions & Accessory Uses	\$ 20,000.00	5255100

Building Permit #	Issue Date	Owner	Contractor	
TTB B 0034 21 LT	12-May-21		Terramessa	
Project Site Address		Project Description	Value of Project	Tax Roll
13 Prairie Lake Terrace		Single Family Dwelling	\$ 540,000.00	6043130

Building Permit #	Issue Date	Owner	Contractor	
TTB B 0035 21 LT	12-May-21		Renter Homes Ltd.	
Project Site Address		Project Description	Value of Project	Tax Roll
35 Westview Blvd.		Residential Additions & Accessory Uses	\$ 15,000.00	5142090

Building Permit #	Issue Date	Owner	Contractor	
TTB B 0036 21 LT	19-May-21	Willowcrest Construction Ltd.	Willowcrest Construction Ltd.	
Project Site Address		Project Description	Value of Project	Tax Roll
3 Prairie Lake Terrace		Single Family Dwelling	\$ 588,000.00	6043030

Building Permit #	Issue Date	Owner	Contractor	
TTB B 0037 21 LT	25-May-21			
Project Site Address		Project Description	Value of Project	Tax Roll
4517 51 Avenue		Swimming Pools	\$ 2,499.00	5144110

Building Permit #	Issue Date	Owner	Contractor	
TTB B 0038 21 LT	25-May-21			
Project Site Address		Project Description	Value of Project	Tax Roll
4517 51 Avenue		Residential Additions & Accessory Uses	\$ 4,000.00	5041410

Building Permit #	Issue Date	Owner	Contractor	
TTB B 0040 21 LT	25-May-21	Taber and District Housing	Taber and District Housing	
Project Site Address		Project Description	Value of Project	Tax Roll
4730 50 Ave.		Institutional Additions/Alterations	\$ 5,000.00	4745200

May 2021		Month End Approved Permits - Construction Values							
Issue Date	Classification	Description	Status	Roll #	Owner	Contractor	Address	Construction Cost	
0020 21	5/6/2021	RES	Single Family Dwelling	COMPLETE	3951215	South Alta Trading Co. Ltd.	Wade's House Moving Ltd.	4001 51 St.	\$ 100,000.00
0027 21	5/5/2021	COM	New Commercial	COMPLETE	5041016	J.W. Cooper Professional Corp.	Southwest Desgin and Construction	4102 Westview Close	\$ 2,000,000.00
0028 21	5/17/2021	RES	Residential Additions & Accessory Uses	COMPLETE	5353210		Brad Zaiser	5218 54 St.	\$ 3,000.00
0032 21	5/6/2021	RES	Single Family Dwelling	COMPLETE	5146130	Willowcrest Construction Ltd.	Willowcrest Construction Ltd.	158 Praire Gold	\$ 275,000.00
0033 21	5/12/2021	RES	Residential Additions & Accessory Uses	COMPLETE	5255100			5213 55 St.	\$ 20,000.00
0034 21	5/12/2021	RES	Single Family Dwelling	COMPLETE	6043130		Terramessa	13 Prairie Lake Terrace	\$ 540,000.00
0035 21	5/12/2021	RES	Residential Additions & Accessory Uses	COMPLETE	5142090		Renter Homes Ltd.	35 Westview Blvd.	\$ 15,000.00
0036 21	5/19/2021	RES	Single Family Dwelling	COMPLETE	6043030	Willowcrest Construction Ltd.	Willowcrest Construction Ltd.	3 Prairie Lake Terrace	\$ 588,000.00
0037 21	5/25/2021	RES	Swimming Pools	COMPLETE	5144110			4517 51 Avenue	\$ 2,499.00
0038 21	5/26/2021	RES	Residential Additions & Accessory Uses	COMPLETE	5041410			5056 41 St.	\$ 4,000.00
0040 21	5/25/2021	INST	Institutional Additions/Alterations	COMPLETE	4745200	Taber and District Housing	Taber and District Housing	4730 50 Ave.	\$ 5,000.00

\$ 2,953,000.00

Count by Type		
Description	Number	Total Cost
SINGLE FAMILY DWELLINGS	3	\$ 1,503,000.00
2 FAMILY DWELLING	0	\$ -
SEMI-DETACHED DWELLING	0	\$ -
MULTI-FAMILY DWELLING	0	\$ -
RESIDENTIAL ADDITIONS & ACCESS.	4	\$ 42,000.00
GARAGES & CARPORTS	0	\$ -
MANUFACTURED HOMES	0	\$ -
SWIMMING POOLS	1	\$ 2,499.00
FARM & AGRICULTURE BUILDINGS	0	\$ -
NEW COMMERCIAL	1	\$ 2,000,000.00
COMMERCIAL ADDITIONS/ALTER	0	\$ -
NEW INDUSTRIAL	0	\$ -
INDUSTRIAL ADDITIONS/ALTER	0	\$ -
NEW INSTITUTIONAL	0	\$ -
INSTITUTIONAL ADDITIONS/ALTER	1	\$ 5,000.00
MOBILE HOME PARK	0	\$ -
DEMOLITIONS	0	\$ -
OCCUPANCY/INSPECTION ONLY	0	\$ -
PERMANENT SIGNS	0	\$ -

Total 10 \$ 3,552,499.00



Development Authority Request for Decision

Meeting Date: June 21, 2021

Subject:
Standing Items

Recommendation:

That the Municipal Planning Commission uses the standing items opportunity to address Administration about their concerns, and ask questions.

Background:

To assist in information sharing and ensure agreement on the relative importance of activities, and to facilitate a common understanding, the Municipal Planning Commission established a standing item on the Municipal Planning Commission agenda to raise individual concerns.

Legislation / Authority:
N/A

Strategic Plan Alignment:

Enhance Sense of Community #4: Continue the growth of Taber as a healthy and safe community.

Financial Implication:

The financial implication will vary depending on the discussion outcomes but should consider alignment of Town facility and service provision with approved budget.

Service Level / Staff Resource Implication:

Having a regular Municipal Planning Commission discussion about service levels will improve the ability of Administration to meet expectations of Council rather than dealing with requests from individuals on an ad hoc basis.

Justification:

This will bring administration efficiencies and better alignment of services and expenditures. It will also help improve communication protocols and adherence to the MGA.

Alternative(s):

Alternatives will vary based on discussions.

APPROVALS:

Originated By:

Celina Newberry

Chief Administrative Officer (CAO) or Designate: _____